



**Procurement Division**  
**200 E University Avenue, Rm 339**  
**Gainesville, FL 32601**  
 (352) 334-5021(main)

**REQUEST FOR QUALIFICATIONS: # WSPP-200004-DM**  
**Thelma Boltin Center Renovations- Design Services**

**PRE-PROPOSAL MEETING:**     Non-Mandatory     Mandatory     N/A     Includes Site Visit  
**DATE:**                                    **January 27, 2020**                                    **TIME: 10:00 a.m.**  
**LOCATION:** Thelma Boltin Center, 516 NE 2<sup>nd</sup> Ave Gainesville, Florida 32601

**QUESTIONS DUE DATE:** February 3, 2020

**DUE DATE FOR UPLOADING PROPOSAL:** February 17, 2020 3:00PM

**SUMMARY OF SCOPE OF WORK:**  
 The Thelma Boltin Center is an historic public building and an active (“City”) recreation center. The building was renovated in 1999 (Attachment A: 1999 Thelma Boltin Center Renovation Set).  
  
 In an effort to create a Cultural District in Gainesville’s urban core area (Attachment B: Cultural Center Vision, presentation to the General Policy Committee, 01/10/19), the City hired Walker Architects to assess existing building conditions and proposed potential facility improvements (Attachment C: Thelma Boltin Center Master Plan and Feasibility Study, 2019). Based on the renovation options described in the Walker Feasibility Study, the City intends to renovate the Thelma Boltin Center into an improved public cultural amenity, per the Thelma Boltin Center Master Plan and Feasibility Study’s: Minor Addition concept (Attachment D: Cultural Center Update, presentation to the General Policy Committee, 8/22/19).

For questions relating to this solicitation, contact: [Darius McPhall McPhalldt@cityofgainesville.org](mailto:Darius McPhall McPhalldt@cityofgainesville.org)

Bidder is not in arrears to City upon any debt, fee, tax or contract:     Bidder is NOT in arrears     Bidder IS in arrears  
 Bidder is not a defaulter, as surety or otherwise, upon any obligation to City:     Bidder is NOT in default     Bidder IS in default

Bidders who receive this bid from sources other than City of Gainesville Procurement Division or DemandStar.com MUST contact the Procurement Division prior to the due date to ensure any addenda are received in order to submit a responsible and responsive offer. Uploading an incomplete document may deem the offer non-responsive, causing rejection.

**ADDENDA ACKNOWLEDGMENT:** Prior to submitting my offer, I have verified that all addenda issued to date are considered as part of my offer:                                    Addenda received (list all) # \_\_\_\_\_

Legal Name of Bidder: \_\_\_\_\_  
 DBA: \_\_\_\_\_  
 Authorized Representative Name/Title: \_\_\_\_\_  
 E-mail Address: \_\_\_\_\_                                    FEIN: \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 Mailing Address (if different): \_\_\_\_\_  
 Telephone: (\_\_\_\_\_) \_\_\_\_\_                                    Fax: (\_\_\_\_\_) \_\_\_\_\_

By signing this form, I acknowledge I have read and understand, and my business complies with all General Conditions and requirements set forth herein; and,

- Proposal is in full compliance with the Specifications.
- Proposal is in full compliance with the Specifications except as specifically stated and attached hereto.

**SIGNATURE OF AUTHORIZED REPRESENTATIVE:** \_\_\_\_\_

**SIGNER'S PRINTED NAME:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

# PART 1 – REQUEST FOR QUALIFICATIONS INFORMATION

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Thank you for your interest in working with the City of Gainesville.

Pertinent information and required documents regarding this bid as part of a responsive offer are listed below:

Bid Cover Page.....	Page 1
Part 1 – Request for Qualifications Information.....	Page 3
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Attachment B_Cultural Center Vision .....	Page 52
Attachment C_Thelma Boltin Center Feasibility Study.....	Page 89

## 1.1 DISTRIBUTION OF INFORMATION

The City posts and distributes information pertaining to its procurement solicitations on DemandStar ([www.demandstar.com](http://www.demandstar.com)). **The City has transitioned from accepting hard (paper) copy submittals to accepting submittals through “E-Bidding”.** In order to submit a bid response to this solicitation the bidder must be registered with DemandStar.

It is the responsibility of the vendor to monitor DemandStar. Properly registered vendors can expect to receive automatic notification of solicitations for bids and proposals, by participating purchasing entities. Bidder failure to retrieve available, required procurement information from DemandStar and include the appropriate documentation and information in solicitation responses may result in disqualification.

## 1.2 PRE-PROPOSAL MEETING/QUESTIONS/CLARIFICATIONS

If scheduled (refer to Bid Cover Page), attending a pre-proposal meeting is strongly recommended as the project’s scope of work, procedures, and specifications will be discussed at this time. It is the only time during the bid process that bidders may ask questions directly of the end user.

NOTE: For a bidder’s attendance of a mandatory pre-proposal meeting to count, the bidder must sign-in before the Procurement Specialist calls the end of that meeting. If the bidder is not signed in by that time, they will be disqualified from bidding on the project. If the mandatory pre-proposal meeting also includes a required site visit, then bidder must sign in, both at the pre-proposal meeting, and again at the end of the site visit, in order to have their attendance count and not be disqualified from submitting a proposal.

If special accommodations are needed in order to attend a pre-proposal meeting or a bid opening, please contact the Procurement Division at least 72 hours in advance.

All questions that occur outside of the pre-proposal meeting must be submitted to Procurement only, and must be received by the date indicated on the Bid Cover Page to be considered. Technical and/or specification questions will not be answered over the phone; they must be submitted by email directed to the Procurement Specialist conducting the solicitation (refer to Bid Cover Page). All questions will be answered via Addendum which will be posted on DemandStar.com for vendor access. All addenda must be acknowledged by the bidder on the Bid Cover Page.

### 1.3 RFQ TIME TABLE

The anticipated schedule for the RFQ and contract approval is as follows:

RFQ available for distribution	January 13, 2020
[Non-Mandatory] Pre-Proposal Meeting	January 27, 2020
Deadline for receipt of questions	February 3, 2020
Deadline for receipt of proposals	February 17, 2020 (3:00 p.m. local time)
Evaluation/Selection process	Week of (February 17, 2020)
Oral presentations, if conducted	Week of (March 9, 2020)
Projected award date	TBA
Projected contract start date	TBA

All dates are subject to change. Bidders will be notified via Addendum posted in [DemandStar.com](http://DemandStar.com) in event of any schedule change.

### 1.4 PROHIBITION OF LOBBYING

To ensure fair consideration, consistent and accurate dissemination of information for all bidders, the City prohibits communication to or with any department, employee, or agent evaluating or considering proposals during the submission process, except as authorized by the Procurement Division representative. **Additionally, the City prohibits communication initiated by a bidder to any city official or employee evaluating or considering the proposals (up to and including the City Commissioners) before the time an award decision has been made.** Any communication between bidder and the City required to obtain information or clarification for preparing a bid or to enable a proper, accurate evaluation of a proposal will be handled solely through the Procurement Division staff. **Any communications initiated between the bidder and the City outside these parameters may be grounds for disqualifying the offending bidder from consideration for award of the proposal and/or any future proposal.**

### 1.5 CONE OF SILENCE

During the Cone of Silence (formerly called Blackout period) as defined in the next paragraph, except as pursuant to an authorized appeal, no person may lobby (as defined in section 1.4) on behalf of a competing party in a particular procurement process, City officials or employees except the Procurement designated staff contact in the Procurement division. Violation of this provision shall result in disqualification of the party on whose behalf the lobbying occurred.

The Cone of Silence is the period between the issue date of the RFQ, which allows for immediate submittals to the City of Gainesville Procurement Division for the request for qualifications and the time the City Officials and Employee awards the contract.

### 1.6 DETERMINATION OF RESPONSIBILITY OF BIDDERS

The specific qualifications of bidders for this specific Request for Qualifications are included in Part 3, 3.2 Consultant Qualifications. Bidder must also demonstrate that it is responsible as defined in the City of Gainesville's [Financial Services Procedures Manual](#), Section 41-522, as may be amended.

As a part of the proposal evaluation process, City reserves the right to conduct a background investigation of proposer, including a record check by the Gainesville Police Department if the qualifications require it. Bidder's submission of a proposal constitutes acknowledgment of the process and consent to such investigation.

No contract will be awarded to, any proposer who is in arrears to City upon any debt, fee, tax or contract, or who is a defaulter, as surety or otherwise, upon any obligation to City, or who is otherwise determined to be not responsible by City pursuant to Section 41-522, [Financial Services Procedures Manual](#), following:

These criteria consider the bidder's capability to perform:

- a) The ability of the bidder to successfully carry out a proposed contract.
- b) Past performance (including reference check), experience, business and financial capabilities, skills, technical organization, legal eligibility and reliability.
- c) Current litigation pending between the bidder and the City.
- d) Bidder has paid all debts owed to the City.
- e) Bidder possesses all required licenses.

If it is determined that the bidder is not responsible, City will notify bidder of its finding, including evidence used, and allow bidder the opportunity to come into compliance within three (3) business days of notification.

Successful Bidder must either update or complete City's vendor application, pay business tax (if applicable), and register with the State of Florida. Please be advised that the City Attorney's office will not approve a contract with any vendor unless the corporation or partnership is registered with the Division of Corporations with the State of Florida ([www.sunbiz.org](http://www.sunbiz.org)).

#### **1.7 RESPONSIVENESS OF PROPOSAL**

Each proposal will be reviewed to determine if the proposal is responsive to the submission requirements outlined in the RFQ. A responsive proposal is one which follows the requirements of the RFQ, includes all required documentation, is submitted in the format outlined in the RFQ, is of timely submission (via upload to DemandStar.com), and has the appropriate signatures as required on each document. Failure to comply with these requirements may deem the proposal non-responsive (see Section 41-444 of the [Financial Services Procedures Manual](#)).

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# PART 2 – SCOPE OF WORK

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## 2.1 GENERAL DESCRIPTION

The City of Gainesville (hereafter “City”) is requesting the submission of Statements of Qualifications (RFQs) from Firms capable of providing design services for a renovation at the Thelma Boltin Center, a public recreation and cultural center facility. The services required will be provided in two phases, and include a Design Phase and a Post-Design Phase. During the Design Phase, the Firm will be required to develop a complete design, construction drawings, assist with conducting a neighborhood meeting, and make presentations to public entities. During the Post-Design Phase, the Firm will be expected to provide construction administration services and perform reviews and site inspections consistent with the scope of work.

## 2.2 SCOPE OF WORK

### 1. Overview

The Thelma Boltin Center is an historic public building and an active (“City”) recreation center. The building was renovated in 1999 (Attachment A: 1999 Thelma Boltin Center Renovation Set).

In an effort to create a Cultural District in Gainesville’s urban core area (Attachment B: Cultural Center Vision, adapted presentation to the General Policy Committee, 01/10/10 and 08/22/19), the City hired Walker Architects to assess existing building conditions and proposed potential facility improvements (Attachment C: Thelma Boltin Center Master Plan and Feasibility Study, 2019). Based on the renovation options described in the Walker Feasibility Study, the City intends to renovate the Thelma Boltin Center into an improved public cultural amenity, per the Thelma Boltin Center Master Plan and Feasibility Study’s: Minor Addition concept (See Attachment B).

### 2. Renovation Scope

The proposed renovation scope includes building and site improvements.

#### a. Building improvements include:

- Upgrades and/or replacement of building mechanical and safety systems to meet current codes, ADA requirements, and enhance building character
- Internal building layout modifications to create a new main entrance, lobby and front desk, 2 multi-purpose activity rooms, restrooms, support areas, and revised access to the backyard
- New finishes and furnishings to enhance the building character and usability as a flexible, public cultural amenity
- A 600-1,000 SF offstage building addition to include a greenroom/office, restroom, storage, and direct access to the stage (including ADA).

#### b. Site improvements include:

- Circulation redesign to establish the new building entrance as the main facility access point
- Backyard redesign to enhance its usability as an outdoor event space
- Dumpster enclosure
- ADA parking and accessible path to the building

### 3. Proposed Building Program

- New main entrance, lobby, and welcome desk with visibility of lobby and main activity areas
- New access to the backyard, with clear view from the lobby and main multipurpose hall entrance
- 2 multi-purpose activity rooms (approximately 4,270 SF and 1,180 SF)
- Restrooms per code
- Storage and janitor rooms
- 1 catering kitchen
- 1 offstage greenroom/office, restroom, and storage
- ADA access to the stage and site

#### 4. Proposed Site Program

- Revised and simplified exterior building access
- Improved backyard to encourage outdoor event use and rentals
- Improved Sweetwater Creek edge between NE 3rd Ave and NE 2nd Ave
- Surface parking improvements for ADA parking and access to the building

5. **Client's Budget:** \$2,250,000, including all design, permitting, construction, furnishings, and fees

6. **Scope of Services:** The selected firm will be responsible for providing via in-house services, sub-consultants, or contractors, all needed topographic surveys, geo-technical and hazardous materials studies, design and engineering services, permitting, and construction administration services to complete the project from design throughout construction.

7. **Construction Delivery Method:** Construction Manager

### 2.3 BIDDER MINIMUM QUALIFICATIONS

- Bidder shall demonstrate that it has experience in the renovations of historic buildings, and/or cultural and recreational amenities, similar in scope and size to the Thelma Boltin Center.
- The bidder shall have at least 5 years experience in this field.
- Bidder shall demonstrate personnel and equipment support necessary for the completion of the requested surveying and engineering services in a timely and efficient manner.
- Bidder shall demonstrate that it complies with all applicable State and Federal professional licensing laws.
- By submitting the Statement of Qualifications, the bidder certifies that it has fully read and understands the RFQ and has full knowledge of general scope, nature, and quality of the work to be performed, the general requirements of the services to be provided, and the conditions under which the services are to be performed.
- Consultant shall provide proof of insurance in a form acceptable to the City, which gives the City 30 days written notice (except the City will accept ten (10) days written notice for non-payment) prior to cancellation or material change in coverage, in the amounts as noted below:
- Worker's Compensation Insurance providing coverage in compliance with Chapter 440, Florida Statutes.
- Professional Liability Insurance in the amount of \$1,000,000 per occurrence (combined single limit for bodily injury and property damage).
- Public Liability Insurance (other than automobile) consisting of broad form comprehensive general liability insurance including contractual coverage \$1,000,000 per occurrence (combined single limit for bodily injury and property damage).
- The City shall be an additional insured on such Public Liability Insurance and the Contractor shall provide copies of endorsements naming the City as additional insured.

#### Automobile Liability Insurance

- Property Damage \$500,000 per occurrence (combined single limit for bodily injury and property damage).
- The Contractor shall furnish the City a certificate of insurance in a form acceptable to the City for the insurance required. Such certificate or an endorsement provided by the Contractor must state that the City will be given thirty (30) days' written notice (except the City will accept ten (10) days written notice for non-payment) prior to cancellation or material change in coverage

### 2.4 CITY RESPONSIBILITY

The City will be responsible to the selected bidder(s) for the following tasks:

- Definition of scope of work for specific projects.
- Monitoring contractor's progress for contract compliance.
- Provide information concerning project which is available in City files.
- Inform the contractor of any known City design parameters or requirements.

## PART 3 – HOW TO SUBMIT A PROPOSAL

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**Instructions to bidders:** Proposals must contain each of the documents listed below; each fully completed, signed, and notarized as required. Proposals submitted which do not include the following items may be deemed non-responsive and may not be considered for contract award.

### 3.1 STATEMENT OF QUALIFICATIONS FORMAT

- Project Understanding and Approach: Describe your understanding of the objectives and scope of the requested services and your general approach to such. Include a general time frame for being able to respond to City requests for specific project proposals.
- Proposed Project Staff: Identify the key personnel who will be directly assigned to this project. State the qualifications and related experience of each member of the proposed project team of engineers and surveyors. Provide a resume for each team member for the project.
- Qualifications of Firm: Provide pertinent information about the firm and related experience with similar projects. In addition, the firm should identify its total number of technical and professional personnel by discipline and training and further describe the total workload during the project period. Indicate what resources (professional and technical time) the firm would have available to allocate to the project.

### 3.2 CONTENT OF PROPOSAL

#### Required Documents:

The following documents are required to be included in the proposer's submission:

- a. RFQ Cover Page
- b. Address each Minimum Qualification
- c. Provide a Statement of all Qualifications that will communicate the capabilities of the proposer to successfully complete the project
- d. Pricing Proposal
- e. Drug-Free Workplace Form
- f. Bidder Verification Form
- g. Certification of Compliance with Living Wage, if applicable to proposer
- h. Bidder's W-9
- i. Copy of any applicable, current licenses and/or certifications required by City/County/State
- j. Exceptions to the RFQ (refer to Part 3, 3.5 Exception to the RFQ)

**A copy of your Business tax receipt and Zoning Compliance Permit should be submitted with the Statement of Qualifications if a local preference is requested.**

### 3.3 PROPOSAL SUBMISSION INSTRUCTIONS

**The bid response, containing all required documents, with authorized signatures, must be received by 3:00 p.m. on the due date indicated on the Bid Cover Page for this project.** The bidder's complete pdf response must be uploaded into DemandStar.com prior to the 3:00 p.m. deadline. This platform will not accept late submittals.

Upload bid response as a pdf formatted document only, unless the solicitation states otherwise. The pdf document should be titled with bidder's name, bid number, and, if the response is submitted in parts, include "Part # of x".

On occasion, the City will request proposals present pricing separately from the main proposal. If separate pricing is requested, upload a separate document that indicates Pricing as its content.

Modifications to or withdrawal of a bidder's submittal can be made up to the deadline date. Modifications and withdrawals must be documented in DemandStar.com in order to be recognized by the City. Any bid not withdrawn will constitute an irrevocable offer, for a period of one hundred twenty (120) days, to provide the City adequate time to award the Contract for the services specified in this solicitation.



The response must be signed by an officer of the business who is legally authorized to enter into a contractual relationship in the name of the bidder. An authorized representative who is not an officer may sign the proposal, but must attach a corporate resolution granting authorization to the representative to execute on behalf of the business.

The submittal of a response by a bidder will be considered by the City as constituting an offer by the bidder to perform the required services at the stated fees.

### **3.4 DISCLOSURE AND CONFIDENTIALITY**

Florida's Public Records Law, Chapter 119, Florida Statutes, includes numerous exemptions to the general requirement to disclose information to the public in response to a public record's request. Exemptions are found in various provisions of the Florida Statutes, including but not limited to Section 119.071, Florida Statutes (General exemptions from inspection or copying of public records), and Section 119.0713, Florida Statutes (Local government agency exemptions from inspection or copying of public records). Section 815.045, Florida Statutes (Trade secret information), provides that trade secret information as defined in Section 812.081, Florida Statutes (Trade secrets; theft, embezzlement; unlawful copying; definitions; penalty) is confidential and exempt from disclosure because it is a felony to disclose such records. The Parties understand and agree that Florida's Public Records Law is very broad and that documents claimed by a Party to be confidential and exempt from public disclosure pursuant to the Public Records Law may in fact not be deemed such by a court of law. Accordingly, the following provisions shall apply:

- (i) Identifying Trade Secret or Otherwise Confidential and Exempt Information. For any records or portions thereof that bidder claims to be Trade Secret or otherwise confidential and exempt from public disclosure under the Public Records Law, bidder shall:
  - a. Specifically identify the records or specific portions thereof that are confidential and exempt and reference the particular Florida Statute that grants such status. Provide one redacted copy of the record and one copy of the record with the confidential and exempt information highlighted as outlined in items 1 and 2 on the following page. Bidder shall take care to redact only the confidential and exempt information within a record.
  - b. Provide an affidavit or similar type of evidence that describes and supports the basis for Contractor's claim that the information is confidential and exempt from public disclosure.
  
- (ii) Request for Trade Secret or Otherwise Confidential and Exempt Information.
  - a. In the event City receives a public records request for a record with information labeled by bidder as Trade Secret or otherwise as confidential and exempt, City will provide the public record requester with the redacted copy of the record and will notify bidder of the public records request.
  - b. However and notwithstanding the above, in the event that City in its sole discretion finds no basis for bidder's claim that certain information is Trade Secret or otherwise confidential and exempt under Florida's Public Records Law, then City shall notify bidder in writing of such conclusion and provide bidder a reasonable amount of time to file for declaratory action requesting a court of law to deem the requested information as Trade Secret or otherwise as confidential and exempt under Florida's Public Records Law. If bidder fails to file for declaratory action within the reasonable amount of time provided, then City will disclose the information requested.
  - c. If a public records lawsuit is filed against CITY requesting public disclosure of the information labeled by bidder as Trade Secret or otherwise as confidential and exempt, CITY shall notify bidder and bidder shall intervene in the lawsuit to defend the nondisclosure of such information under Florida's Public Records Law.
  - d. Bidder hereby indemnifies and holds CITY, its officers and employees harmless from any and all liabilities, damages, losses, and costs of any kind and nature, including but not limited to attorney's fees, that arise from or are in any way connected with bidder's claim that any information it provided to CITY is Trade Secret or otherwise confidential and exempt from public disclosure under Florida's Public Records Law.

#### How to Designate Trade Secret or Otherwise Confidential and Exempt Information

If a bidder believes that its response contains trade secret or otherwise confidential and exempt information (as defined by Florida or Federal law) and should be withheld from disclosure to the public, in such cases the bidder must provide a redacted copy of the proposal for public access.

- Redacted means that the confidential/proprietary information in the proposal has been obscured so that it cannot be read.
- Unredacted means that the entire document, including the confidential/proprietary information, has not be obscured and is visible for the evaluation team to use in their evaluation process.

1. Upload a pdf version response of the complete UNREDACTED proposal. Include “UNREDACTED, CONFIDENTIAL” in document title. This is the version that will be used by the evaluators when they are reviewing your proposal. It is essential that the items that will be redacted are highlighted in yellow to prevent the evaluation team from discussing these items after the award. The first page of the document for the **unredacted** document should provide a general description of the information bidder has designated as confidential and/or exempt, and provide a reference to the appropriate Florida or Federal statute supporting the confidential and/or exempt classification.
2. Upload a pdf version response of the REDACTED copy of the proposal. Include “REDACTED” in the document title. This copy will be used to support any public records requests that may arise from this solicitation.

*How the City will Handle Material Identified as Trade Secret or Otherwise Confidential and Exempt Information*

The City’s evaluators will be provided with the complete unredacted proposal, including any trade secret or otherwise confidential and exempt information. The City evaluators will maintain the confidentiality of the information through the evaluation process, including any recorded evaluation team meetings.

In the event a public record request is made to view the information which bidder claims is confidential and/or exempt, the City will notify the bidder and give the bidder a reasonable opportunity (generally 2 business days) to institute appropriate legal action to prevent the disclosure of the information claimed as confidential and/or exempt.

All public records submitted to the City, including those claimed as confidential and/or exempt, will be retained by the City and will not be returned to a bidder at the conclusion of the bidding process.

### **3.5 EXCEPTION TO THE RFQ**

Bidders may take exceptions to any of the terms of this RFQ unless the RFQ specifically states where exceptions may not be taken. Should a bidder take exception where none is permitted, the proposal will be rejected as non-responsive. All exceptions taken must be specific to allow the City a meaningful opportunity to evaluate and rank proposals.

Where exceptions are permitted, the City shall determine the acceptability of the proposed exceptions and the proposals will be evaluated based on the proposals as submitted. The City, after completing evaluations, may accept or reject the exceptions. Where exceptions are rejected, the City may request that the bidder furnish the services or goods described herein, or negotiate an acceptable alternative.

**NOTE: Bidders are strongly encouraged to submit any deviations or exceptions to the City before the question submittal deadline or proposals are due, so that based upon the City’s response in the addendum, the bidder can determine if it is in their best interest to submit a response or not.**

### **3.6 ONLY ONE BID**

Only one bid from any individual, firm, corporation, organization or agency under the same or different name shall be considered. Should it appear to the City that any bidder has a financial interest in more than one submission under this bid, all bids in which such bidder has a financial interest will be rejected. The City considers a financial interest to include, but not be limited, to joint ventures, partnerships, and identified subcontractors.

### **3.7 FULLY INFORMED BIDDER**

A bidder is expected to fully inform itself as to the requirements of the Specifications and Contract terms and conditions; failure to do so will be at its own risk. A bidder shall not expect to secure relief on the plea of error.

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**BID COVER PAGE (Non CCNA)**  
**PART 4 – EVALUATION PROCESS**

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**4.1 EVALUATION CRITERIA**

**a) Selection and Evaluation Criteria**

Proposals will be evaluated in accordance with the procedures described in the City's, [Professional Services Evaluation Handbook](#).

The proposals will be evaluated using the following process: Qualifications Evaluation, Written Proposal Evaluation and/or Presentation/Interview Evaluation, and Other Factors as deemed appropriate. The City shall consider the ability of the firm's professional personnel, willingness to meet time and budget requirements, workload, location, past performance, volume of previous work with the City, and location. The Evaluation process provides a structured means for consideration of all these areas.

**b) Technical Qualifications Evaluation**

The Technical Qualifications Evaluation will assess each responding firm's ability based on experience and qualifications of key team members, the firm's capability of meeting time and budget requirements, and the firm's record with regard to this type of work, particularly in the City of Gainesville or in the State of Florida. This stage does not involve review and evaluation of a proposal addressing the project scope of work. Consideration will be given to the firm's current workload, financial stability, and the location where the majority of the technical work will be produced. The City will not be impressed with excessive amounts of boilerplate, excessive numbers of resumes, excessive length of resumes, excessive numbers of photographs, work that distant offices have performed, or work not involving personnel to be assigned to the proposed project.

**c) Written Proposal Evaluation**

The Written Proposal Evaluation will assess the firm's understanding of the project and the proposed approach to be undertaken as addressed in a written proposal. The evaluation process will assess how effectively the requirements of the scope of services have been addressed. The written proposal should identify a project manager and other key members of the project/service team. It should relate the capabilities of the project/service team to the requirements of the scope of services.

**d) Presentation/Interview Evaluation**

The Proposal Presentation/Interview Evaluation is based on an oral presentation that addresses both the technical qualifications of the firm and the approach to the project. Importance is given to the firm's understanding of the project scope of work, the placement of emphasis on various work tasks, and the response to questions. The evaluation process will assess the project manager's capability and understanding of the project and his/her ability to communicate ideas. The role of key members of the project/service team should be established based on the scope of services and the firm's approach to the project/service. The role of any subcontracted firm in the proposal should be clearly identified. Unique experience and exceptional qualifications may be considered with emphasis on understanding of the project/service, particularly "why it is to be done" as well as "what is to be done". The City of Gainesville will not be impressed with excessive boilerplate, excessive participation by "business development" personnel, and the use of "professional" presenters who will not be involved in the project or future presentations.

**e) Other factors**

The Other Factors to be considered, based upon the specific project (but not limited to), are those items, such as Small or Service-Disabled Veteran Business and/or Local Preference. Fee proposals, when requested and deemed appropriate, are also to be considered in the evaluation process, where the request for such fees is in accordance with the City's Procurement Policies and Procedures.

## PART 5 – SELECTION PROCESS

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The firm or firms will be selected from qualified businesses submitting statements as further described in Part 3, 3.1, “Statement of Qualifications Format” of this RFQ. Since this process does not involve services that would fall under CCNA, the selection process will be as follows:

1. Evaluators consisting of City staff will review the proposals. The evaluation process provides a structured means for consideration of all proposals.
2. Upon review and evaluation, the City may request oral presentations from the top ranked proposers. During the oral presentations, the proposers shall further detail their qualifications, approach to the project and ability to furnish the required services. These presentations shall be made at no cost to the City. Proposers selected for further presentations should provide one (1) electronic copy of materials presented in PDF format on a USB Flash drive.
3. The final ranking of proposers will be in accordance with the procedures described in the City’s [Professional Services Evaluation Handbook](#).
4. If required, the final ranking of proposers will be presented to the City Commission. The City Commission will be requested to approve the recommended ranking and authorize negotiation and execution of the contract beginning with the top ranked proposer.
5. Provided that the City Commission approves the ranking and an award, the City will negotiate a contract with the top ranked proposer. Should the City be unable to negotiate a satisfactory contract with the top ranked proposer, negotiations will be terminated with that proposer and negotiations will be initiated with the second most qualified proposer, and so on until a satisfactory contract is negotiated. Should the City be unable to negotiate a satisfactory contract with any of the selected firms, then the City shall reject the bid and may seek to re-solicit responses in the future.

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**PART 6 – AWARD**

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**6.1 TIE BIDS**

Whenever two or more bids which are equal with respect to price, quality and service are received, preference shall be given in the following order: (1) Bidders submitting the attached Drug-Free Workplace form with their bid/proposal certifying they have a drug free workplace in accordance with Section 287.087, Florida Statutes; (2) Bidders located within the City of Gainesville, if not subject to the Local Preference Ordinance; (3) Bidders located within Alachua County; (4) Bidders located within the State of Florida; and (5) coin toss.

**6.2 DRUG-FREE WORKPLACE**

Preference shall be given to submitters providing a certification with their qualifications certifying they have a drug-free workplace whenever two or more bids which are equal with respect to price, quality, and service are received in accordance with Section 287.087, Florida Statutes. The attached form should be filled out and returned with the qualifications in order to qualify for this preference.

**6.3 CONTRACT TERMS AND CONDITIONS**

The City may award a contract on the basis of initial offers received, without discussions. A sample contract is attached to the bid. Therefore, each initial offer should contain the bidder's best terms from a cost or price and technical standpoint and any changes to the sample contract.

The City reserves the right to enter into contract negotiations with one or more bidders regarding the terms and conditions of the contract and the technical terms. Price will not be neogitated. If the City and the selected bidders cannot negotiate a successful contract, the City may terminate said negotiations and begin negotiations with the alternative bidders. This process will continue until a contract has been executed or all proposers have been rejected. No proposer shall have any rights against the City arising from such negotiations.

**6.4 CONTRACT AWARD**

The award(s), if any, shall be made to the bidder(s) whose proposal(s) shall be deemed by the City to be in the best interest of the City. The decision of the City of whether to make the award(s) and which proposal is in the best interest of the City shall be final.

**6.5 CONTRACT**

The Contract to be entered into will designate the successful bidder as the City's Contractor. The successful proposer will be required to execute an agreement with the City in substantially the same format as found in Part 8.

**6.6 BID PROTEST**

Participants in this solicitation may protest the RFQ specifications or award in accordance with Section 41-580 of the [Financial Services Procedures Manual](#).

**6.7 RFQ POSTPONEMENT/CANCELLATION/WAIVER OF IRREGULARITIES**

The City may, at its sole and absolute discretion, reject any and all, or parts of any and all, proposals; re-advertise this RFQ; postpone or cancel, at any time, this RFQ process; or waive any irregularities in this RFQ or in the proposals received as a result of this RFQ. See Section 41-444 [Financial Services Procedures Manual](#).

**BID COVER PAGE (Non CCNA)**  
**PART 7 – GENERAL INFORMATION**

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**7.1 LOCAL PREFERENCE**

In bidding of, or letting contracts for procurement of, supplies, materials, equipment and services, as described in the purchasing policies, the city commission, or other purchasing authority, may give a preference to local businesses in making such purchase or awarding such contract in an amount not to exceed five percent of the local business' total bid price, and in any event the cost differential should not exceed \$25,000.00. Total bid price shall include not only the base bid price but also all alterations to that base bid price resulting from alternates which were both part of the bid and actually purchased and awarded by the City Commission or other authority. In the case of requests for proposals, letter of interest, best evaluated bids, qualifications or other solicitations and competitive negotiation and selection in which objective factors are used to evaluate the responses. Local Businesses are assigned five (5) percent of the total points of the total evaluation points.

Local business means the vendor has a valid business tax receipt, issued by the City of Gainesville at least six months prior to bid or proposal opening date, to do business in said locality that authorizes the business to provide the goods, services, or construction to be purchased, and a physical business address located within the limits of said locality, in an area zoned for the conduct of such business, from which the vendor operates or performs business on a day-to-day basis. Post office boxes are not verifiable and shall not be used for the purpose of establishing said physical address. In order to be eligible for local preference, in the Bid or RFQ evaluation, the vendor must provide a copy of the business tax receipt and Zoning Compliance Permit. For more information on City's Local Preference Policy: [Municipal Code Article X Local Preference Policy](#).

**7.2 SMALL AND SERVICE-DISABLED VETERAN BUSINESS PARTICIPATION**

Small or Service-Disabled Veteran's Business Enterprise Definition: A Small Business or a Service-Disabled Veteran's Business, which is duly licensed and authorized to engage in business and maintains a permanent principal place of operation with full time personnel within Alachua, Bradford, Columbia, Gilchrist, Levy, Putnam, or Union County and possess a current City business tax receipt as required, and is so certified by the Small and Service-Disabled Veteran's Business Program Coordinator.

It is the policy of the City of Gainesville that small and service-disabled veteran businesses as defined in the Small and Service-Disabled Veteran Business Program, have the maximum practical opportunity to participate in contracting opportunities provided by the City. In keeping with this policy, each bidder is asked to state whether it will utilize small and service-disabled veteran businesses that are eligible for assistance to perform work on the project(s) being advertised.

For bidders not yet certified by the City, a small and service-disabled veteran application may be accessed via the [Office of Equal Opportunity](#) website. To be considered as a certified small and/or service-disabled veteran business, a bidder must have a current certificate at the time of the solicitation submittal due date. For more information on certified small and service-disabled veteran businesses, please visit the [Office of Equal Opportunity](#) website.

**7.3 LIVING WAGE POLICY & COMPLIANCE**

- This contract is a covered service. (Refer to the Living Wage Decision Tree in Part 9 - Exhibits)
- This contract is **not** a covered service.

Living Wage ordinance, Ordinance 020663, as amended in [Ordinance 030168](#), and as shown on the City's web page, applies to certain contracts for specific "Covered Services," which the City has determined may include services purchased under this Contract, depending upon the cost/price of the contract awarded. Bidders should consider the effect/cost of compliance, if any, with the requirements of the Living Wage Ordinance if the services purchased are "Covered Services", the prime contract amount exceeds the threshold amount, the bidder meets the definition of Service Contractor/Subcontractor (and is not otherwise excluded from the application of the ordinance) and the ordinance provisions, which are incorporated herein, apply to any Covered Employees.

If applicable, the adjusted Living Wage for this contract will be \$\_\_\_\_\_ per hour (Living Wage with Health Benefits) or \$\_\_\_\_\_ per hour if Health Benefits are not offered.

If applicable, a successful Service Contractor/Subcontractor shall be required to execute the Certification of Compliance with Living Wage (refer to form in Part 9 – Exhibits), prior to the City executing the contract. Once executed, such certification will become part of the contract; however, failure to sign such certification will prevent execution of the contract, may result in forfeiture of any applicable bid or proposal bond, and could result in other adverse action.

During the performance of this contract, the Contractor agrees as follows:

- (1) The Contractor shall comply with the provisions of the City of Gainesville's living wage requirements, as applicable. Failure to do so shall be deemed a breach of contract and shall authorize the City to withhold payment of funds until the living wage requirements have been met.
- (2) The Contractor will include the provision of (1) above in each subcontract for Covered Services with a Service Contractor/Subcontractor, as defined herein, so that the provisions of (1) above will be binding upon each such Service Contractor/Subcontractor. The Contractor will take such action with respect to any such subcontract as may be directed by the contract administrator as a means of enforcing such provisions; provided, however, the City shall not be deemed a necessary or indispensable party in any litigation between the contractor and a subcontractor concerning compliance with living wage requirements.

#### **7.4 TAXES, CHARGES AND FEES**

The Proposer agrees that any applicable Federal, State and Local sales and use taxes, which are to be paid by City of Gainesville, are included in the stated bid prices. Since the City of Gainesville is often exempt from taxes for equipment, materials and services, it is the responsibility of the Contractor to determine whether sales taxes are applicable. The Contractor is liable for any applicable taxes which are not included in the stated bid prices.

#### **7.5 COSTS INCURRED BY BIDDERS**

All expenses involved with the preparation and submission of proposals to the City, or any work performed in connection therewith shall be borne by the proposer(s). No payment will be made for any responses received, nor for any other effort required of or made by the proposer(s) prior to commencement of work as defined by a contract approved by the City Commission (if so required).

#### **7.6 RULES; REGULATIONS; LICENSING REQUIREMENT**

The bidder shall comply with all laws, ordinances and regulations applicable to the services contemplated herein, including those applicable to conflict of interest and collusion. Bidders are presumed to be familiar with all Federal, State and local laws, ordinances, codes and regulations that may in any way affect the services offered.

#### **7.7 RECORDS/AUDIT**

Contractor shall maintain records sufficient to document their completion of the scope of services established by this Contract. These records shall be subject at all reasonable time to review, inspect, copy and audit by persons duly authorized by the City. These records shall be kept for a minimum of three (3) years after completion of the Contract. Records which relate to any litigation, appeals or settlements of claims arising from performance under this Order shall be made available until a final disposition has been made of such litigation, appeals, or claims.

#### **7.8 DEBARMENT, SUSPENSION, OTHERWISE EXCLUDED**

By submitting this proposal, bidder agrees that it:

- Is not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
- Has not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against it for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State, or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification, or destruction of records, making false statements or receiving stolen property;
- Is not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission or any of the offenses enumerated in paragraph (2) of this certification; and
- Has not within a three-year period preceding this application/proposal had one or more public transactions (Federal, State, or local) terminated for cause or default.

#### **7.9 PUBLIC ENTITY CRIME INFORMATION STATEMENT**

Section 287.133 (2)(a), Florida Statutes, contains the following provisions: "A person or affiliate who has been placed on the convicted vendor list following a conviction for public entity crime may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not submit bids on leases of real property to a public entity, may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity, and may not transact business with any public entity, in excess of the threshold amount provided in Section 287.017, for CATEGORY TWO for a period of 36 months from the date of being placed on the convicted vendor list."

**7.10 INVESTIGATION OF ALLEGED WRONGDOINGS, LITIGATION/  
SETTLEMENTS/FINES/PENALTIES Intentionally Left Blank**

**7.11 NON-DISCRIMINATION POLICY AND COMMERCIAL NON-DISCRIMINATION REQUIREMENT**

As a condition of entering into this agreement, the company represents and warrants that it will comply with Title VI and Title VII of the Civil Rights Act of 1964 and all other federal, state or local laws prohibiting discrimination. The company shall not discriminate on the basis of race, color, religion, gender, national origin, marital status, sexual orientation, age, disability or gender identity, or other unlawful forms of discrimination in the solicitation, selection, hiring, commercial treatment of subcontractors, vendors, suppliers or commercial customers, nor shall the company retaliate against any person for reporting instances of such discrimination.

The City reserves the right to investigate any claims of illegal discrimination by the Contractor and in the event a finding of discrimination is made and upon written notification thereof, the Contractor shall take all necessary steps to cure and rectify such action to the reasonable satisfaction of the City. The company understands and agrees that a violation of this clause shall be considered a material breach of this agreement and may result in termination of this agreement, disqualification of the company from participating in City contracts, or other sanctions. This clause is not enforceable by or for the benefit of, and creates no obligation to, any third party.

For more information on this policy and requirement, please visit the [Office of Equal Opportunity](#).

**7.12 USE OF RFQ REPLY IDEAS**

The City has the right to use any or all information presented in any response to the RFQ, whether amended or not, except as prohibited by law. Selection or rejection of the submittal does not affect this right.

**7.13 SPECIALITY FUNDING, IF APPLICABLE Intentionally Left Blank**

**[THE REMAINDER OF THIS PAGE IS INTENTIONALLY BLANK]**



**BID COVER PAGE (Non CCNA)**  
**PART 8 – SAMPLE CONTRACT**

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**CONTRACT FOR \_\_\_\_\_**

**THIS CONTRACT** (“Contract”), entered into on the \_\_\_\_ day of \_\_\_\_\_, 2015 between the CITY OF GAINESVILLE, a Florida municipal corporation, (“City”), **insert address** and \_\_\_\_\_, (“Contractor”), **insert address**, taken together, shall be known as “Parties”.

**WHEREAS**, clauses that briefly describe project and history of project (if applicable)

**NOW, THEREFORE**, in consideration of the foregoing premises and the mutual covenants contained herein, the Parties agree as follows:

**1. EFFECTIVE DATE AND TERM OF CONTRACT.**

The term of the Contract shall be one year, commencing on **insert date** and terminating on **insert date** . The Contract may be extended for an additional year, upon mutual agreement of the Parties. Upon extension of the Contract term, the Contract Price may be increased or decreased based upon the Consumer Price Index as of **insert date**.

Or

The term of the Contract shall be effective on the **insert date** and shall expire upon the Contractor’s satisfactory completion of the Scope of Services, unless otherwise terminated pursuant to this Contract.

AND In some instances

The terms and conditions of this Contract shall extend beyond the termination of this Contract for all orders or services placed under this contract prior to the termination date of this Contract.

**2. MULTI-YEAR CONTRACT.**

The obligations of the City as to any funding required pursuant to this Contract shall be limited to an obligation in any given year to budget and appropriate from legally available funds, after monies for essential City services have been budgeted and appropriated, sufficient monies for the funding that is required during that year. Notwithstanding the foregoing, the City shall not be prohibited from pledging any legally available non-ad valorem revenues for any obligations heretofore or hereafter incurred, which pledge shall be prior and superior to any obligation of the City pursuant to this Contract.

**3. SCOPE OF SERVICES.**

Project or Product or Service Description:

,as more specifically described in the Specifications.

**4. CONTRACT DOCUMENTS.**

A. The Contract consists of the following documents, whether attached to this Contract or incorporated by reference (collectively the ‘Contract Documents’):

- i. Contract;
- ii. Addenda to Bid Documents (*attach and identify by title, number and date*);
- iii. Bid Documents (*attach and identify by title, number and date*); and
- iv. Contractor's response to Bid documents (*attach and identify by title, number and date*).

B. The Contract Documents constitute the entire contract between the City and Contractor. In the event of conflict or inconsistency between the Contract Documents, the order of precedence for interpretation shall be the order in which the Contract Documents are listed above. Conflict or inconsistency within a particular contract document shall be resolved by having the more specific reference to the matter prevail.

**5. DELIVERY SCHEDULE:** (*to be included for goods*)

The delivery schedule is hereby defined as the period which will elapse between receipt of a purchase order and the arrival of the materials or equipment at the designated point of delivery. Meeting specified delivery schedules is of the essence of this Contract and is a significant part of the performance of the Contract. Failure to meet such schedules may result in Termination of the Contract as described in Paragraph 10 of this Contract.

**A DELIVERY LOCATION:**

All materials or equipment shall be bid F.O.B. Gainesville, Florida.

**B. DELAY**

Notwithstanding the delivery schedule, the City shall have the right to delay the delivery for up to three months as necessary or desirable and such delay shall not be deemed a breach of contract, but the delivery schedule shall be extended for a period equivalent to the time lost by reason of the City's delay.

If the project for which the delivery is required is stopped or delayed for more than three months, either in whole or in substantial part, and either the City or Vendor elects to terminate the Contract because of such delay, if such stoppage or delay is due to actions taken by the City within its control, Vendor's sole remedy under the Contract shall be reimbursement for costs reasonably expended in preparation for or in performance of the work to the date of termination.

[OR]

**5. TIME FOR PERFORMANCE** (*To be included for services, if needed*)

The Parties agree that time is of the essence for the Scope of Services. Contractor shall complete the work on or before [date].

[OR]

**5. PARAGRAPH 5 INTENTIONALLY OMITTED.**

[*In some contracts, there is no need to put a provision in for completion. For instance, if you have hired a janitorial service on an annual contract, there would not be a need to have a time of performance or completion date*]

**6. COMPENSATION/PAYMENT.**

City will pay Contractor in an amount not to exceed (\$amount bid if lump sum or budget amount if annual agreement) for the term of the contract. Payment shall be based upon (*describe whether City is paying on an hourly basis, or for a percentage of work completed, amount of material delivered or some other measurement*).

City shall make payments in accordance with the Local Government Prompt Payment Act, Sections 218.70, et. seq. Florida Statutes.

**7. INDEMNIFICATION.**

Contractor shall indemnify the City, its officials, agents and employees, and hold it harmless from suits, actions, damages, liability, expenses, losses and costs, including, but not limited to reasonable attorney’s fees in connection with loss of life, bodily or personal injury, or property damage arising from or occasioned by any act or omission or negligence or intentional wrongdoing on the part of the Contractor and other persons employed or utilized by the Contractor.

**[OR]**

The Contractor agrees, at its sole cost and expense, to indemnify, hold harmless, and defend the City and its officers, employees, and agents from all liabilities, damages, losses, claims, suits, causes of action, costs, or expenses of any kind or nature, including but not limited to reasonable attorneys’ fees, for personal injury, death, property damage, or any other losses that arise from or are in any way connected with the negligence, recklessness, or intentional wrongful conduct of the Contractor and its officers, employees, and agents under the performance of this Contract. In effectuating the above, the Contractor shall at its sole expense assume and defend not only itself but also the City from any such claims, even if the claim is groundless, false, or fraudulent, provided the City retains the right to participate in the defense with its own counsel or counsel of its choosing at the City’s own expense for attorneys’ fees. This indemnification is not limited in any way by a limitation of the amount or type of damages or compensation payable by or for the Contractor under workers’ compensation, disability, or other employee benefit acts, or the acceptance of insurance certificates required by this Contract, or the terms, applicability, or limitations of any insurance held by the Contractor. The City does not waive any rights against the Contractor that it may have by reason of this indemnification because of the City’s acceptance of Contractor’s insurance policies required by the City, and this indemnification applies to all damages and claims for damages of any kind suffered regardless of whether such insurance policies are determined to be applicable to any such damages or claims for damages. Nothing contained in this Contract may be interpreted as a waiver of the City’s sovereign immunity as provided in Section 768.28, Florida Statutes, or as denying the City any remedy or defense available at law.

This section and indemnification will survive and be in full force and effect after any termination or expiration of this Contract.

*Or for intergovernmental or Interlocal agreements:*

Each party shall be solely responsible for the negligent or wrongful acts of its officials, agents and employees.

**8. INSURANCE.** (Check with risk for required coverage and amounts)

**A.** During the term of this Contract, Contractor shall maintain insurance as follows:

Workers’ Compensation insurance	providing coverage in compliance with Florida Statutes
Professional Liability insurance	\$1,000,000 per occurrence combined single limit for bodily injury and property damage
Public Liability insurance (other than automobile) consisting of broad form comprehensive general liability insurance including contractual coverage	\$1,000,000 per occurrence combined single limit for bodily injury and property damage
Automobile Liability insurance	\$

500,000 per occurrence combined single limit  
for bodily injury and property damage

Property Damage insurance

[\$[contact risk] per occurrence combined  
single limit for bodily injury and property  
damage

B. Prior to the effective date of this Contract, Contractor shall provide to City a certificate of insurance certifying such insurance and naming City as additional insured and that City will be notified in writing at least thirty (30) days before any such insurance is canceled or materially changed.

C. Insurance must be written by a company licensed to do business in the State of Florida and satisfactory to City.

## **9. SOVEREIGN IMMUNITY.**

Nothing in the Contract Documents shall be interpreted as a waiver of the City's sovereign immunity as granted under Section 768.28, Florida Statutes.

## **10. TERMINATION.**

A. If the Contractor fails to observe or perform in accordance with the Contract Document (a "Default"), then the City, after providing at least ten (10) days written notice to the Contractor of the Default and the City's intent to terminate if such Default continues unremedied during the ten (10) day period, may terminate this Contract without prejudice to any other rights or remedies the City may have under this Contract and Florida law.

B. This Contract may be terminated by the City, without cause, upon thirty (30) days written notice to the Contractor. In the event this Contract is so terminated, the Contractor shall be compensated for services rendered through the effective date of the termination.

## **11. INDEPENDENT CONTRACTOR.**

Contractor shall be considered an independent contractor and as such shall not be entitled to any right or benefit to which City employees are or may be entitled to by reason of employment. Except as specifically noted in the Contract Documents, Contractor shall be solely responsible for the means, method, techniques, sequences, and procedures utilized by the Contractor for the full performance of the Contract Documents.

## **12. INTELLECTUAL PROPERTY AND WORK PRODUCT.**

A. Ownership and Publication of Materials. All reports, information, data, and other materials prepared by the Contractor pursuant to the Contract Documents, except those separately identified in the Scope of Services or in other written agreements between the Parties, are owned by the City. The City has the exclusive and unrestricted authority to release, publish or otherwise use, in whole or in part, information contained therein and relating thereto. No material produced in whole or in part under the Contract Documents may be copyrighted or patented in the United States or in any other country without prior written approval of the City.

B. Intellectual Property. Contractor warrants that it owns or has rights to use all intellectual property used for the scope of each project, including patent rights, copyrights, or other intellectual property rights, except with respect to designs, processes or products of a particular manufacturer expressly required by the City [or process or product

is an infringement of a patent, copyright or other intellectual property, the Contractor shall promptly give City [and Professional if applicable] written notice of the infringement.

### **13. RECORDS AND RIGHT-TO-AUDIT.**

Contractor shall maintain records sufficient to document completion of the scope of services established by the Contract Documents. These records shall be subject at all reasonable time to review, inspect, copy and audit by persons duly authorized by the City. These records shall be kept for a minimum of three (3) years after termination of the Contract. Records that relate to any litigation, appeals or settlements of claims arising from performance under this Contract shall be made available until a final disposition has been made of such litigation, appeals, or claims.

### **14. CONTRACTOR'S ASSURANCES.**

Contractor warrants that the goods and services supplied to the City pursuant to this Contract shall at all times fully conform to the specifications set forth in the Invitation to Bid and be of the highest quality. In the event the City, in the City's sole discretion, determines that any product or services supplied pursuant to this Contract is defective or does not conform to the specifications set forth in the Invitation to Bid, the City reserves the right unilaterally to cancel an order or cancel this Contract upon written notice [and an opportunity to cure if applicable] to the Contractor, and reduce commensurately any amount of money due the Contractor.

### **15. WARRANTY.**

[are there specific warranties requested in the bid? If so, list them here or reference them here]

### **16. PUBLIC RECORDS.**

Florida has a very broad public records law and certain records of a contractor may be considered public records. Accordingly, by entering into an agreement with the City, contractor must:

1. Keep and maintain public records required by the public agency to perform the service.
2. Upon request from the public agency's custodian of public records, provide the public agency with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in this chapter or as otherwise provided by law.
3. Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the contract if the contractor does not transfer the records to the public agency.
4. Upon completion of the contract, transfer, at no cost, to the public agency all public records in possession of the contractor or keep and maintain public records required by the public agency to perform the service. If the contractor transfers all public records to the public agency upon completion of the contract, the contractor shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the contractor keeps and maintains public records upon completion of the contract, the contractor shall meet all applicable requirements for retaining public records. All records stored electronically must be provided to the public agency, upon request from the public agency's custodian of public records, in a format that is compatible with the information technology systems of the public agency.

**IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (telephone number, e-mail address, and mailing address).**

<http://www.cityofgainesville.org/ClerkOfTheCommission/PublicRecordsRequests/RequestingaPublicRecord.aspx>

**17. DISPUTE RESOLUTION**

Except as otherwise provided in this Contract, any dispute concerning a question of fact or of interpretation of a requirement of the Contract which is not disposed of by mutual consent between the parties shall be decided by the City Manager or designee, who shall reduce the decision to writing and furnish a copy thereof to the parties. In connection with any dispute proceeding under this clause each party shall be afforded an opportunity to be heard and to offer evidence in support of its version of the facts and interpretation of the Contract. The City Manager or designee shall make such explanation as may be necessary to complete, explain or make definite the provisions of this Contract and the findings and conclusions shall be final and binding on both parties. Pending the final decisions of a dispute hereunder, Contractor shall proceed diligently with its performance of the Contract in accordance with the preliminary directions of the City Manager or designee.

**18. ATTORNEY’S FEES AND COSTS.**

The prevailing party to any litigation filed in state or federal court, shall be entitled to attorney’s fees and costs, including any attorney’s fees and costs incurred on appeal.

**19. FORCE MAJEURE** (not needed if paragraph 5 is blank)

If the performance of the Contract is delayed by fire, lightning, earthquake, cyclone, or other such cause completely beyond the control of either the City or the Contractor, then the time for completion of the Contract shall be extended for a period equivalent to the time lost by reason of any of the aforesaid causes.

[OR]

**19. PARAGRAPH INTENTIONALLY OMITTED**

**20. APPLICABLE LAW AND VENUE.**

This Contract shall be governed by and construed in accordance with the laws of the State of Florida, notwithstanding any Florida conflict of law provision to the contrary. In the event of any legal action under this Contract, venue shall be in Alachua County, Florida.

**21. DEFAULT AND REMEDIES.**

The non-breaching party shall have available all remedies at law.

**22. NOTICES.**

Any notices from either party to the other party must be in writing and sent by certified mail, return requested, overnight courier service or delivered in person with receipt to the following:

CITY:  
City of Gainesville  
**Insert Department Name**  
Attn:  
**Insert Address**

CONTRACTOR:  
**Insert Contractor’s Information**

**23. SEVERABILITY.**

If any provision of this Contract is declared void by a court of law, all other provisions will remain in full force and effect.

**24. INTEGRATION/MERGER.**

This Contract, together with the attached bid documents, contains the entire contract and understanding of the Parties regarding the matters set forth herein and supersedes all previous negotiations, discussions, and understandings, whether oral or written, regarding such matters. The Parties acknowledge that they have not relied on any promise, inducement, representation, or other statement made in connection with this agreement that is not expressly contained in this Contract. The terms of this Contract are contractual and not merely recital.

**25. MODIFICATION AND WAIVER.**

The provisions of this Contract may only be modified or waived in writing signed by all the Parties. No course of dealing shall be deemed a waiver of rights or a modification of this Contract. The failure of any party to exercise any right in this contract shall not be considered a waiver of such right. No waiver of a provision of the Contract shall apply to any other portion of the Contract. A waiver on one occasion shall not be deemed to be a waiver on other occasions.

**26. CAPTIONS AND SECTION HEADINGS.**

Captions and section headings used herein are for convenience only and shall not be used in construing this Contract.

**27. ASSIGNMENT OF INTEREST.**

Neither party will assign or transfer any interest in the Contract without prior written consent of the other party.

**28. SUCCESSORS AND ASSIGNS.**

The Parties each bind the other and their respective successors and assigns in all respects to all the terms, conditions, covenants, and provisions of this Contract.

**29. THIRD PARTY BENEFICIARIES.**

This Contract does not create any relationship with, or any rights in favor of, any third party.

**30. CONSTRUCTION.**

This Contract shall not be construed more strictly against one party than against the other merely by virtue of the fact that it may have been prepared by one of the Parties. It is recognized that both Parties have substantially contributed to the preparation of this Contract.

**31. COUNTERPARTS.**

This Contract may be executed in any number of and by the different Parties hereto on separate counterparts, each of which when so executed shall be deemed to be an original, and such counterparts shall together constitute but one and the same instrument.

**32. EXHIBITS.**

All exhibits attached to this Contract are incorporated into and made part of this Contract by reference.

**IN WITNESS WHEREOF**, the Parties hereto have executed this Agreement, or caused to be executed by their duly authorized officials, on the day and year first written above.

**CITY OF GAINESVILLE:**

**NAME OF COMPANY:**

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

APPROVED AS TO FORM AND LEGALITY

\_\_\_\_\_  
City Attorney



**PART 9 – EXHIBITS**

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The following documents/forms are included in this section:

- Drug-Free Workplace Form
- Bidder Verification Form
- Reference Form
- Living Wage Decision Tree
- Certification of Compliance with Living Wage

**BID COVER PAGE (Non CCNA)**  
**DRUG-FREE WORKPLACE FORM**

The undersigned bidder in accordance with Florida Statute 287.087 hereby certifies that

\_\_\_\_\_ does:

(Name of Proposer)

1. Publish a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the workplace and specifying the actions that will be taken against employees for violations of such prohibition.
2. Inform employees about the dangers of drug abuse in the workplace, the business's policy of maintaining a drug-free workplace, any available drug counseling, rehabilitation, and employee assistance programs, and the penalties that may be imposed upon employees for the drug abuse violations.
3. Give each employee engaged in providing the commodities or contractual services that are under bid a copy of the statement specified in subsection (1).
4. In the statement specified in subsection (1), notify the employees that, as a condition of working on the commodities or contractual services that are under bid, the employee will abide by the terms of the statement and will notify the employer of any conviction of, or plea of guilty or nolo contendere to, any violation of Chapter 893 or of any controlled substance law of the United States or any state, for a violation occurring in the workplace no later than five (5) days after such conviction.
5. Impose a sanction on, or require the satisfactory participation in a drug abuse assistance or rehabilitation program if such is available in the employee's community, by any employee who is so convicted.
6. Make a good faith effort to continue to maintain a drug-free workplace through implementation of this section.

As the person authorized to sign the statement, I certify that this bidder complies fully with the above requirements.

\_\_\_\_\_  
Bidder's Signature

\_\_\_\_\_  
Date

***In the event of a tie bid, bidders with a Drug Free Workplace Program will be given preference. To be considered for the preference, this document must be completed and uploaded to DemandStar.com with your Submittal.***

# BIDDER VERIFICATION FORM

## **LOCAL PREFERENCE** (Check one)

Local Preference requested:  YES  NO

A copy of the following documents must be included in your submission if you are requesting Local Preference:

- Business Tax Receipt
- Zoning Compliance Permit

## **QUALIFIED SMALL BUSINESS AND/OR SERVICE DISABLED VETERAN BUSINESS STATUS** (Check one)

Is your business qualified, in accordance with the City of Gainesville's Small Business Procurement Program, as a local Small Business?  YES  NO

Is your business qualified, in accordance with the City of Gainesville's Small Business Procurement Program, as a local Service-Disabled Veteran Business?  YES  NO

## **LIVING WAGE COMPLIANCE**

See Living Wage Decision Tree:

(Check one)

- Living Wage Ordinance does not apply (check all that apply)
- Not a covered service
  - Contract does not exceed \$100,000
  - Not a for-profit individual, business entity, corporation, partnership, limited liability company, joint venture, or similar business, who or which employees 50 or more persons, but not including employees of any subsidiaries, affiliates or parent businesses.
  - Located within the City of Gainesville enterprise zone.
- Living Wage Ordinance applies and the completed Certification of Compliance with Living Wage is included with this bid.

**NOTE: If Contractor has stated Living Wage Ordinance does not apply and it is later determined Living Wage Ordinance does apply, Contractor will be required to comply with the provision of the City of Gainesville's living wage requirements, as applicable, without any adjustment to the bid price.**

## **REGISTERED TO DO BUSINESS IN THE STATE OF FLORIDA**

Is Bidder registered with Florida Department of State's, Division of Corporations, to do business in the State of Florida?

YES  NO (refer to Part 1, 1.6, last paragraph)

If the answer is "YES", provide a copy of SunBiz registration or SunBiz Document Number (#\_\_\_\_\_)

If the answer is "NO", please state reason why: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Bidder's Name

\_\_\_\_\_  
Printed Name/Title of Authorized Representative

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Date

*This page must be completed and uploaded to DemandStar.com with your Submittal.*

# REFERENCE FORM

Name of Bidder: \_\_\_\_\_

Provide information for three references of similar scope performed within the past three years. You may include photos or other pertinent information.

---

#1 Year(s) services provided (i.e. 1/2015 to 12/2018): \_\_\_\_\_

Company Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Contact Name: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_  
Email Address (if available): \_\_\_\_\_

---

#2 Year(s) services provided (i.e. 1/2015 to 12/2018): \_\_\_\_\_

Company Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Contact Name: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_  
Email Address (if available): \_\_\_\_\_

---

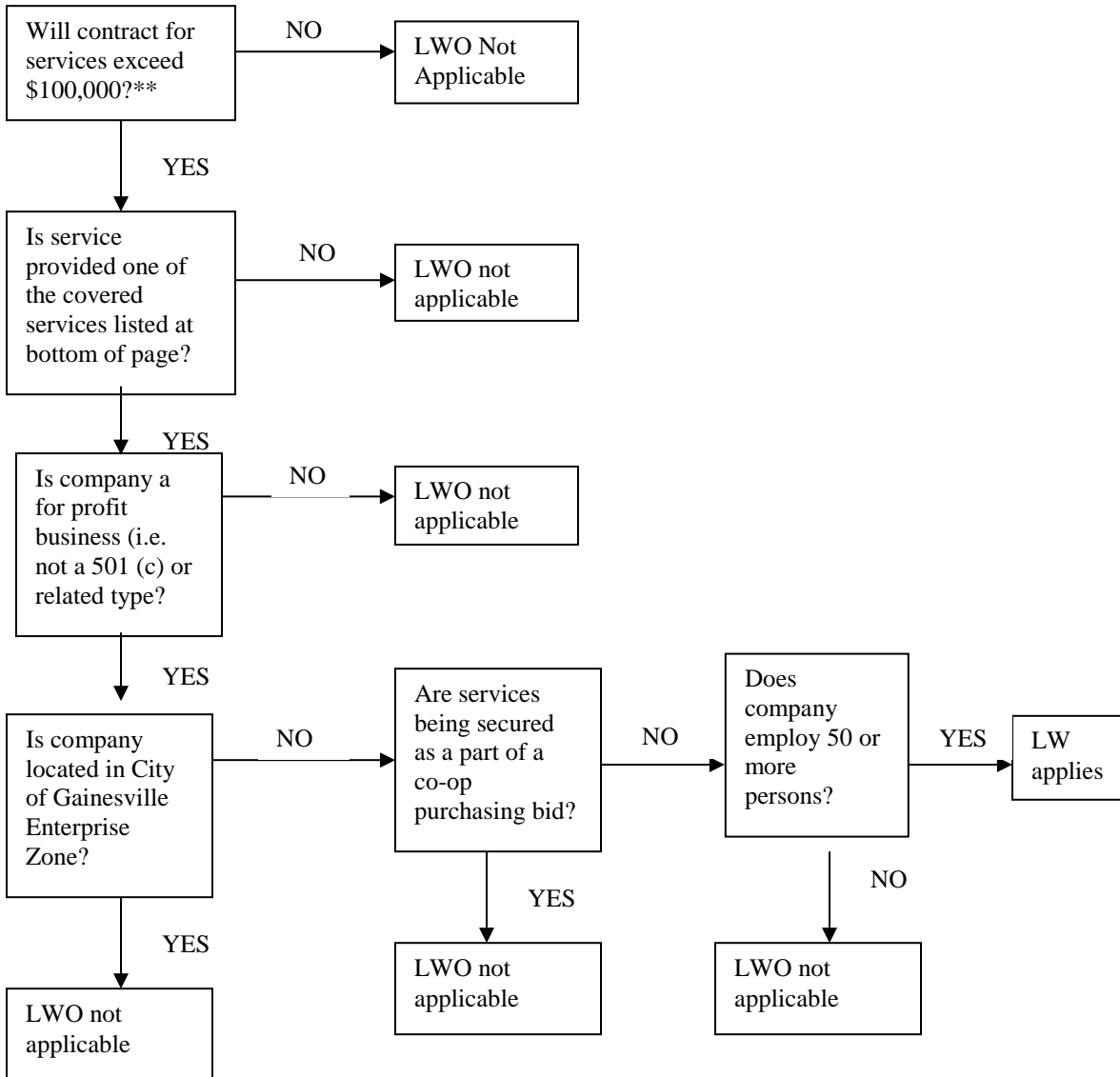
#3 Year(s) services provided (i.e. 1/2015 to 12/2018): \_\_\_\_\_

Company Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City, State Zip: \_\_\_\_\_  
Contact Name: \_\_\_\_\_  
Phone Number: \_\_\_\_\_ Fax Number: \_\_\_\_\_  
Email Address (if available): \_\_\_\_\_

---

## LIVING WAGE DECISION TREE

While not all encompassing, the following is provided as a guideline for contractors in determining whether the City of Gainesville Living Wage Ordinance applies to their firm in the performance of specified service contracts for covered services\* with the City. Contractors are advised to review the entire text of the Living Wage Ordinance in conjunction with this guideline.



\*Covered Services: food preparation and/or distribution; custodial/cleaning; refuse removal; maintenance and repair; recycling; parking services; painting/refinishing; printing and reproduction services; landscaping/grounds maintenance; agricultural/forestry services; and construction services  
 \*\*Total value of contract.

## CERTIFICATION OF COMPLIANCE WITH LIVING WAGE

**The undersigned** hereby agrees to comply with the terms of the Living Wage Ordinance and to pay all covered employees, as defined by City of Gainesville Ordinance 020663 as amended at 030168 (Living Wage Ordinance), during the time they are directly involved in providing covered services under the contract with the City of Gainesville for \_\_\_\_\_ a living wage of \$\_\_\_\_\_ per hour to covered employees who receive Health Benefits from the undersigned employer and \$\_\_\_\_\_ per hour to covered employees not offered health care benefits by the undersigned employer.

Name of Service Contractor/Subcontractor: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Name of Local Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

\$ \_\_\_\_\_  
(Amount of Contract)

\_\_\_\_\_  
Printed Name/Title of Authorized Representative

\_\_\_\_\_  
Signature of Authorized Representative

\_\_\_\_\_  
Date

*This page must be completed and returned with your Submittal, if the Living Wage Ordinance applies to bidder.*

## PART 9 – NO BID SURVEY

---

### GENERAL GOVERNMENT PROCUREMENT DIVISION SURVEY BID INFORMATION

RFQ #: WSPP-2000004-DM

DUE DATE: February 17, 2020  
@ 3:00 pm

PROPOSAL TITLE: Thelma Boltin Center Renovations-Design Services

#### IF YOU DO NOT BID

Please check the appropriate or explain:

- \_\_\_\_\_ 1. Not enough bid response time.
- \_\_\_\_\_ 2. Specifications not clear.
- \_\_\_\_\_ 3. Do not submit bids to Municipalities.
- \_\_\_\_\_ 4. Current work load does not permit time to bid.
- \_\_\_\_\_ 5. Delay in payment from Governmental agencies.
- \_\_\_\_\_ 6. Do not handle this item.
- \_\_\_\_\_ 7. Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposer Name: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Are you a small business?  YES  NO

Are you a service-disabled veteran business?  YES  NO

*If you choose to not bid, complete this form, and either upload it into DemandStar.com or email to the procurement specialist.*

# RENOVATIONS OF THE THELMA A. BOLTIN (SENIOR RECREATION) CENTER

**516 NE 2ND AVENUE  
GAINESVILLE, FLORIDA 32601**

**FOR  
CITY OF GAINESVILLE**

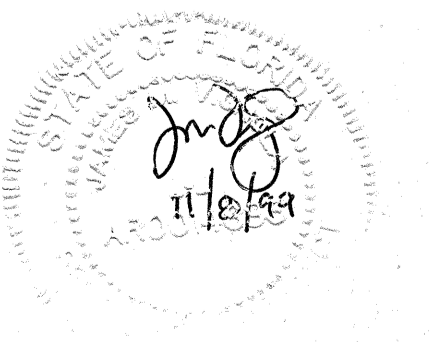
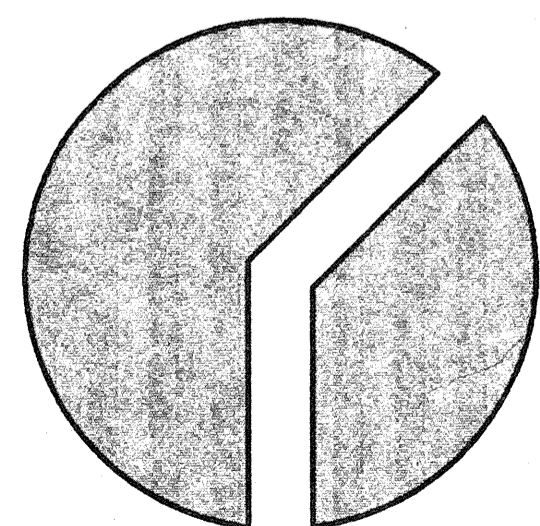
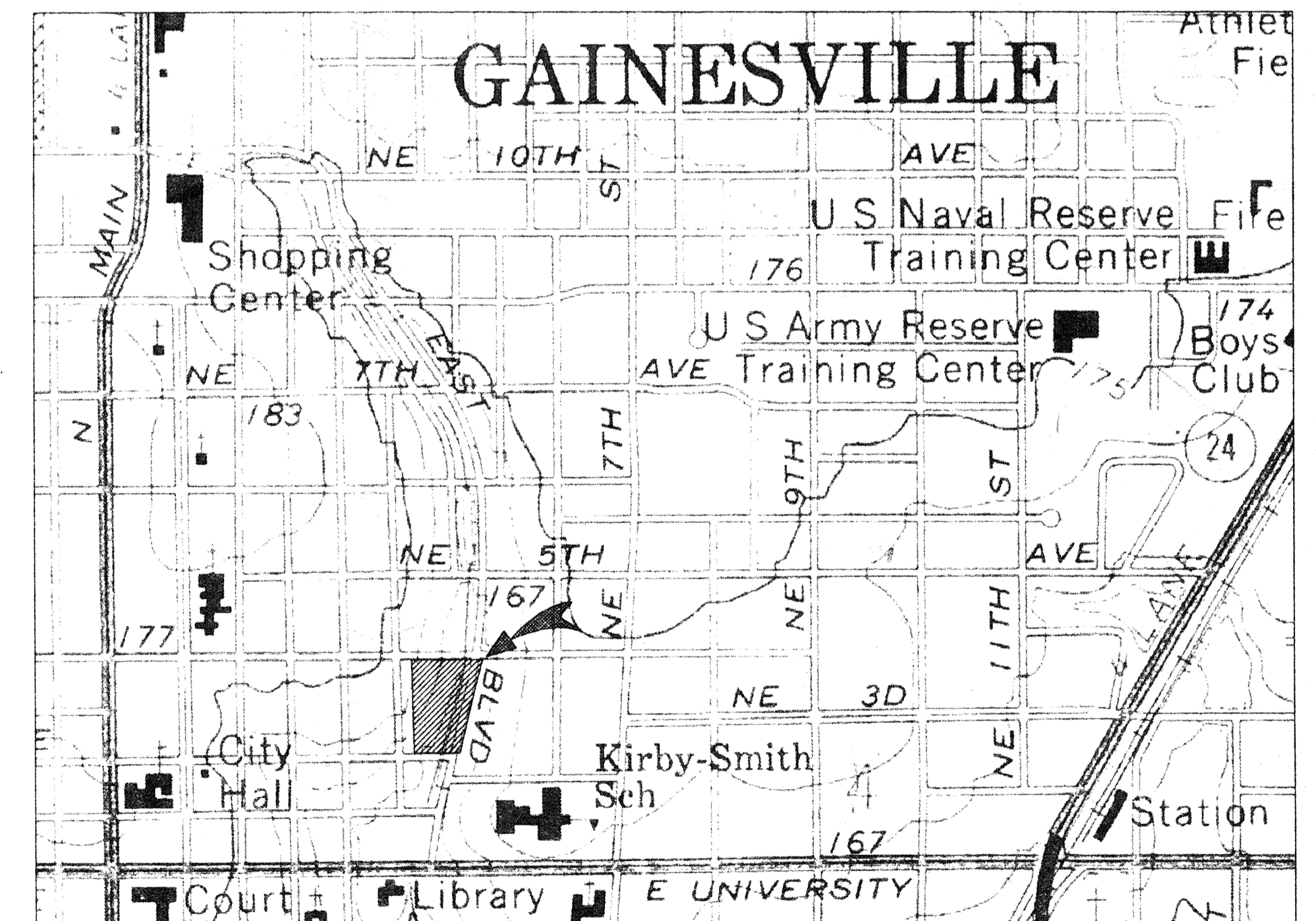
**SKINNER & ASSOCIATES, INC.**

ARCHITECTS, ENGINEERS, AND PLANNERS

211 S.W. 4th Ave. • P.O. Box 761 Gainesville, Florida 32602  
(352) 378-4400, FAX (352) 377-5378 PROJECT #31807

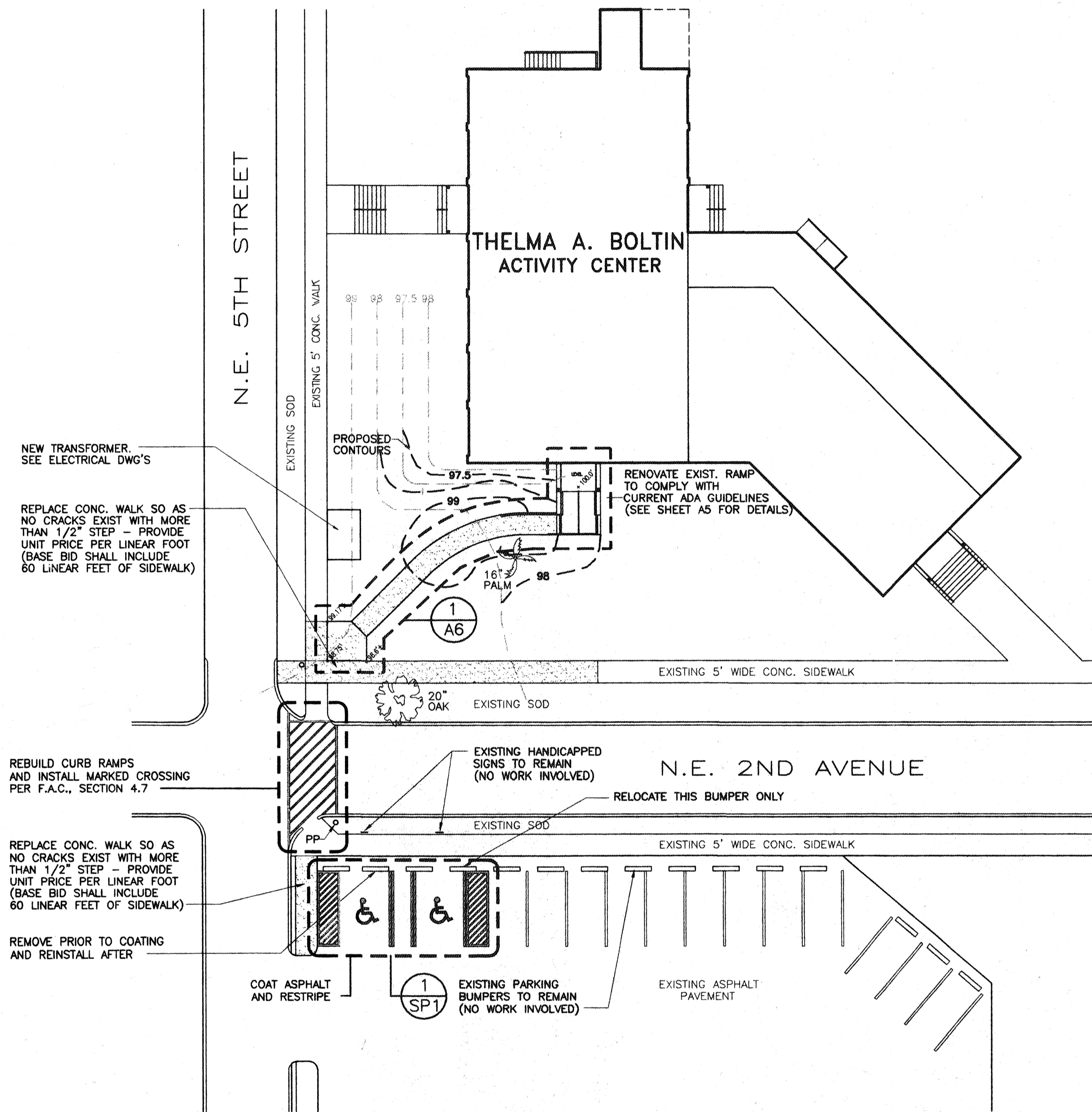
## DRAWING INDEX

SP1	SITE PLAN
A1	DEMOLITION PLAN
A2	FLOOR PLAN
A3	REFLECTED CEILING PLAN
A4	ROOF PLAN AND DETAILS
A5	EXTERIOR ELEVATIONS
A6	DETAILS
A7	DETAILS AND INT. ELEVATIONS
A8	ROOM FINISH, SCHEDULES
P1	PLUMBING PLAN
M1	MECHANICAL NOTES AND DETAILS
M2	MECHANICAL PLAN
E1	ELECTRICAL SITE PLAN
E2	POWER AND LIGHTING PLAN
E3	FIRE ALARM PLAN
E4	PANELBOARD SCHEDULES AND RISER DIAGRAMS
E5	ELECTRICAL DEMOLITION PLAN
LS1	LANDSCAPING 1
LS2	LANDSCAPING 2





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**SITE PLAN**  
SCALE: 1" = 20'-0"



**CITY OF GAINESVILLE, FLORIDA**

These plans have been reviewed subject to compliance with the adopted Construction Codes, City of Gainesville's ordinances and such notations as may appear thereon.

*Green Chiswick* Date: 12-22-99  
Gainesville Regional Utilities

Traffic Engineer \_\_\_\_\_ Date \_\_\_\_\_

Public Works *Bill Hossner* Date: 12-21-99  
*Bill Hossner* and *Pauline*  
Planning Director - Historic Review Date: 11/29/99

Planning *Buddy McMin* Date: 3/27/00

Plumbing Inspector *Bill Hossner* Date: 3/16/00

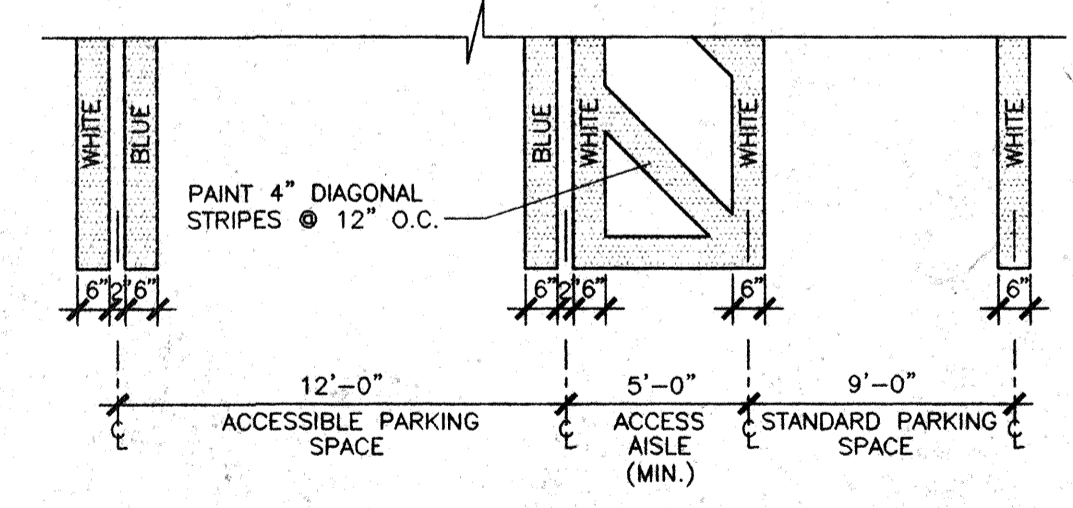
Electrical Inspector *Buddy McMin* Date: 3/27/00

Party Inspector *David Starbuck* Date: 1-10-00

Fire Protection *Buddy McMin* Date: 3/27/00

Building Division

*Recommend - landscape replacement along 5th d. & 1*



**STRIPING DETAIL**

NTS NOTE: ACCESSIBILITY SYMBOL TO BE PROVIDED AT EACH ACCESSIBLE SPACE

1  
SP1



DATE: 08-11-99  
DRAWN BY: M. A. B.

REVISIONS:

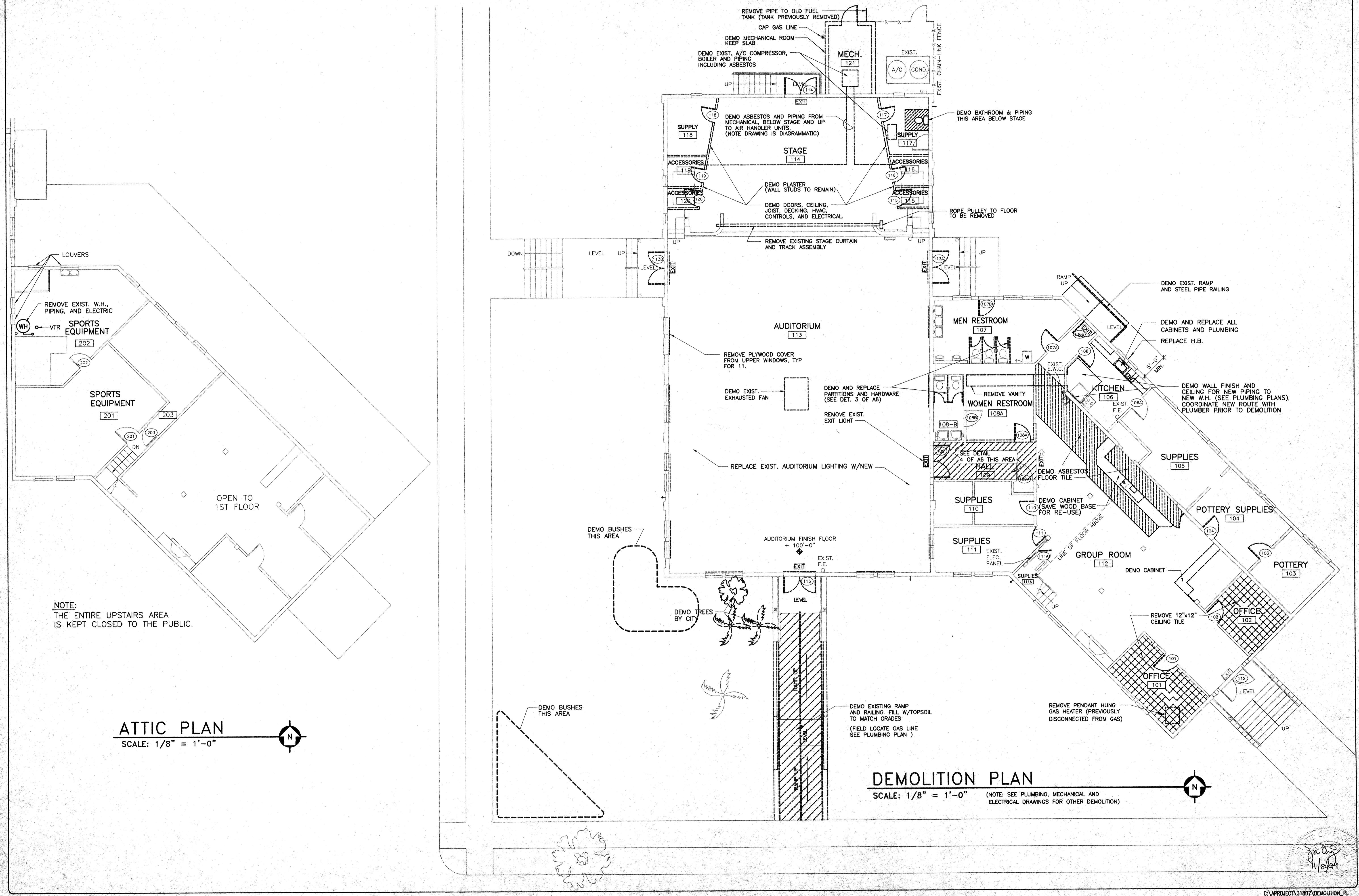

**RENOVATIONS OF THE THELMA A. BOLTIN CENTER**  
FOR  
**CITY OF GAINESVILLE**

GAINESVILLE, FL TCS&A #31807

**SKINNER & ASSOCIATES, INC.**  
ARCHITECTS, ENGINEERS & PLANNERS  
211 SW 4th Avenue, S-3 • P.O. Box 781  
Gainesville, Florida 32602 • 352-378-4400

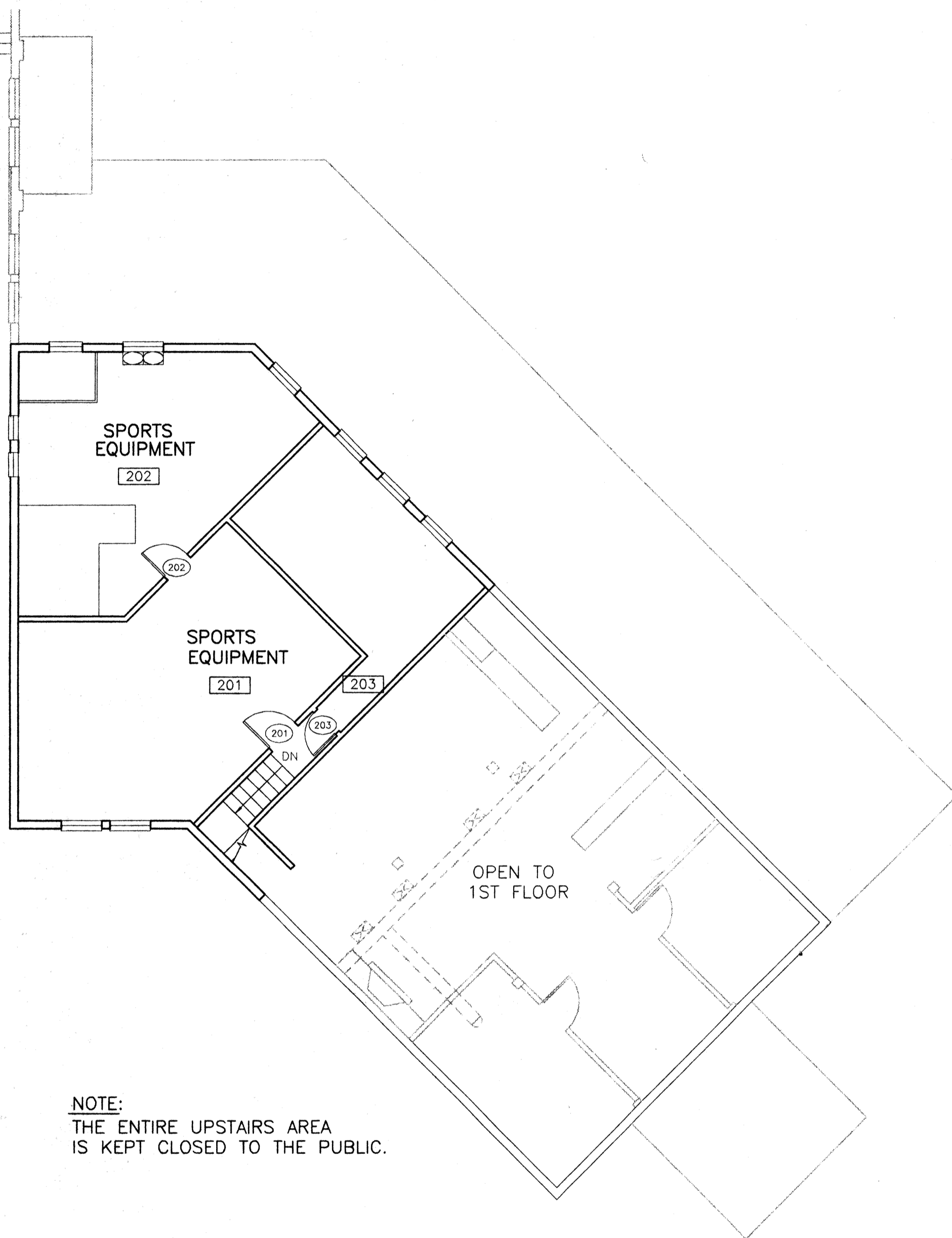
SP1  
of  
1

REVISIONS:	DATE	BY



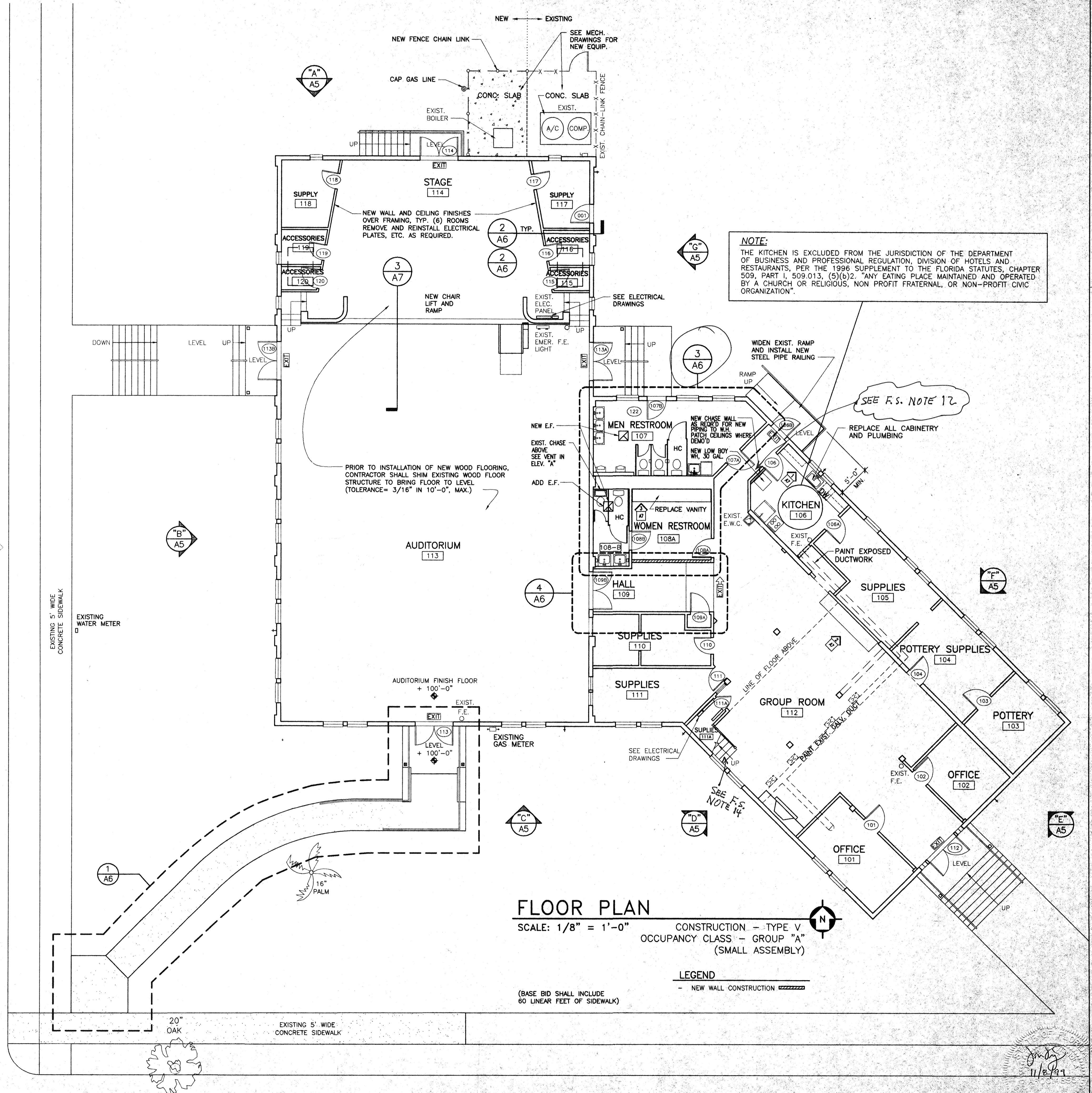
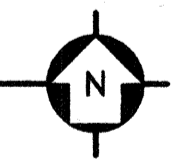
NOTE:  
 THE ENTIRE UPSTAIRS AREA  
 IS KEPT CLOSED TO THE PUBLIC.

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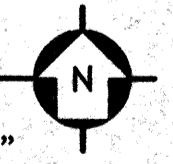
NOTE:  
THE ENTIRE UPSTAIRS AREA  
IS KEPT CLOSED TO THE PUBLIC.

**ATTIC PLAN**  
SCALE: 1/8" = 1'-0"



**NOTE:**  
THE KITCHEN IS EXCLUDED FROM THE JURISDICTION OF THE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION, DIVISION OF HOTELS AND RESTAURANTS, PER THE 1996 SUPPLEMENT TO THE FLORIDA STATUTES, CHAPTER 509, PART 1, 509.013, (5)(b)2. "ANY EATING PLACE MAINTAINED AND OPERATED BY A CHURCH OR RELIGIOUS, NON PROFIT FRATERNAL, OR NON-PROFIT CIVIC ORGANIZATION".

**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
CONSTRUCTION - TYPE V  
OCCUPANCY CLASS - GROUP "A"  
(SMALL ASSEMBLY)



**LEGEND**  
- NEW WALL CONSTRUCTION

(BASE BID SHALL INCLUDE  
60 LINEAR FEET OF SIDEWALK)

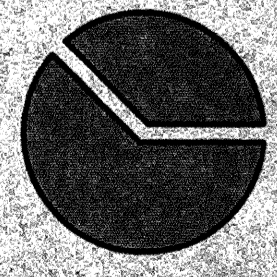
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DATE: 09-07-99  
DRAWN BY: M. A. B.

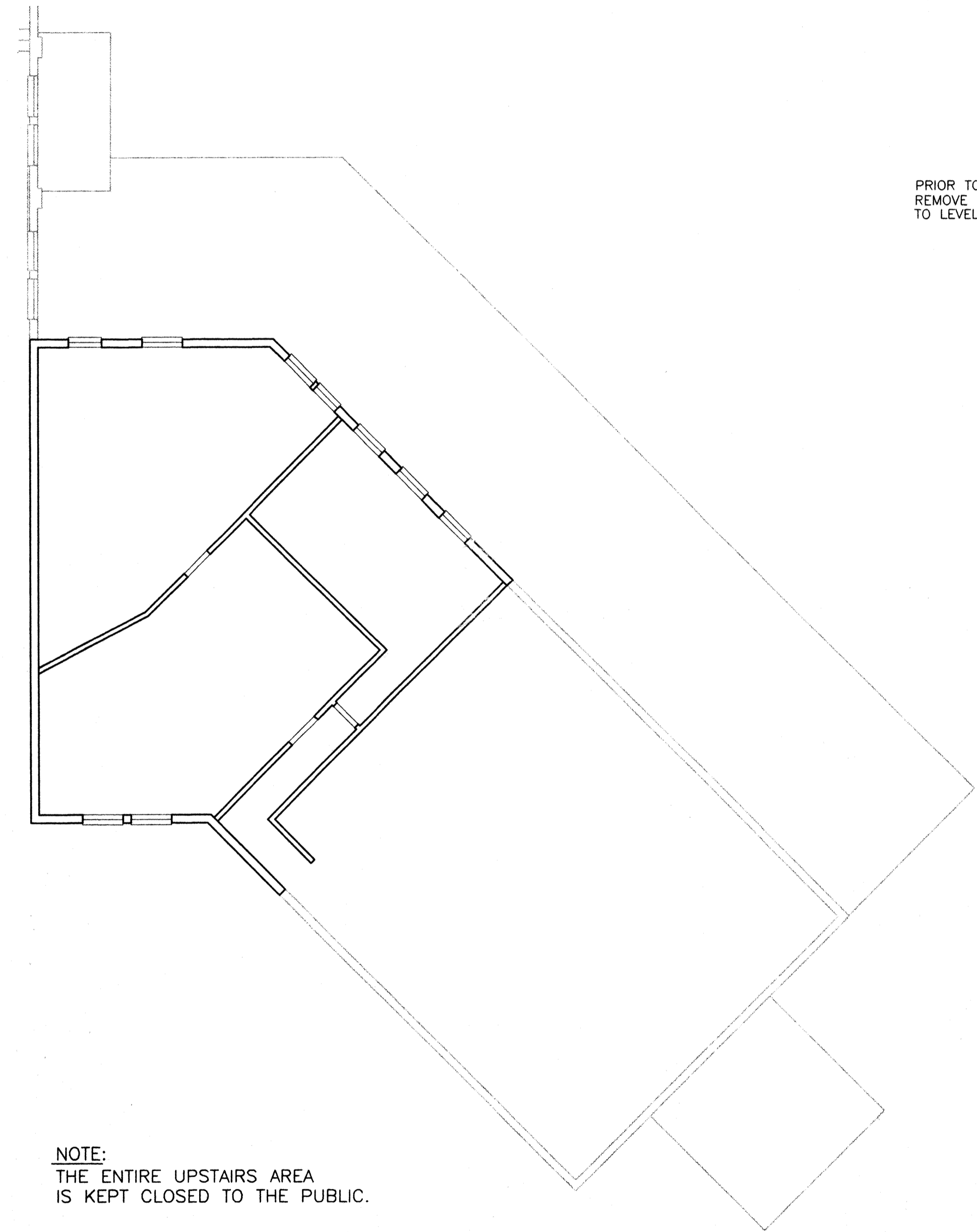
REVISIONS:


RENOVATIONS OF THE THELMA A. BOLTIN CENTER  
FOR  
CITY OF GAINESVILLE, FL  
TCS&A #31807

**SKINNER & ASSOCIATES, INC.**  
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211 SW 4th Avenue, S-3 • P.O. Box 761  
Gainesville, Florida 32602 • 904-378-4400

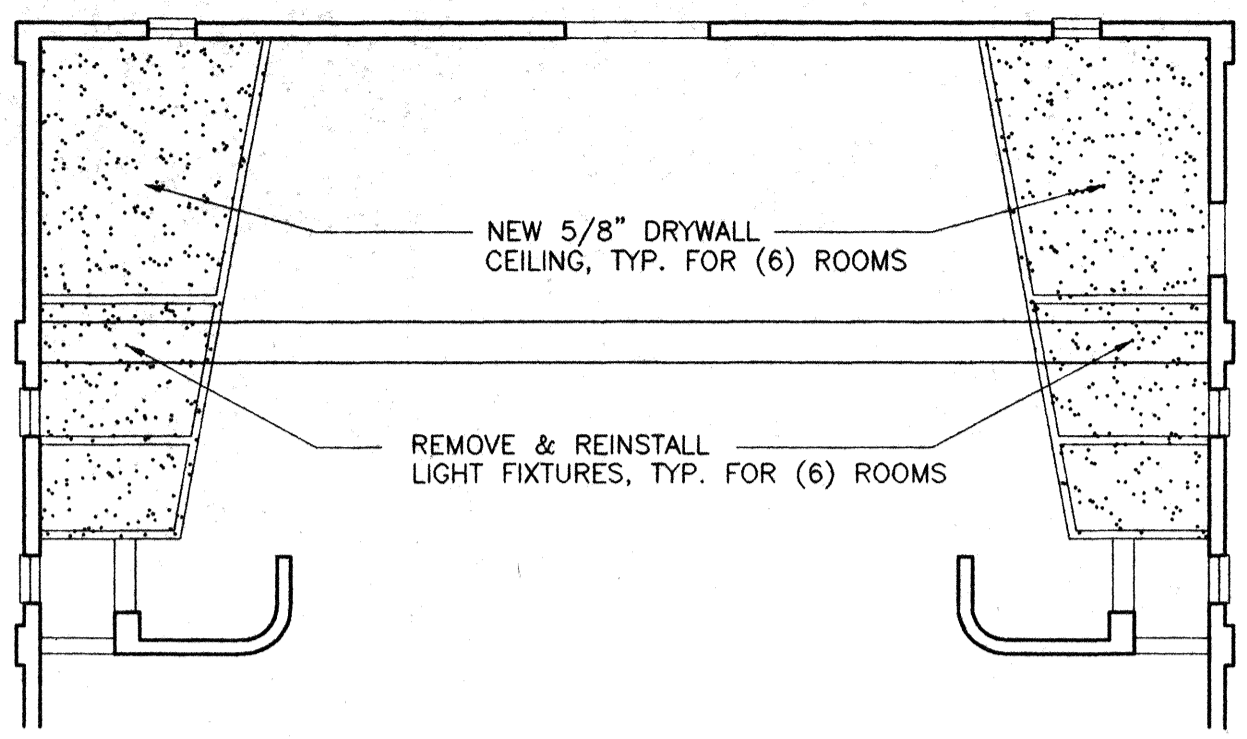


A2  
OF  
8

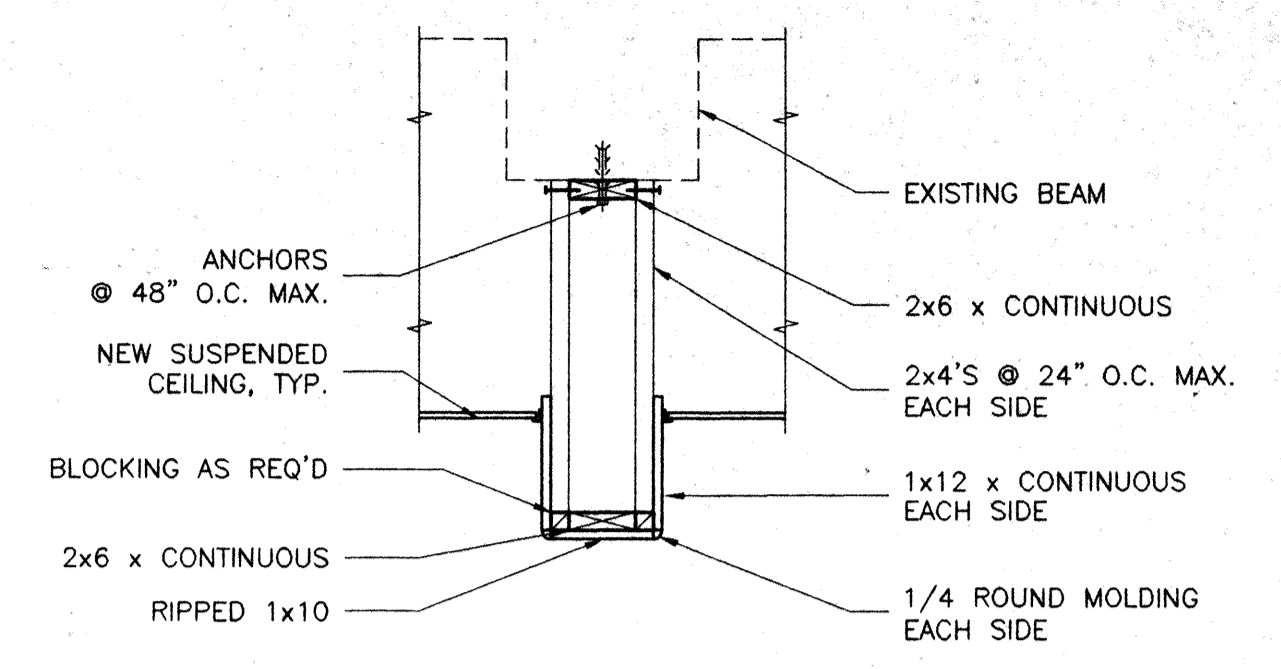


NOTE:  
THE ENTIRE UPSTAIRS AREA  
IS KEPT CLOSED TO THE PUBLIC.

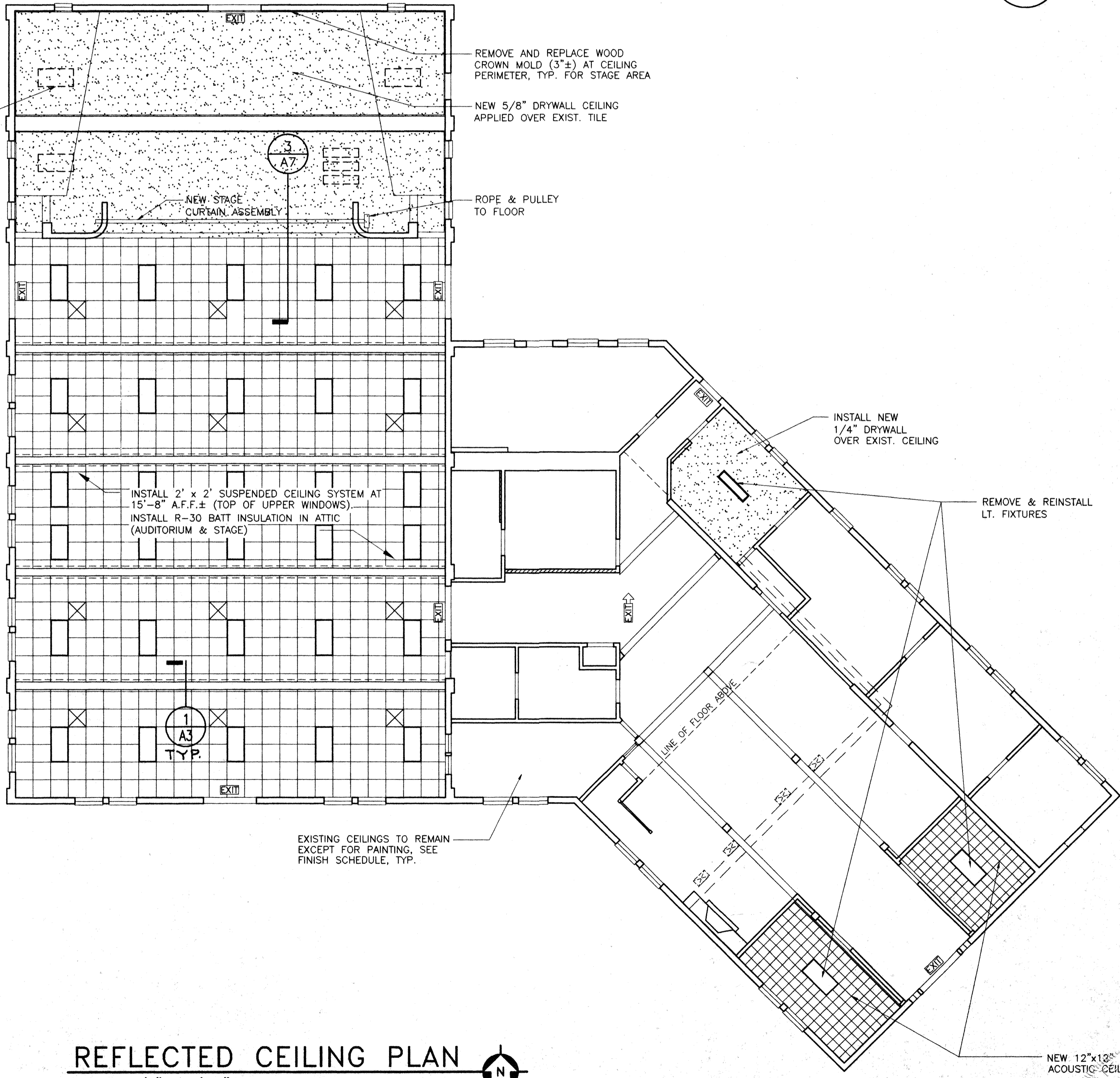
**ATTIC REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**PARTIAL CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**FAUX BEAM DETAIL**  
SCALE: 3/4" = 1'-0"



**REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"

NEW 12"x12"  
ACOUSTIC CEILING

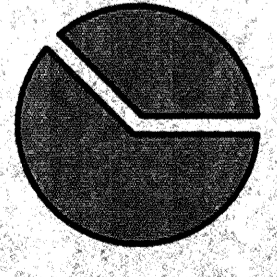
11/2/99

DATE:  
09-07-99

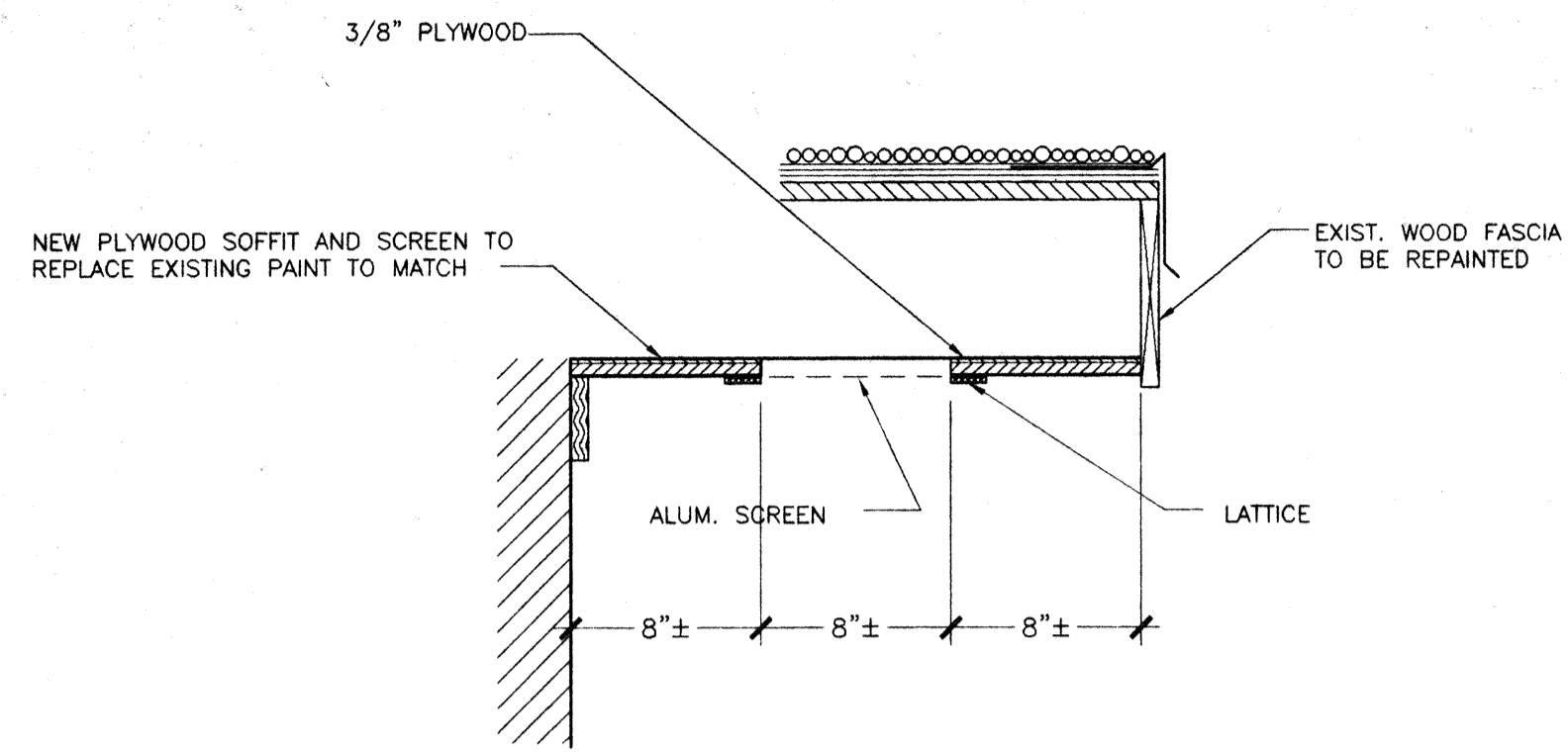
REVISIONS:  
NO. DATE BY

RENOVATIONS OF THE HELMA A. BOLTIN CENTER  
FOR  
CITY OF GAINESVILLE  
GAINESVILLE, FL TCS&A #31807

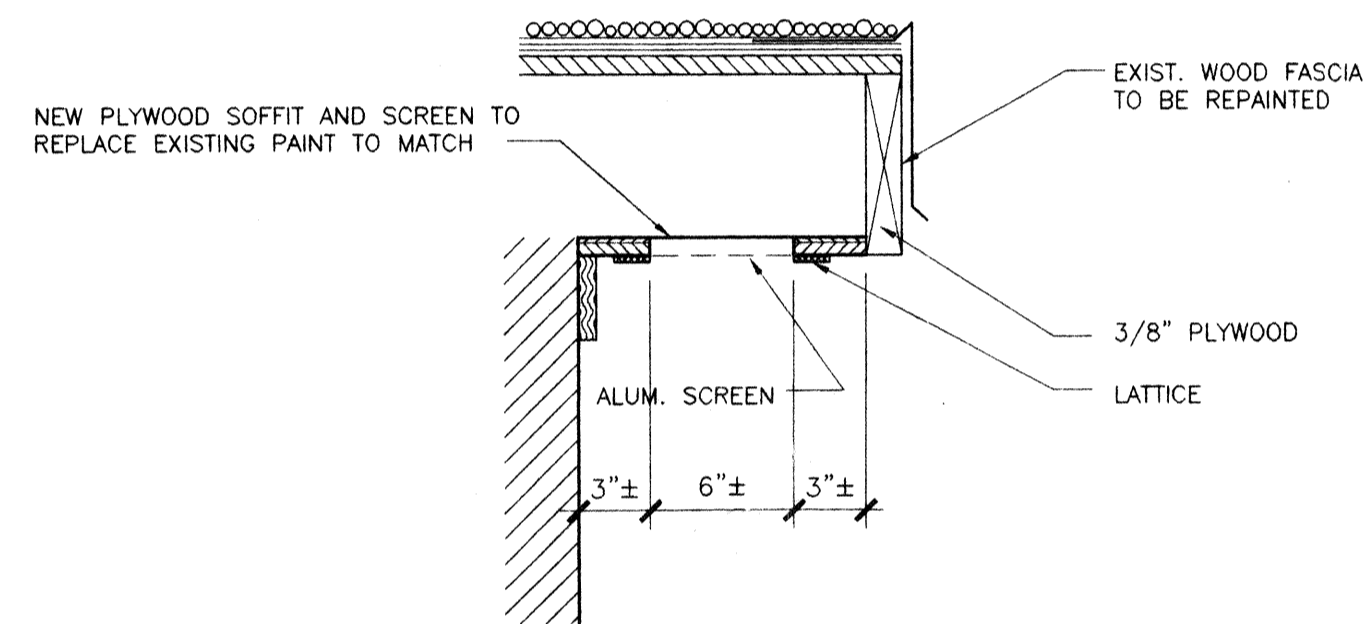
**SKINNER & ASSOCIATES, INC.**  
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Gainesville, Florida 32602 • 904 378-4400



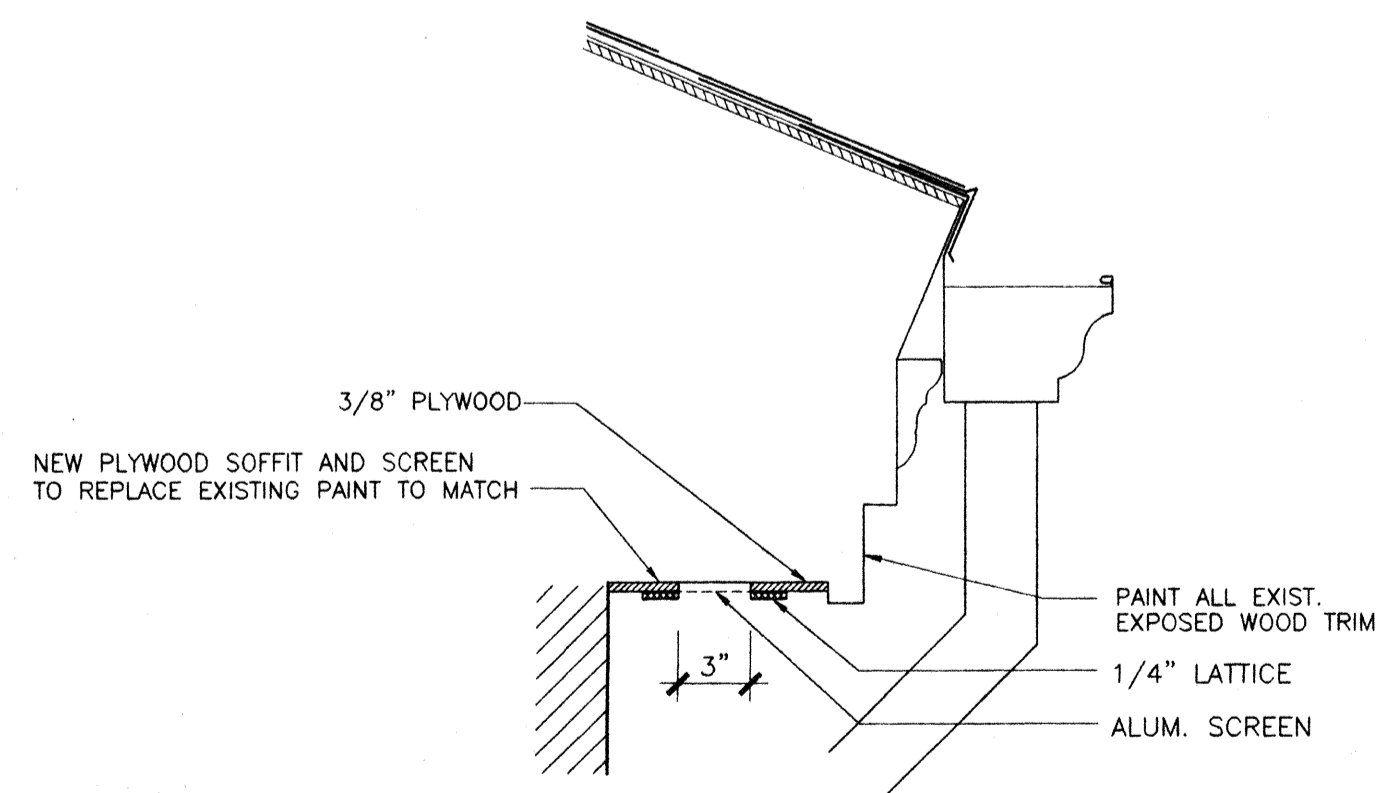
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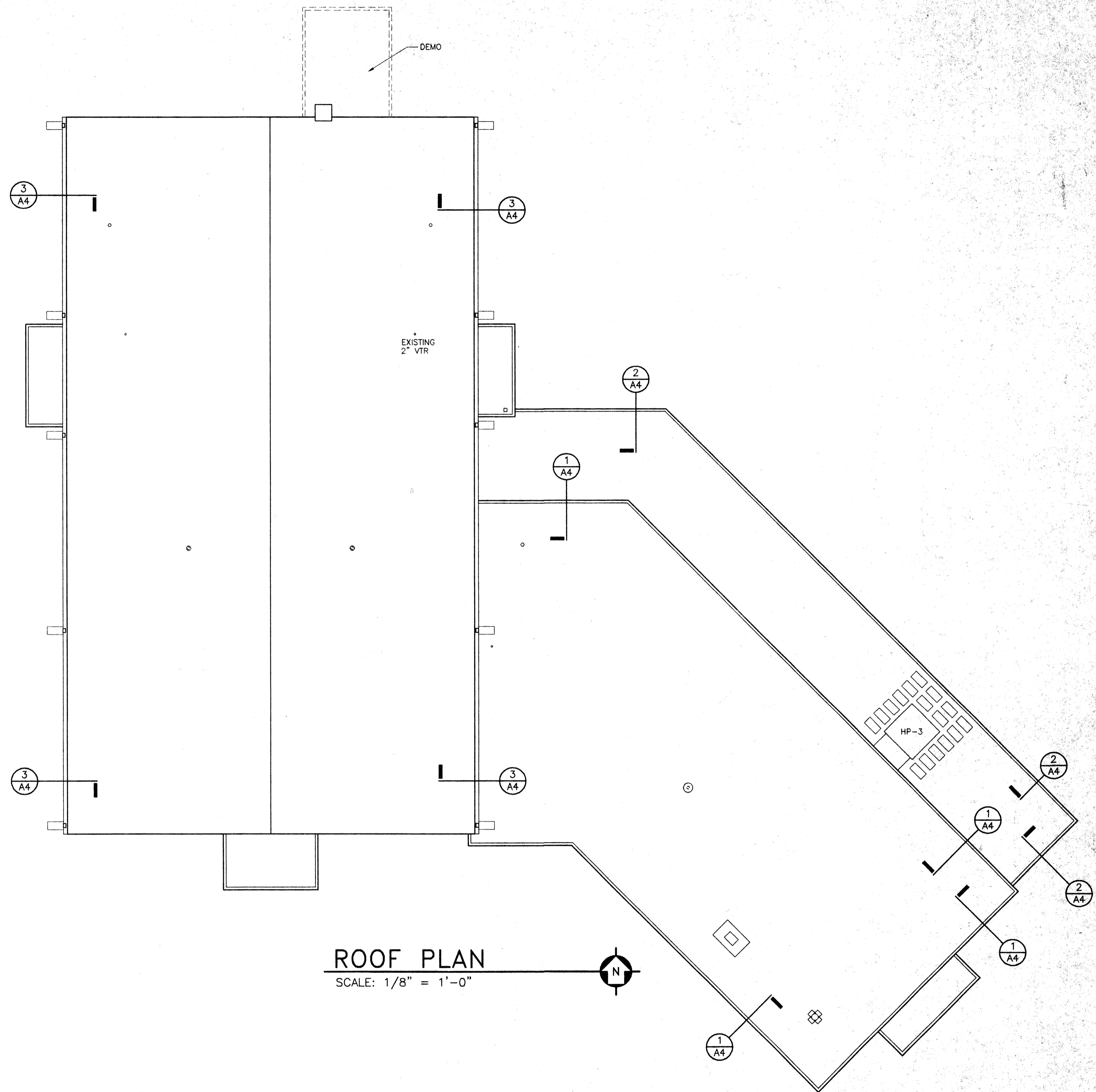
**DETAIL - TYP. ALL AROUND**  
SCALE: 1-1/2" = 1'-0" 1  
A4



**DETAIL - TYP. ALL AROUND**  
SCALE: 1-1/2" = 1'-0" 2  
A4



**DETAIL - TYP. ALL AROUND**  
SCALE: 1-1/2" = 1'-0" 3  
A4



**ROOF PLAN**  
SCALE: 1/8" = 1'-0" N

- NOTES:**
- ① PROVIDE UNIT PRICE PER LINEAR FOOT TO REPLACE ROTTED WOOD SOFFIT AT FLAT ROOFS. (ALLOW FOR 60 LINEAR FEET)
  - ② PROVIDE UNIT PRICE PER LINEAR FOOT TO REPLACE ROTTED WOOD SOFFIT AT SHINGLE ROOF. (ALLOW FOR 60 LINEAR FEET)
  - ③ PROVIDE UNIT PRICE PER LINEAR FOOT TO REPLACE ROTTED WOOD FASCIA AT FLAT ROOFS. (ALLOW FOR 60 LINEAR FEET)
  - ④ PROVIDE UNIT PRICE PER LINEAR FOOT TO REPLACE ROTTED WOOD FASCIA AT SHINGLE ROOF. (ALLOW FOR 60 LINEAR FEET)

M. A. B.  
 11/27/99

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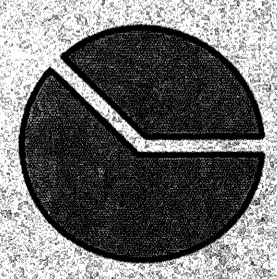
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DATE: 09-07-99  
DRAWN BY: M. A. B.

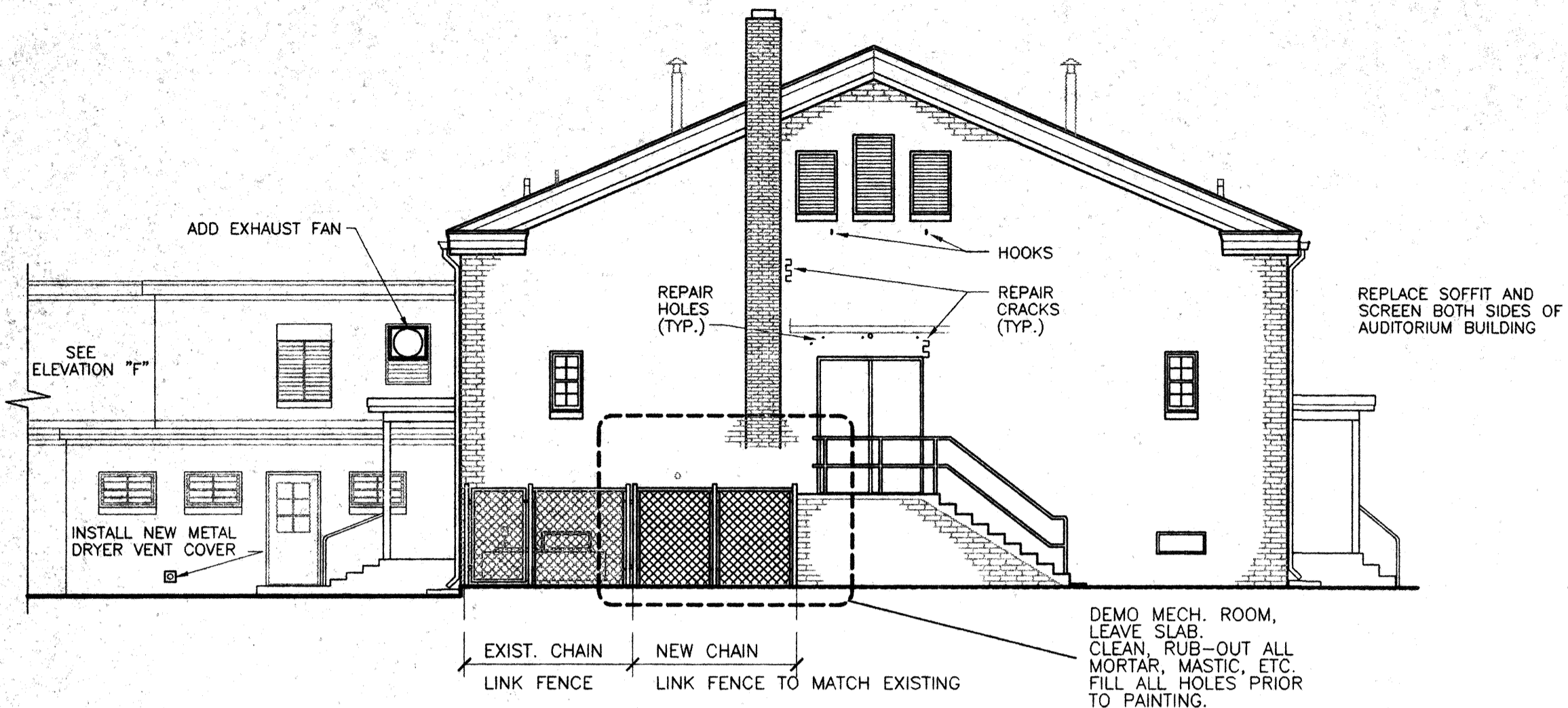
REVISIONS:


**RENOVATION OF THE THELMA A. BOLTIN CENTER**  
FOR  
**CITY OF GAINESVILLE**  
TCS&A #31807  
GAINESVILLE, FL

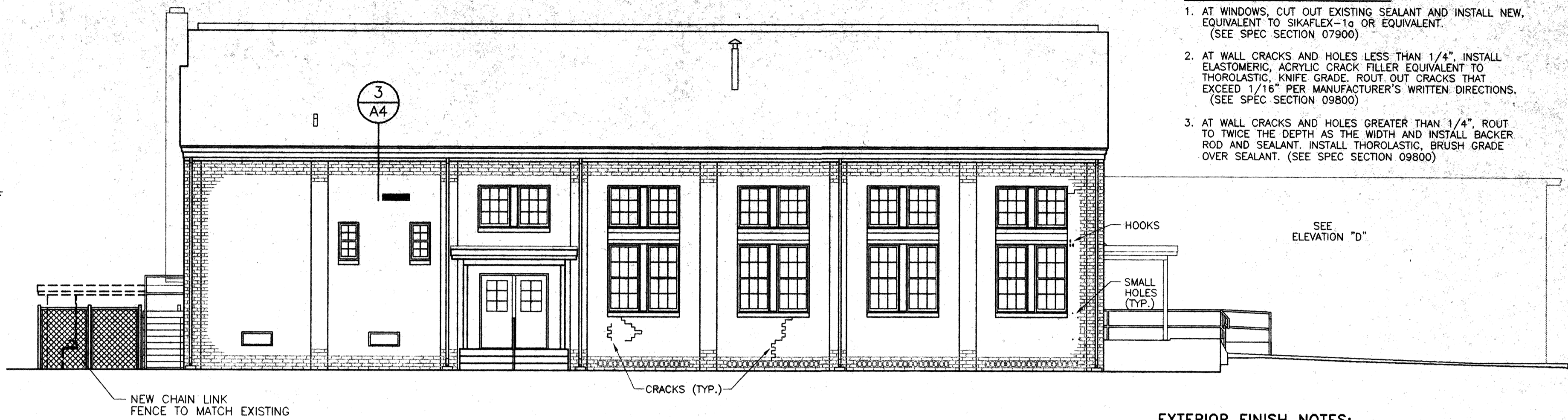
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**A4**  
OF  
**8**



**ELEVATION "A"**  
SCALE: 1/8" = 1'-0"



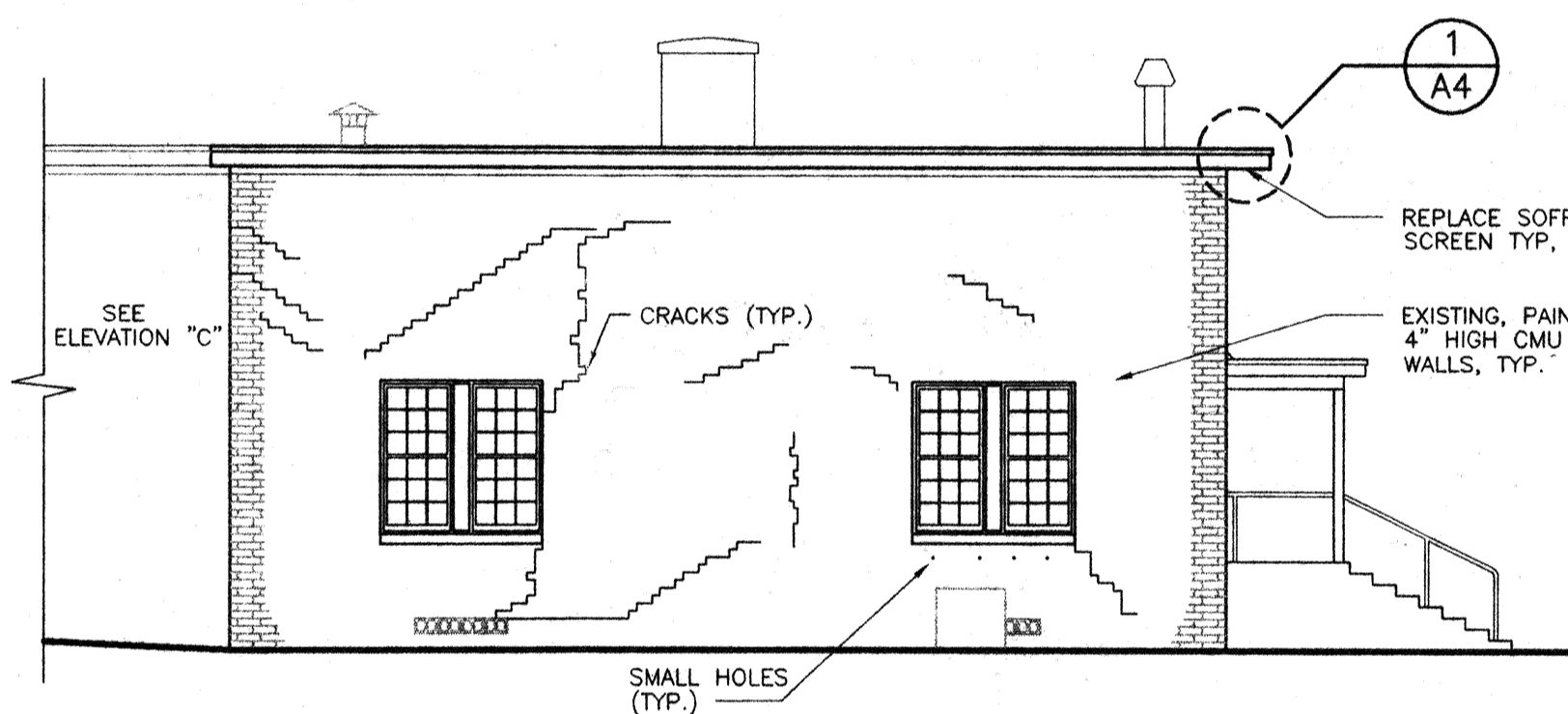
**ELEVATION "B"**  
SCALE: 1/8" = 1'-0"

- CRACK REPAIR NOTES:**
1. AT WINDOWS, CUT OUT EXISTING SEALANT AND INSTALL NEW, EQUIVALENT TO SIKAFLEX-1a OR EQUIVALENT. (SEE SPEC SECTION 07900)
  2. AT WALL CRACKS AND HOLES LESS THAN 1/4", INSTALL ELASTOMERIC, ACRYLIC CRACK FILLER EQUIVALENT TO THORALASTIC, KNIFE GRADE. ROUT OUT CRACKS THAT EXCEED 1/16" PER MANUFACTURER'S WRITTEN DIRECTIONS. (SEE SPEC SECTION 09800)
  3. AT WALL CRACKS AND HOLES GREATER THAN 1/4", ROUT TO TWICE THE DEPTH AS THE WIDTH AND INSTALL BACKER ROD AND SEALANT. INSTALL THORALASTIC, BRUSH GRADE OVER SEALANT. (SEE SPEC SECTION 09800)

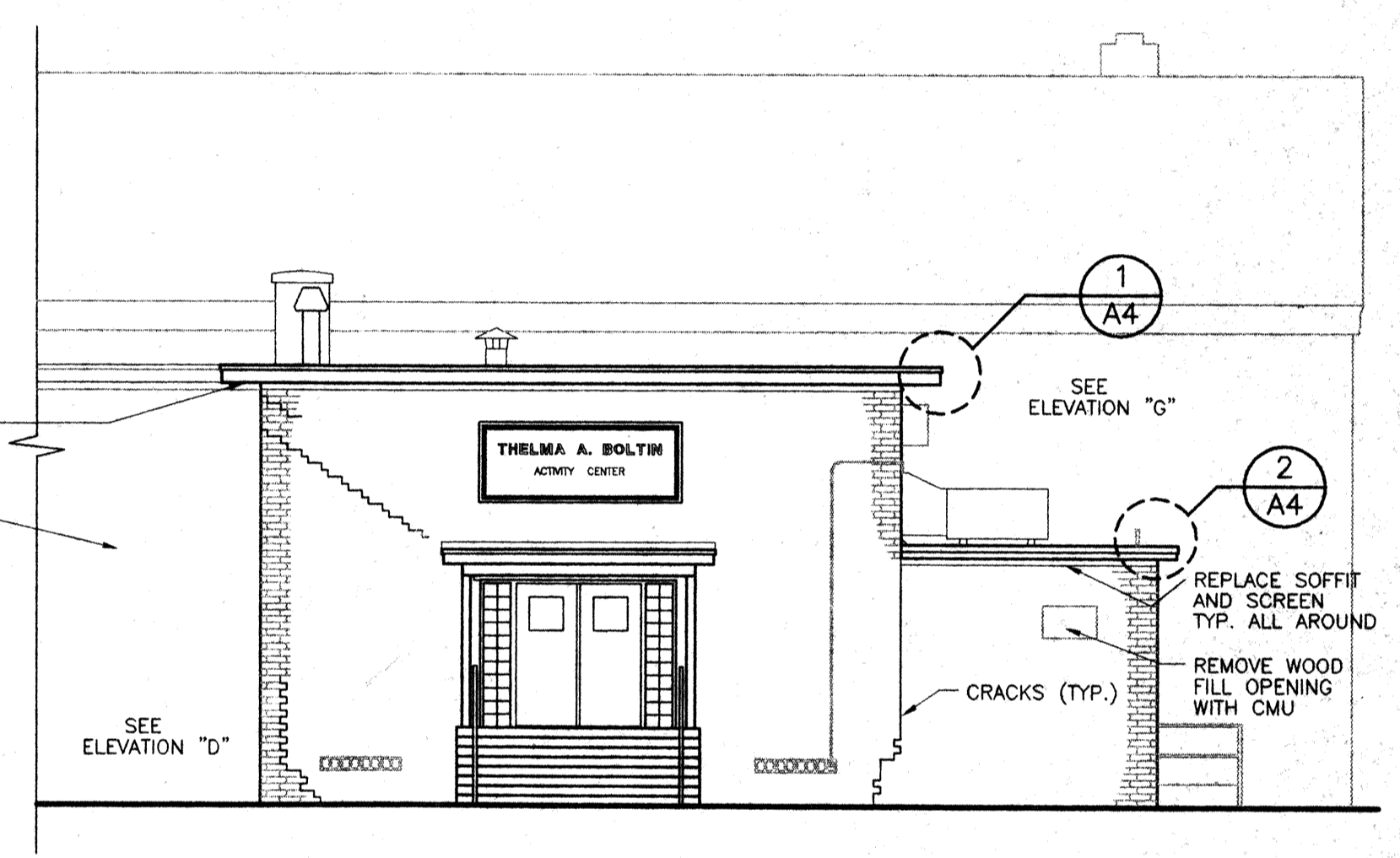
- EXTERIOR FINISH NOTES:**
1. PRIOR TO CRACK REPAIR, PRESSURE WASH ALL WALL SURFACES FROM FINISHED GRADE TO ROOF DECK TO REMOVE PEELING PAINT, DIRT AND GROWTH, ETC.
  2. PAINT ALL WALL SURFACES. (SEE SPEC SECTION 09900)
  3. PAINT ALL WINDOW FRAME SYSTEMS, DOORS, FRAMES, METAL RAILINGS, SOFFITS, FASCIA, COVERED ENTRY CANOPIES, ETC.
  4. ALLOW FOR \$ 250 ( MATERIAL AND LABOR) FOR MISC. WINDOW REPAIR (CARPENTRY & GLAZING) NOT NOTED IN THE DRAWINGS



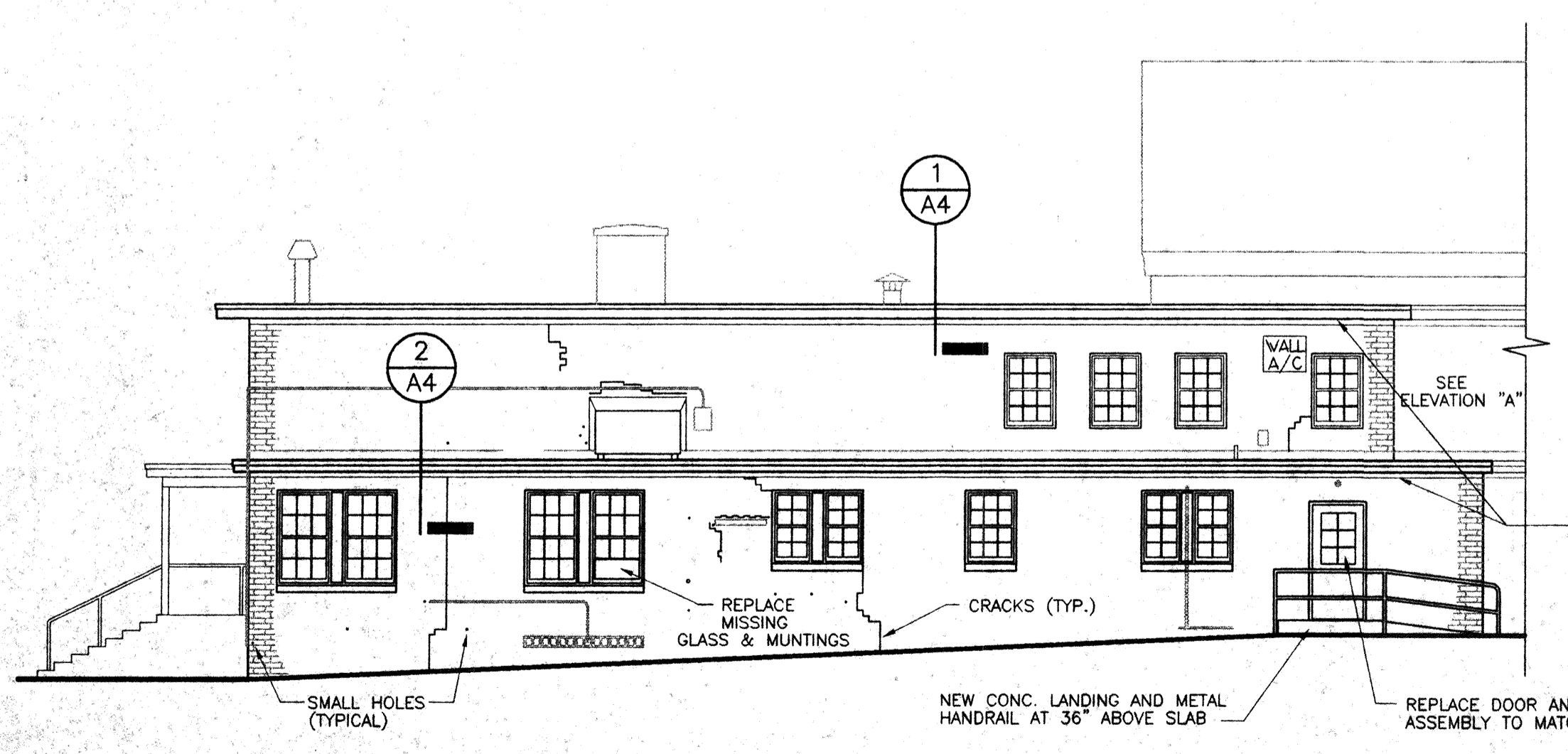
**ELEVATION "C"**  
SCALE: 1/8" = 1'-0"



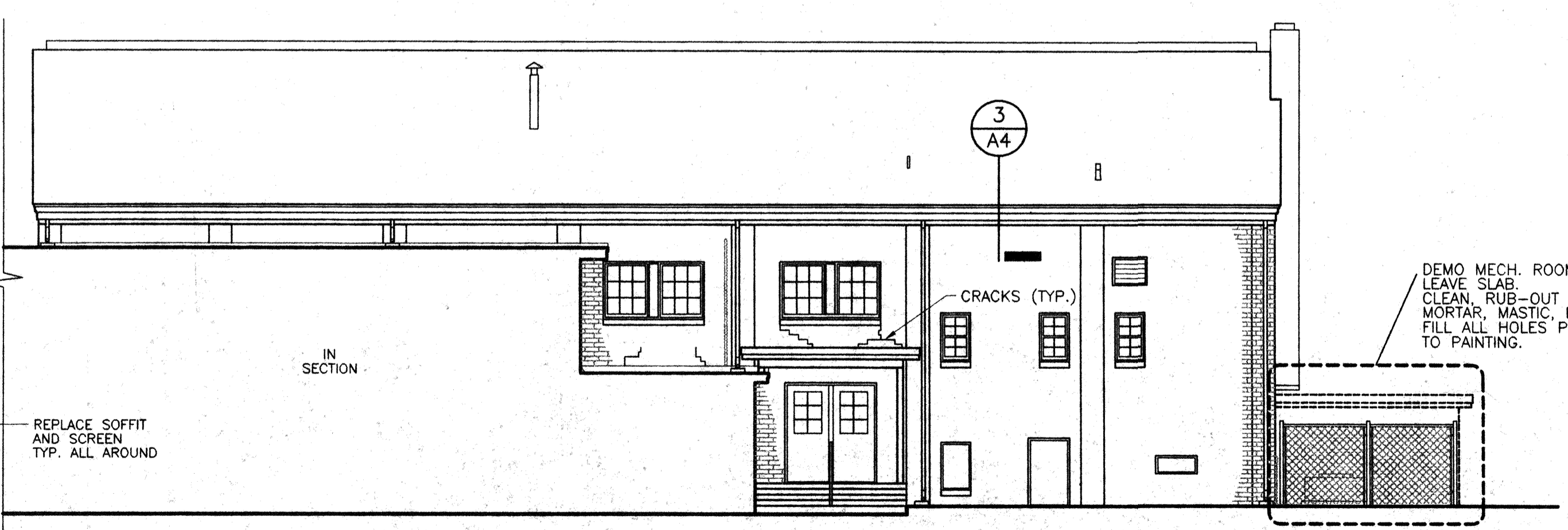
**ELEVATION "D"**  
SCALE: 1/8" = 1'-0"



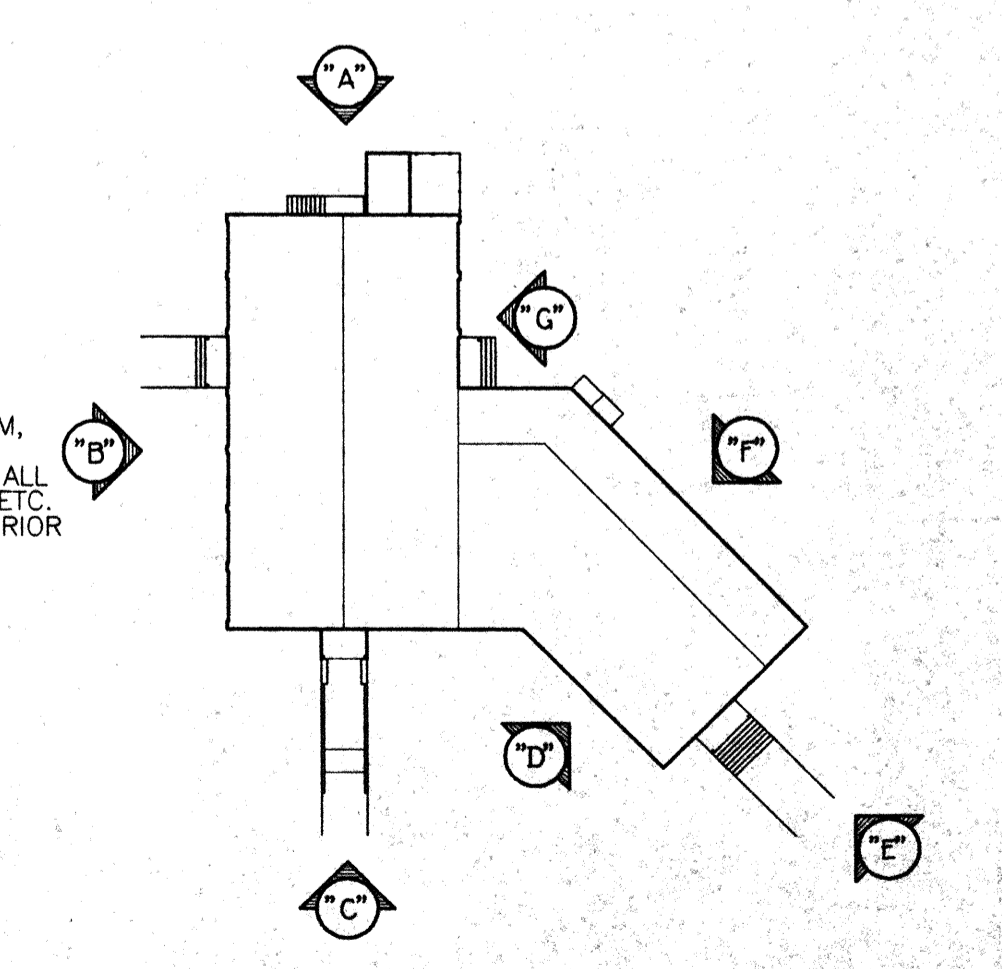
**ELEVATION "E"**  
SCALE: 1/8" = 1'-0"



**ELEVATION "F"**  
SCALE: 1/8" = 1'-0"



**ELEVATION "G"**  
SCALE: 1/8" = 1'-0"



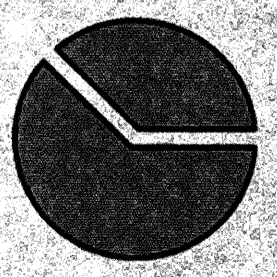
**KEY PLAN**  
NTS

DATE: 09-07-99  
DRAWN BY: M. A. B.

REVISIONS:


RENOVATIONS OF THE THELMA A. BOLTIN CENTER  
FOR  
CITY OF GAINESVILLE  
GAINESVILLE, FL  
TCS&A #31807

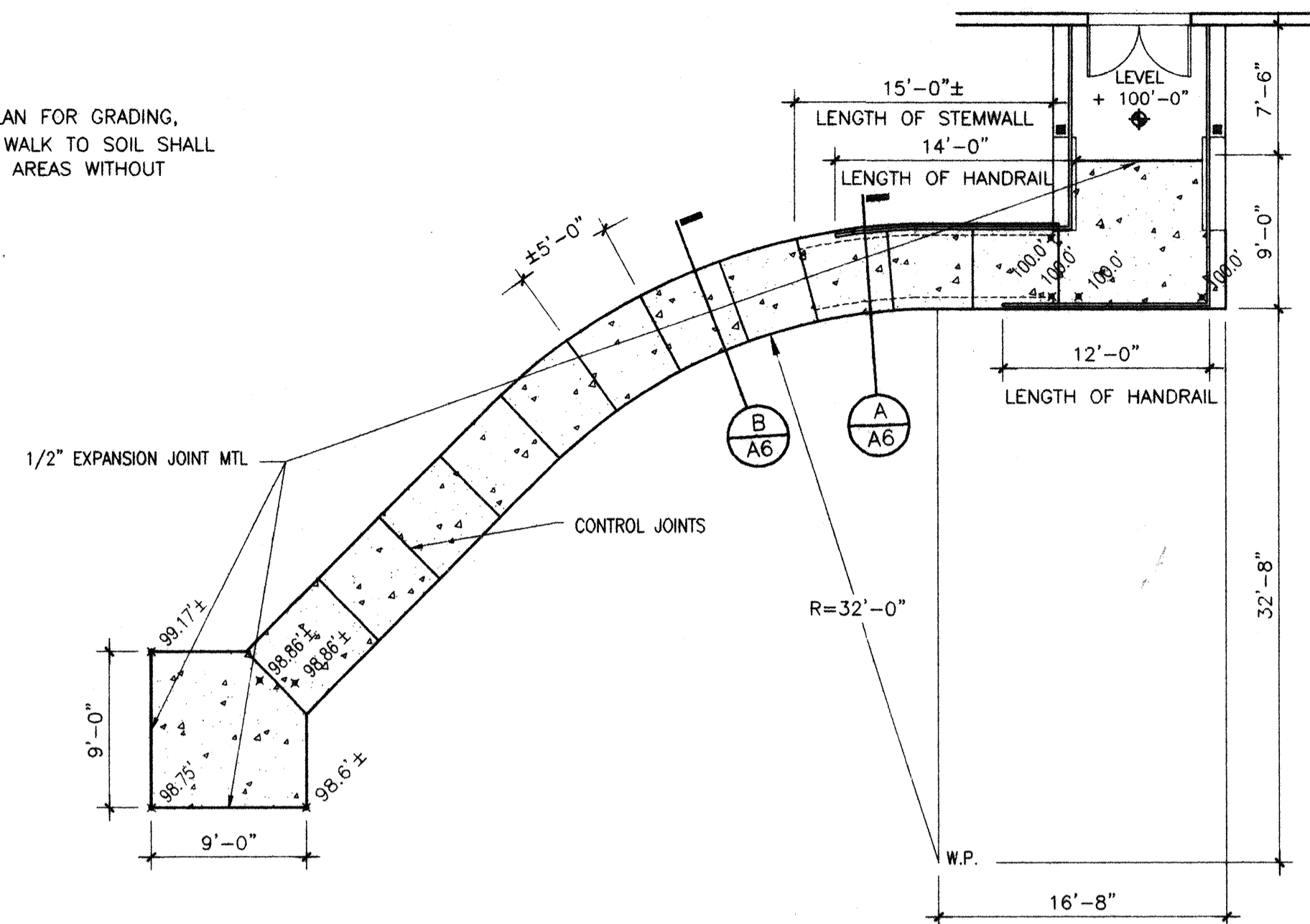
SKINNER & ASSOCIATES, INC.  
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Gainesville, Florida 32602 • 904.378-4400



A5  
OF  
8

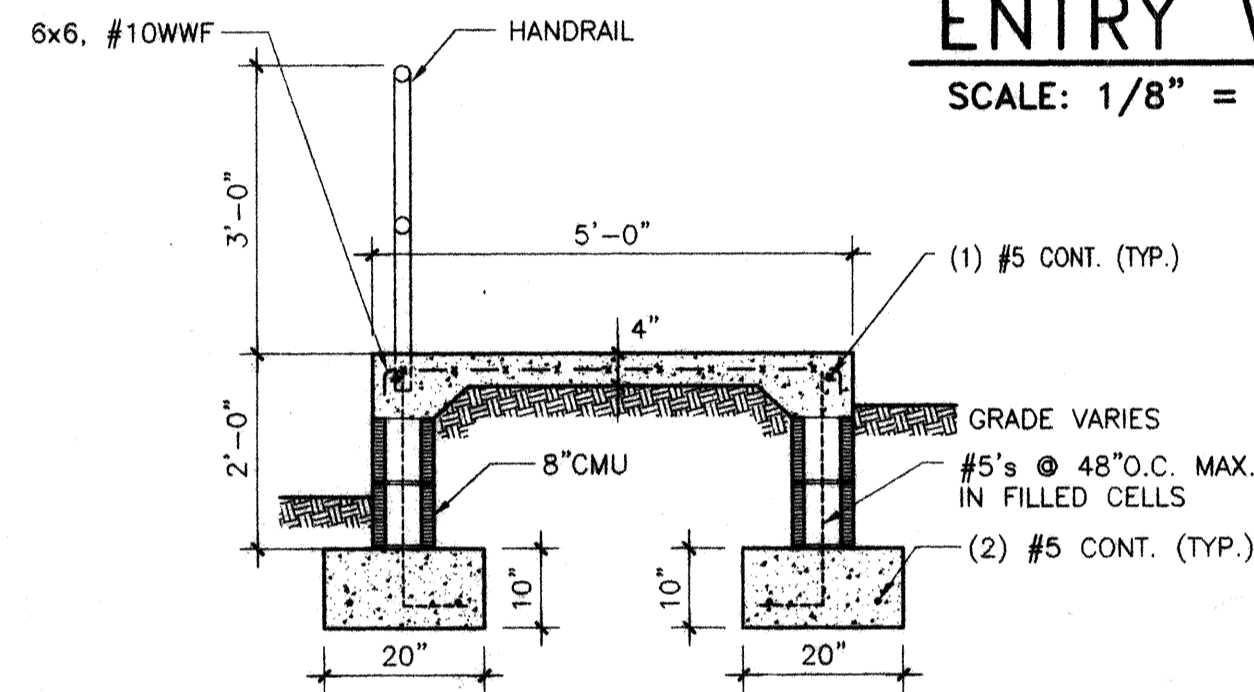
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NOTE: SEE SITE PLAN FOR GRADING.  
STEP DOWN FROM WALK TO SOIL SHALL  
NOT EXCEED 4" IN AREAS WITHOUT  
RAILING



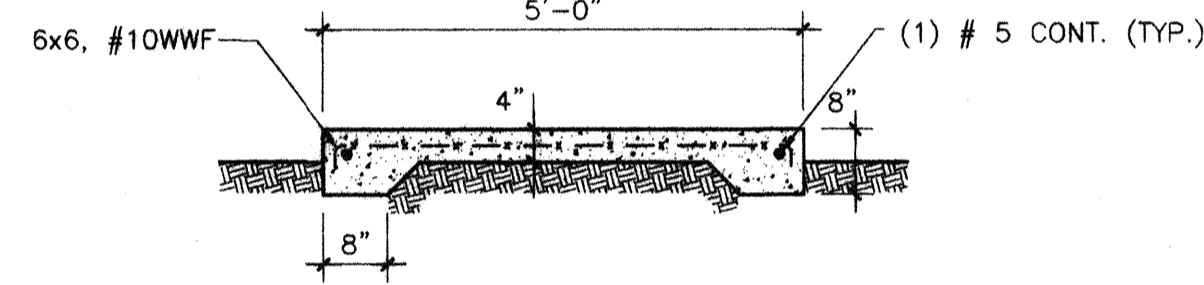
**ENTRY WALK PLAN**

SCALE: 1/8" = 1'-0"



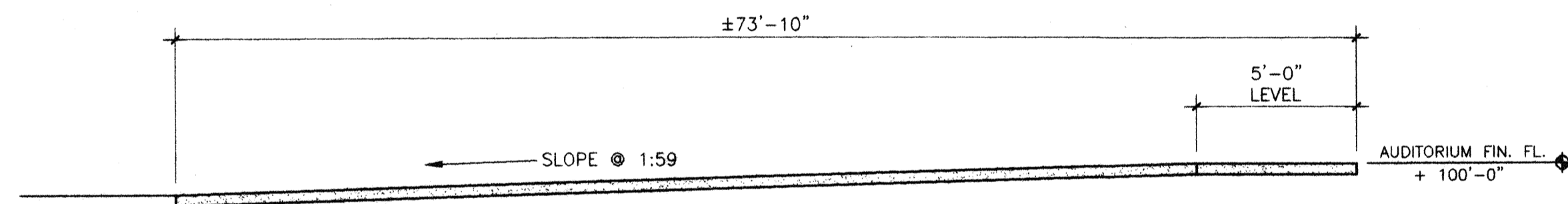
**CONCRETE WALK SECTION**

SCALE: 1/2" = 1'-0"



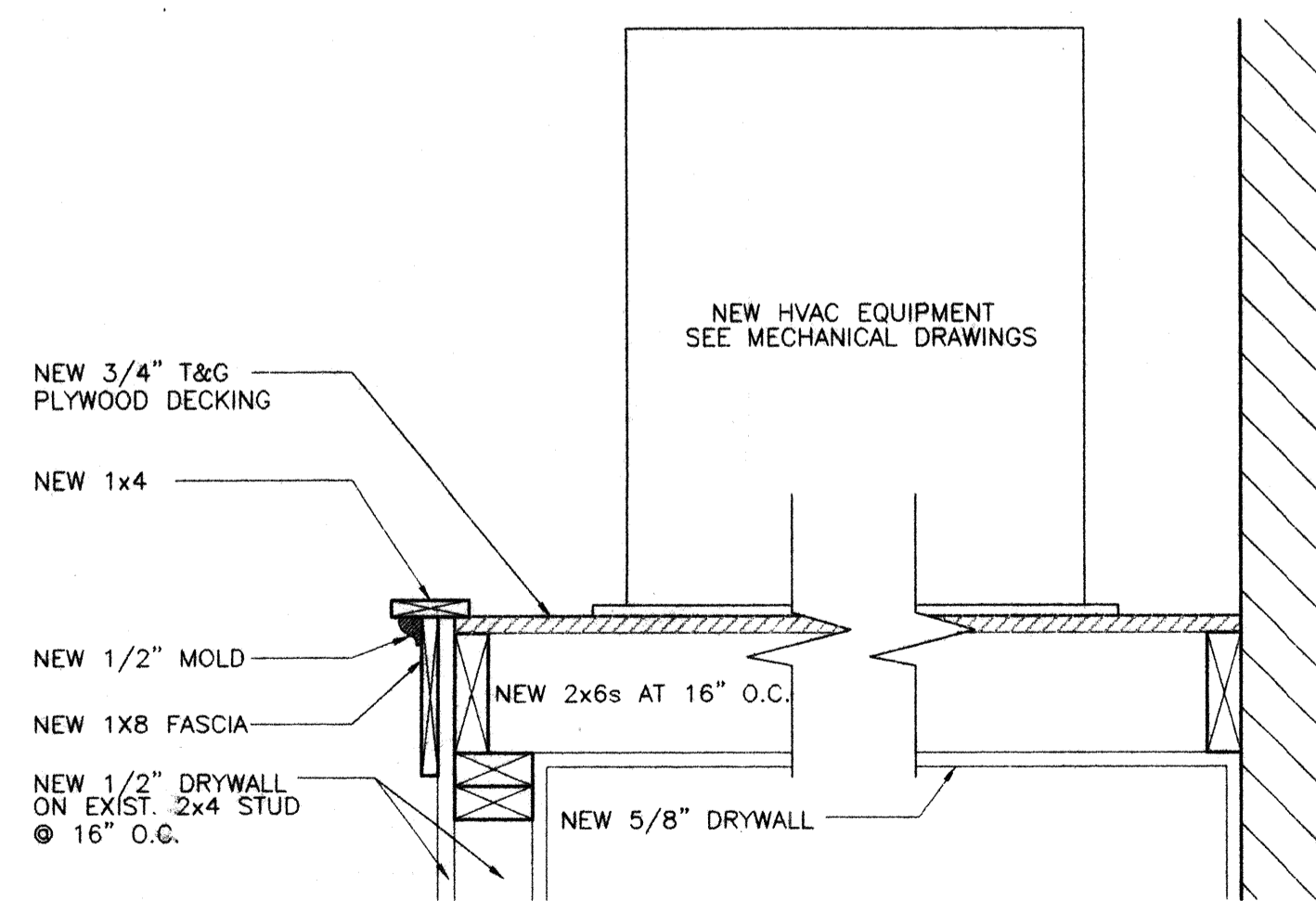
**CONCRETE WALK SECTION**

SCALE: 1/2" = 1'-0"



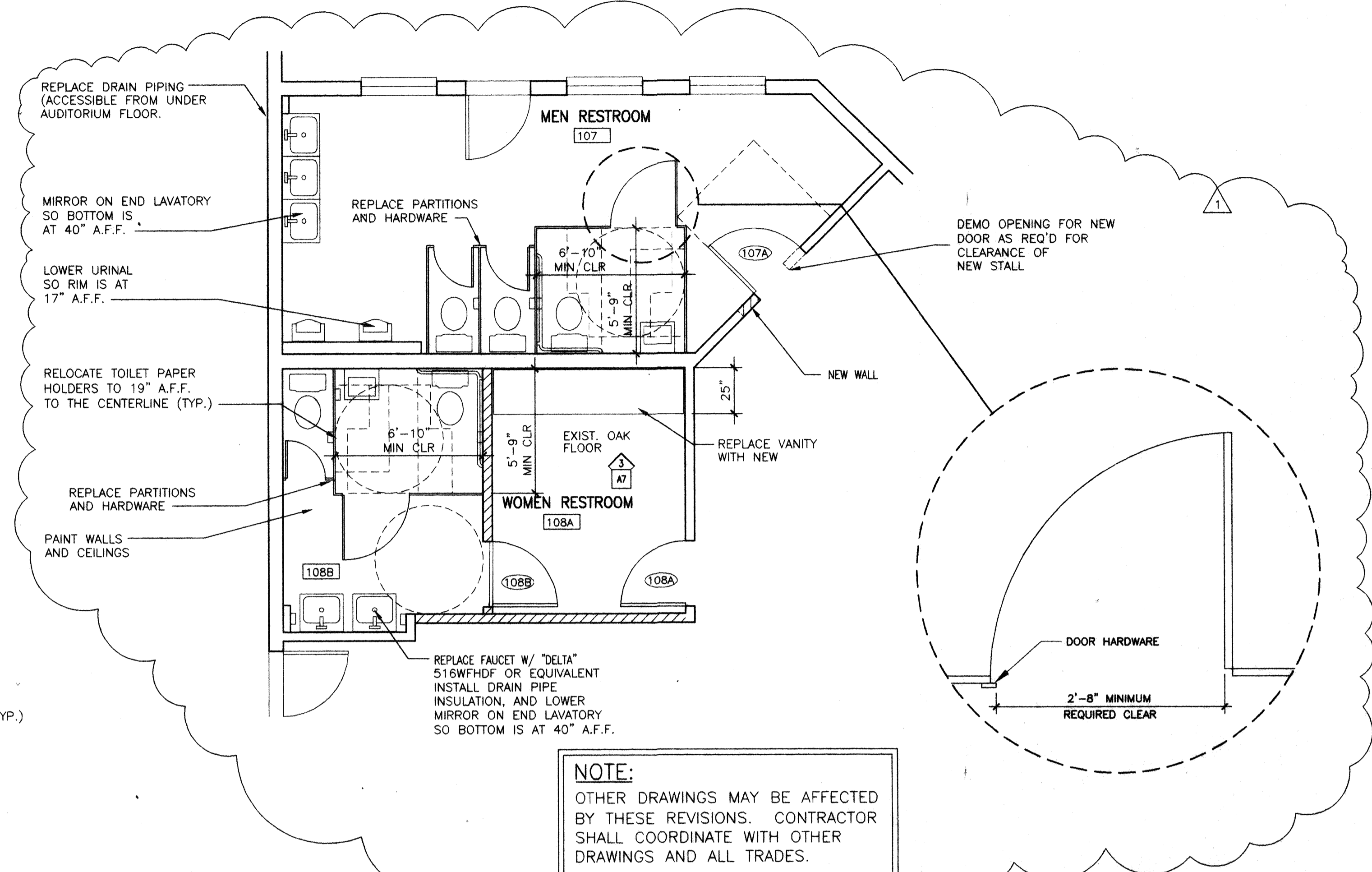
**ENTRY WALK PROFILE**

SCALE: 1/4" = 1'-0"



**HVAC SUPPORT DETAIL**

SCALE: 1-1/2" = 1'-0"



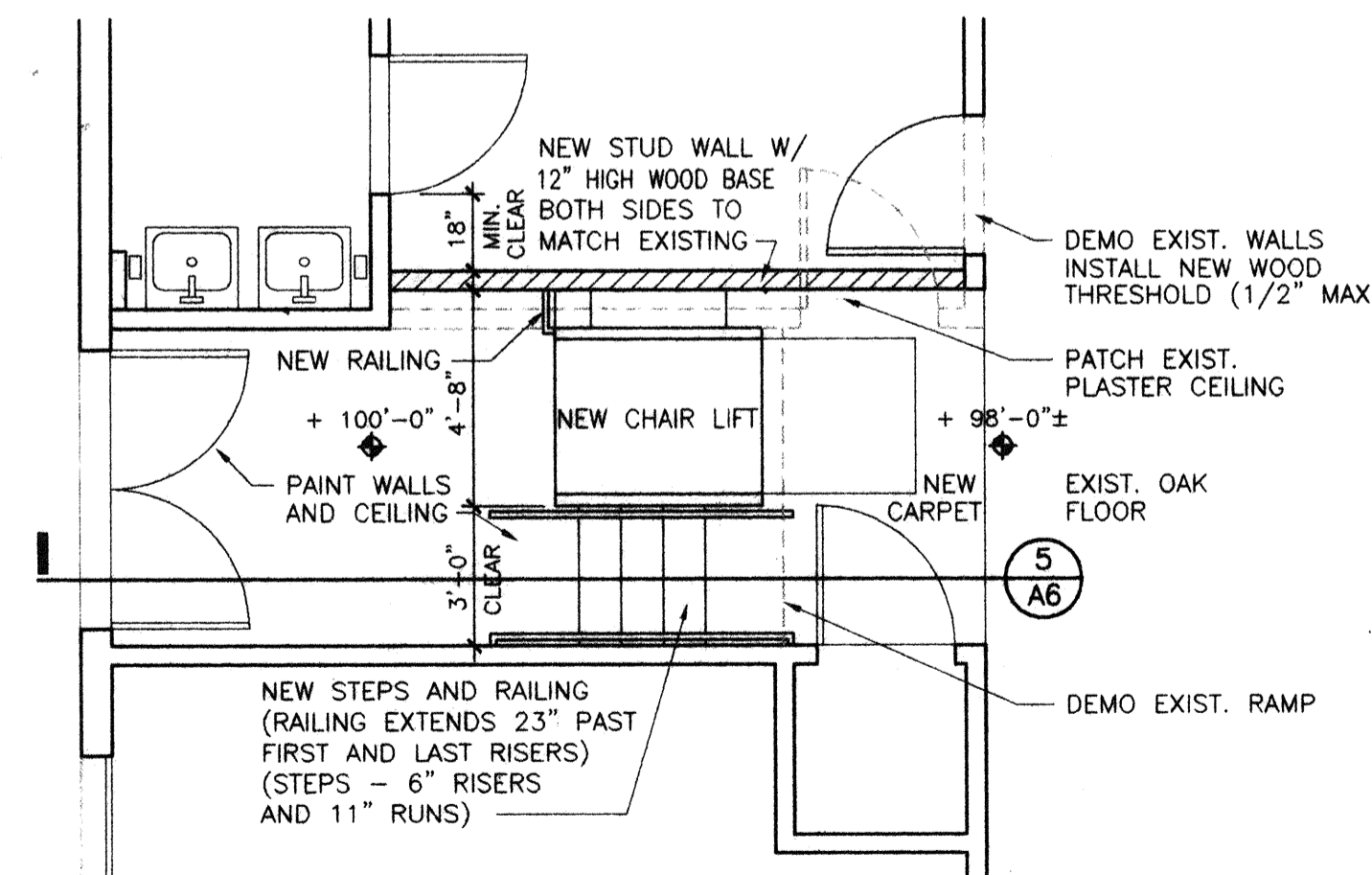
NOTE:  
OTHER DRAWINGS MAY BE AFFECTED  
BY THESE REVISIONS. CONTRACTOR  
SHALL COORDINATE WITH OTHER  
DRAWINGS AND ALL TRADES.

**ENLARGED RESTROOM AREA PLAN**

SCALE: 1/4" = 1'-0"

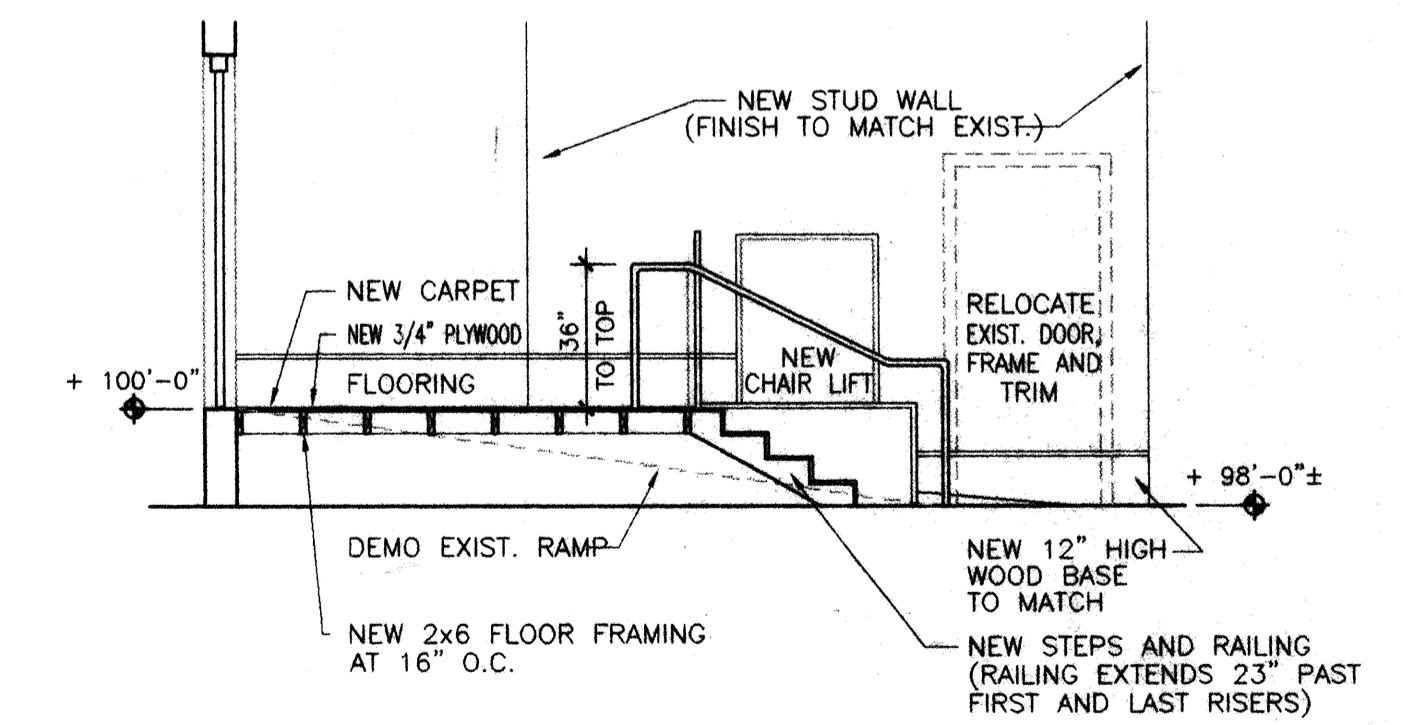
**HANDICAP STALL DETAIL**

NTS (TYPICAL BOTH RESTROOMS)



**CHAIR LIFT PLAN**

SCALE: 1/4" = 1'-0"



**CHAIR LIFT SECTION**

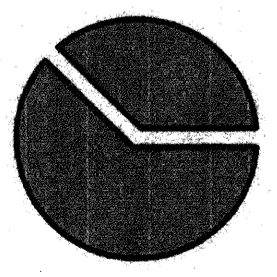
SCALE: 1/4" = 1'-0"

DATE: 09-07-99  
DRAWN BY: M. A. B.

NO.	DATE	BY	DESCRIPTION
1	09/07/99	M.A.B.	ISSUED FOR PERMIT
2			
3			
4			
5			

RENOVATIONS OF THE THELMA A. BOLTIN CENTER  
FOR  
CITY OF GAINESVILLE  
GAINESVILLE, FL  
TCS&A #31807

SKINNER & ASSOCIATES, INC.  
ARCHITECTS, ENGINEERS & PLANNERS  
211 SW 4th Avenue, S-3 • P.O. Box 761  
Gainesville, Florida 32602 • 904.378-4400

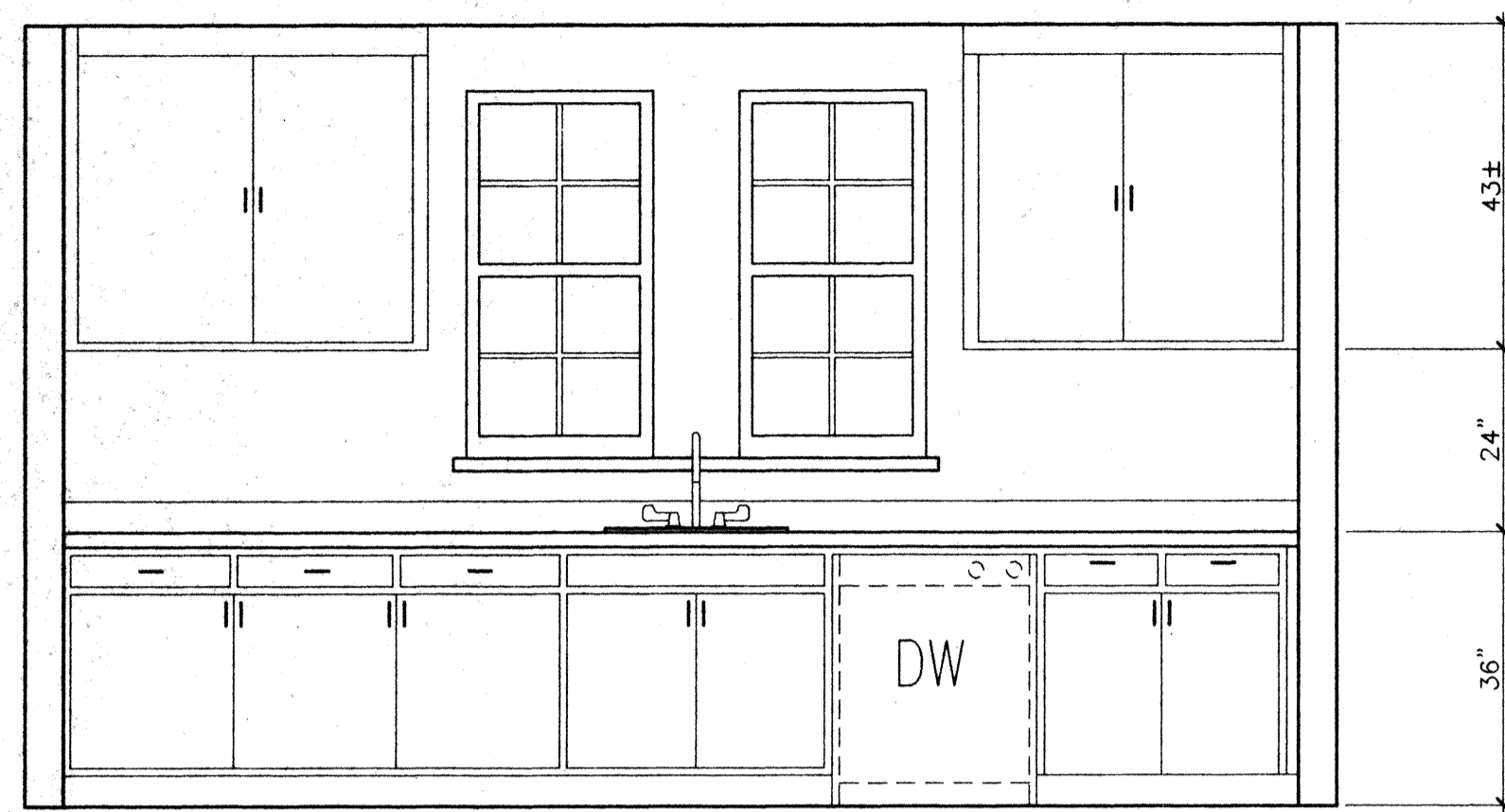


A6  
OF  
8

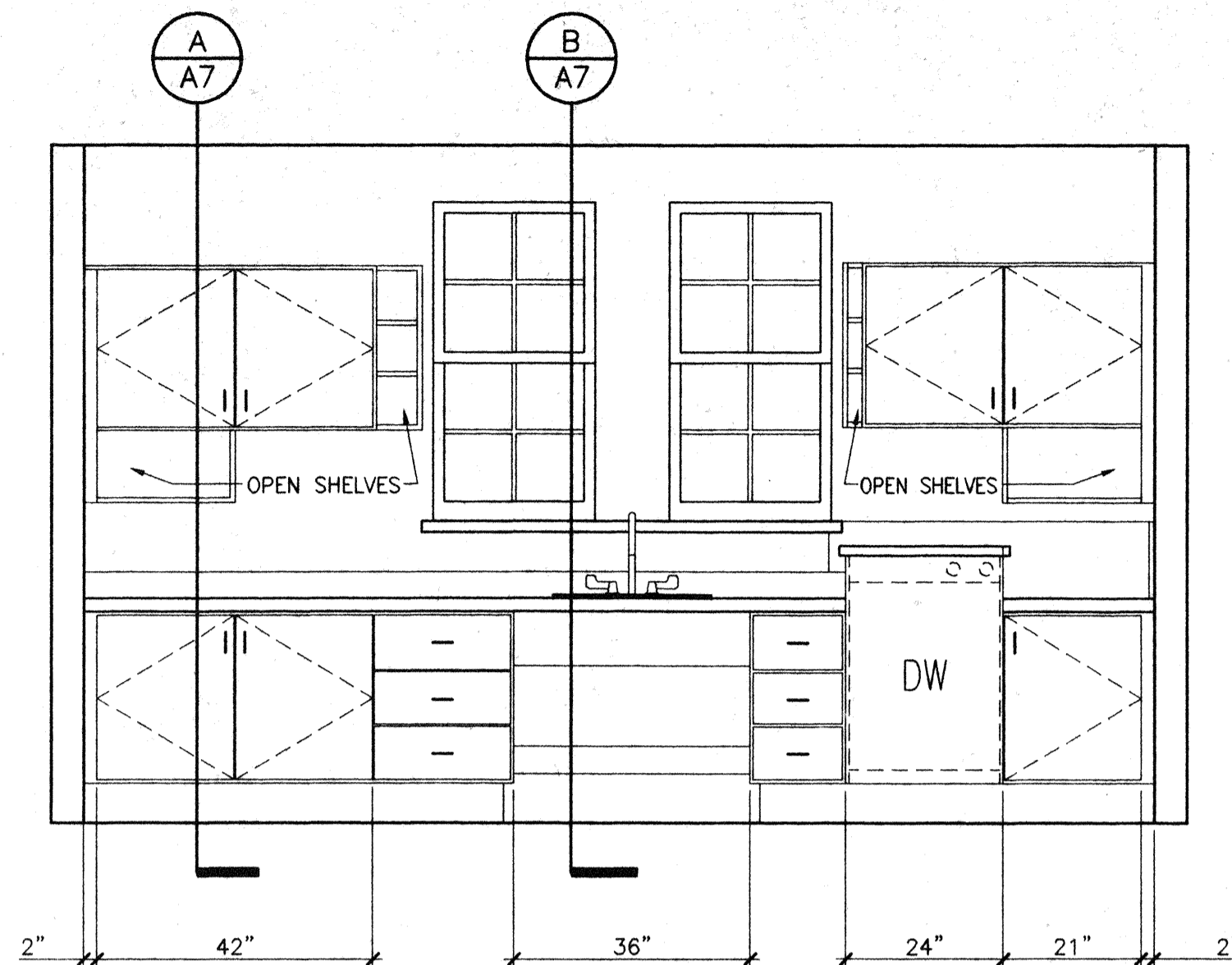
STATE OF FLORIDA  
Judy  
11/1/00

C:\PROJECT\31807\DETAILS

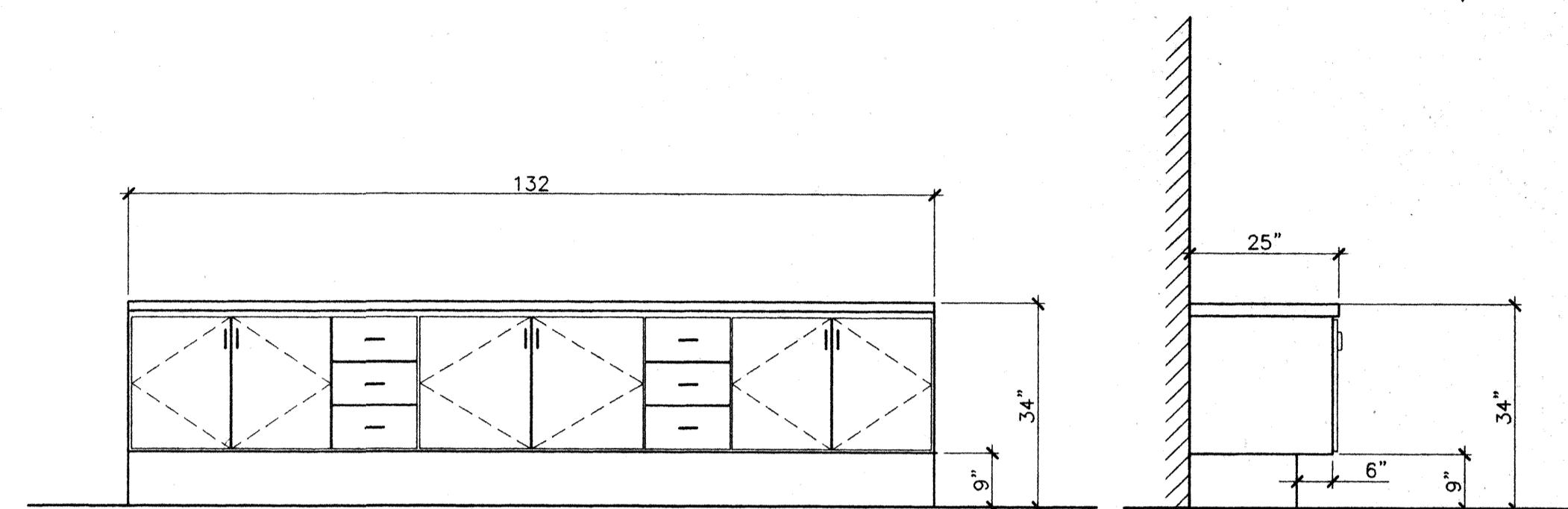
M:\31807\Detail1.dwg Fri Jan 14 11:20:50 2000 By: DMH



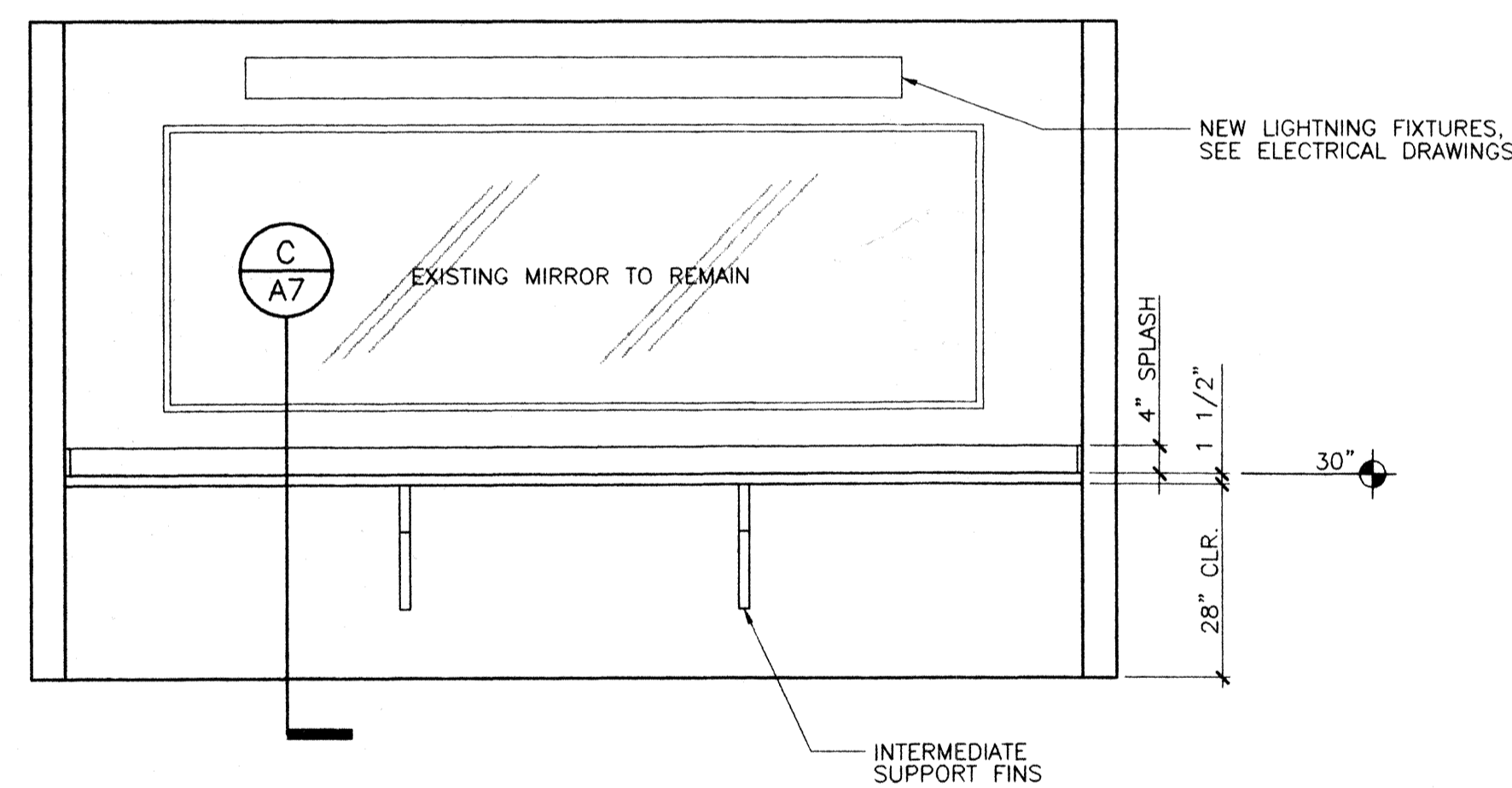
**EXISTING KITCHEN ELEV.**  
SCALE: 1/2"=1'-0"



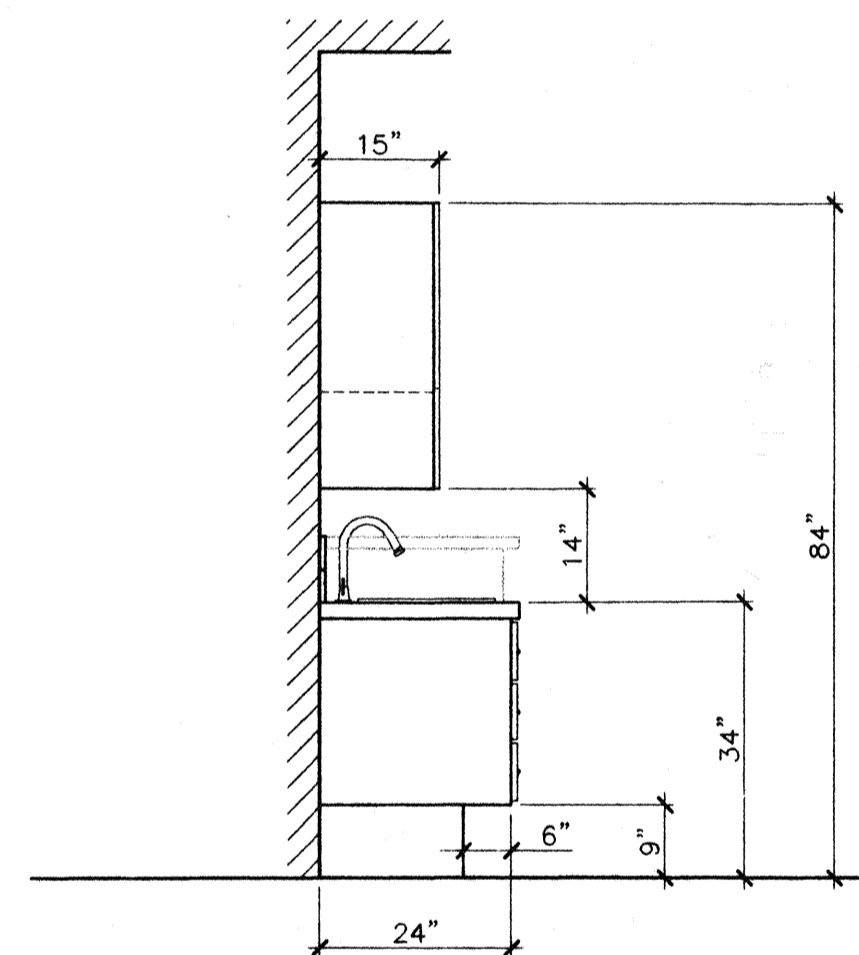
**PROPOSED KITCHEN ELEV.**  
SCALE: 1/2"=1'-0"



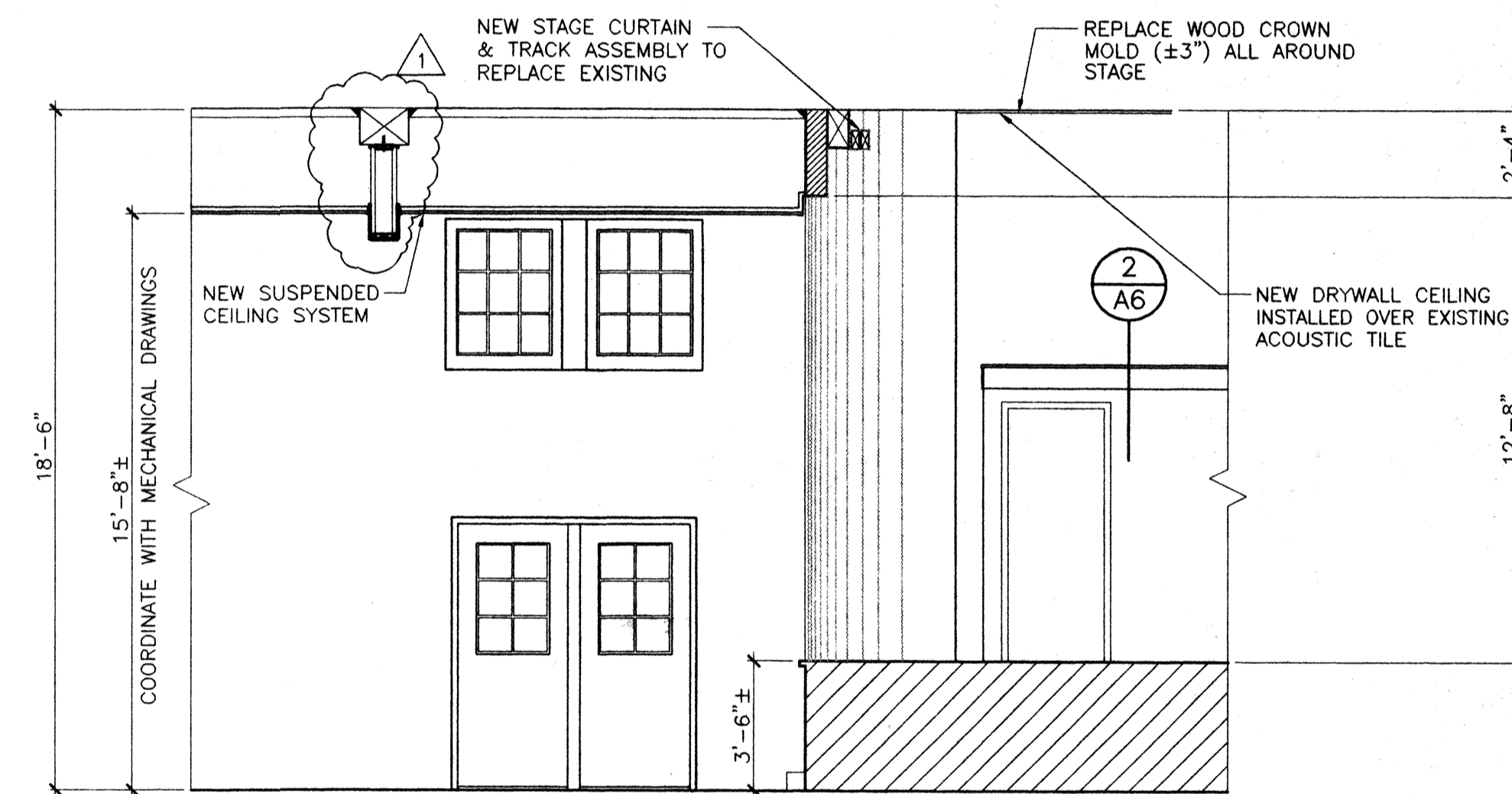
**PROPOSED CABINET ELEVATION & SECTION**  
SCALE: 1/2"=1'-0"



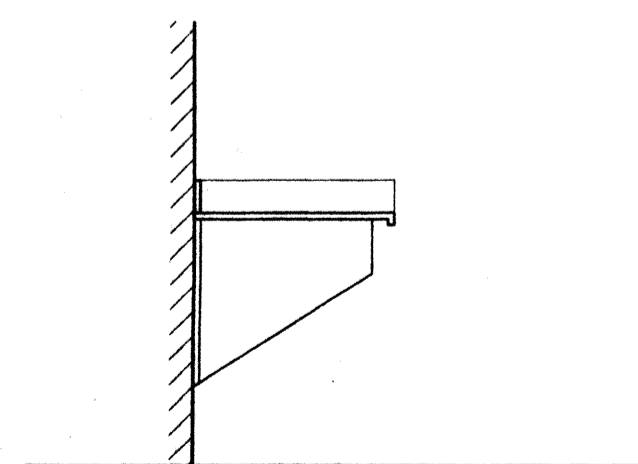
**PROPOSED VANITY**  
SCALE: 1/2"=1'-0"



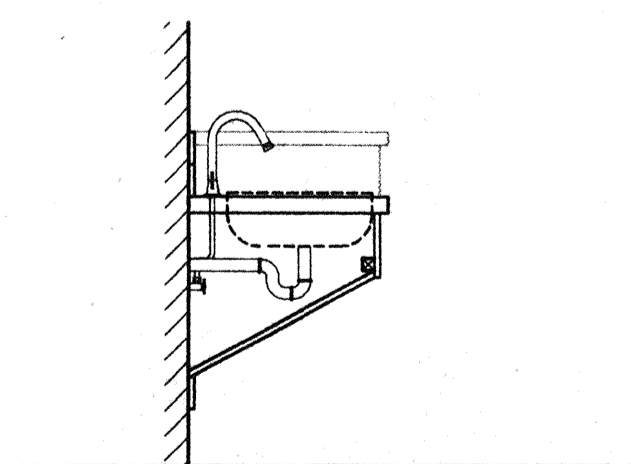
**PROPOSED KITCHEN SECTION**  
SCALE: 1/2"=1'-0"



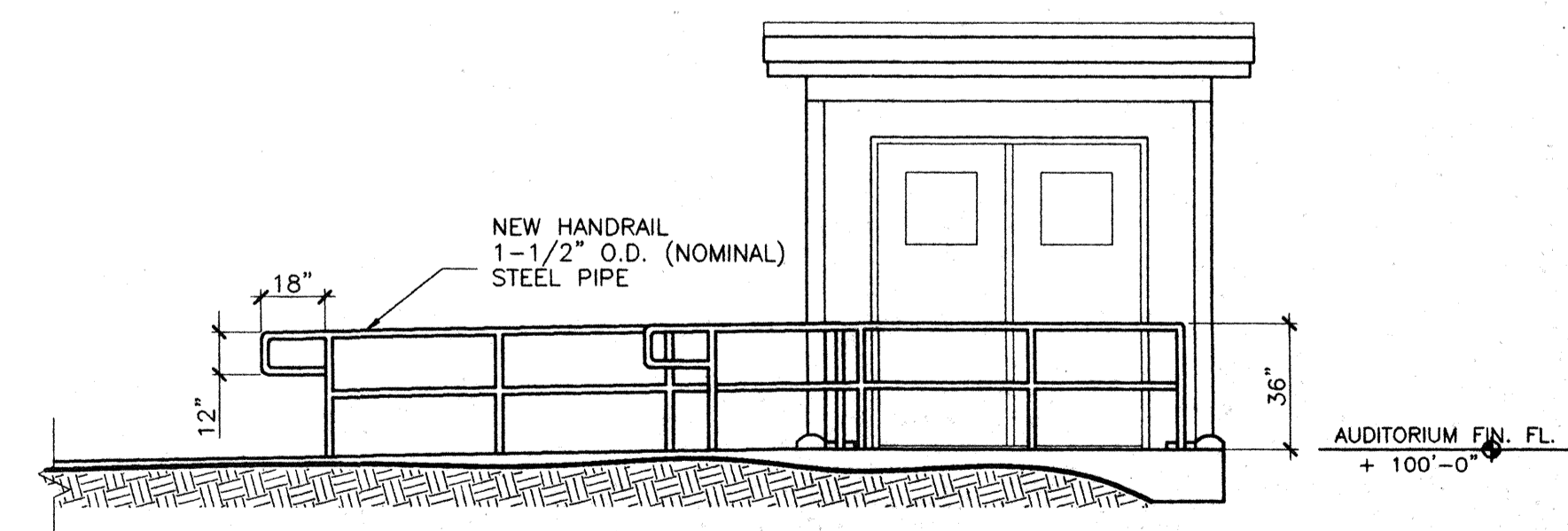
**SECTION AT STAGE**  
SCALE: 1/4"=1'-0"



**VANITY SECTION**  
SCALE: 1/2"=1'-0"



**SECTION AT KITCHEN CABINET**  
SCALE: 1/2"=1'-0"



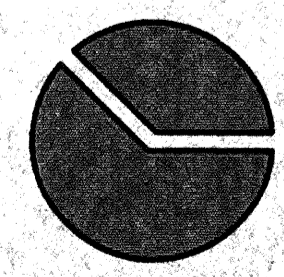
**ENTRY WALK HANDRAIL ELEVATION**  
SCALE: 1/4" = 1'-0"

DATE: 09-07-99  
DRAWN BY: M. A. B.

NO.	DATE	DESCRIPTION
1	09/07/99	ISSUED FOR PERMIT
2		
3		
4		

RENOVATIONS OF THE THELMA A. BOLTIN CENTER  
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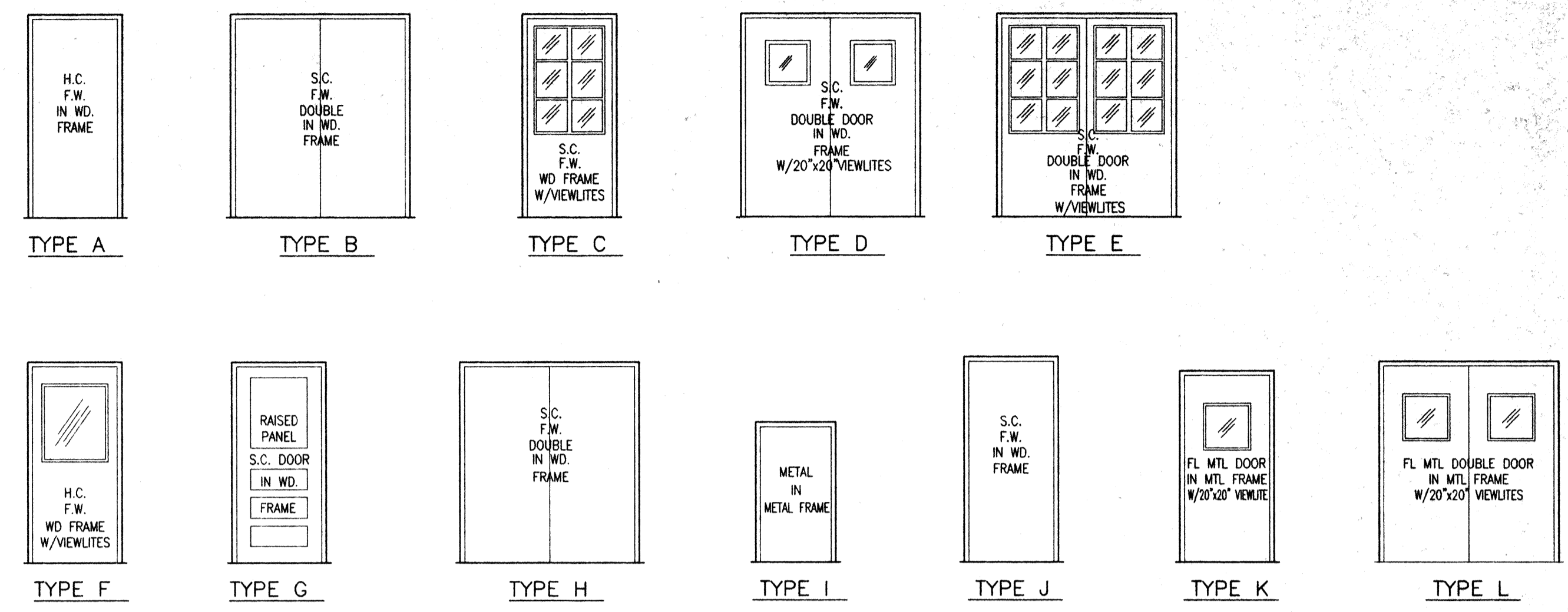
M: 31807\Details\5\_Elev.dwg Plot Oct 27 16:46:03 1999 By: DM



REVISIONS:


EXISTING AND PROPOSED ROOM FINISH SCHEDULE

AREA	MARK	DESCRIPTION	EXIST. FLOOR	PROPOSED FLOOR	EXIST. BASE	PROPOSED BASE	EXIST. WALLS	PROPOSED WALLS	EXISTING CEILING	PROPOSED CEILING	NOTES
GROUP ROOM	101	OFFICE	CARPET	NEW CARPET	VINYL	VINYL	PLYWOOD PANELING	PAINT OVER PANELING	12x12 ACOUSTIC TILE	12x12 ACOUSTIC TILE	
GROUP ROOM	102	OFFICE	CARPET	NEW CARPET	VINYL	VINYL	PLYWOOD PANELING	PAINT OVER PANELING	12x12 ACOUSTIC TILE	12x12 ACOUSTIC TILE	
GROUP ROOM	103	POTTERY	CARPET/WOOD	NEW VCT OVER WOOD	VINYL	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	104	POTTERY SUPPLIES	VCT	NEW VCT	VINYL	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	105	SUPPLIES	VCT	NEW VCT	VINYL	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	106	KITCHEN	CONCRETE	NEW VCT	TILE & WOOD	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	107	RESTROOM	CONCRETE	NEW VCT	TILE	VINYL	TILE AND PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	108A	RESTROOM	WOOD	REMAINS	WOOD	WOOD	TILE AND PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	108B	RESTROOM	CERAMIC TILE	REMAINS	TILE	REMAINS	TILE AND PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	109	HALL	CARPET	NEW CARPET	WOOD	WOOD	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	110	SUPPLIES	CARPET	NEW VCT	WOOD	VINYL	PAINTED PLASTER & CMU	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	111	SUPPLIES	CARPET	NEW VCT	WOOD	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	111A	SUPPLIES	CARPET	NEW VCT	WOOD	VINYL	PAINTED PLASTER	PAINT	PAINTED PLASTER	PAINT	
GROUP ROOM	112	GROUP ROOM	WOOD	NEW VCT OVER WOOD	WOOD	WOOD REMAINS	PAINTED CMU	PAINT	PAINTED PLASTER	PAINT	PROVIDE CRACK REPAIR ON INTERIOR CMU WALLS, SEE SHEET AS
AUD.	113	AUDITORIUM	WOOD	NEW WOOD	WOOD	WOOD	PAINTED CMU	PAINT	PAINTED PLASTER	SUSPENDED CEILING SYSTEM	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	114	STAGE	WOOD	NEW WOOD	VINYL	WOOD	PAINTED CMU	PAINT	PAINTED DRYWALL	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	115	ACCESSORIES	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	116	ACCESSORIES	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	117	SUPPLY	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	118	SUPPLY	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	119	ACCESSORIES	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
STAGE	120	ACCESSORIES	WOOD	NEW WOOD	WOOD	WOOD	PAINTED PLASTER	EXPOSED FRAMING	EXPOSED FRAMING	PAINTED DRYWALL	INSTALL WOOD FLOOR OVER EXISTING PREP. FLOOR AS REQ'D FOR NEW INSTALLATION
MECH	121	MECHANICAL	CONC.	CONC.			CMU		EXPOSED/JOIST		TO BE DEMO'D EXCEPT SLAB
ATTIC	201	SPORTS EQUIPMENT	WOOD	REMAINS		REMAINS	PAINTED PLASTER		EXPOSED/JOIST		
ATTIC	202	SPORTS EQUIPMENT	WOOD	REMAINS		REMAINS	PAINTED PLASTER		EXPOSED/JOIST		
ATTIC	203	SPORTS EQUIPMENT	WOOD	REMAINS		REMAINS	PAINTED PLASTER		EXPOSED/JOIST		



DOOR SCHEDULE

MARK	LOCATION	EXISTING				PROPOSED				H.W.	GROUP	NOTES
		WIDTH	HEIGHT	THK.	TYPE	WIDTH	HEIGHT	THK.	TYPE			
001	UNDER STAGE	30"	56"	1-3/4"	I							REMAINS
101	OFFICE	3'-0"	6'-8"	1-3/8"	A	3'-0"	6'-8"	1-3/8"	J	2		REPLACE DOOR, FRAME & H.W.
102	OFFICE	3'-0"	6'-8"	1-3/8"	A	3'-0"	6'-8"	1-3/8"	J	3		REPLACE DOOR, FRAME & H.W.
103	POTTERY	3'-0"	6'-8"	1-3/4"	A	3'-0"	6'-8"	1-3/8"	J	4		REPLACE DOOR, FRAME & H.W.
104	POTTERY SUPPLIES	3'-0"	7'-2"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	J	4		REPLACE DOOR, FRAME & H.W.
105												
106	KITCHEN	2'-8"	7'-0"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	J	5		REPLACE DOOR, FRAME & H.W.
106A	KITCHEN	3'-0"	6'-8"	1-3/8"	A					5		REPLACE H.W.
106B	KITCHEN	3'-0"	6'-8"	1-3/4"	C	3'-0"	6'-8"	1-3/4"	C	6		REPLACE DOOR, FRAME & H.W.
107A	RESTROOM	3'-0"	6'-8"	1-3/4"	A	3'-0"	6'-8"	1-3/4"	J	7		REPLACE DOOR, FRAME & H.W. W/"ACCESSIBLE RESTROOM" SIGN
107B	RESTROOM	3'-0"	6'-8"	1-3/4"	C	3'-0"	6'-8"	1-3/4"	K	8		REPLACE DOOR, FRAME & H.W. USE TEXTURED GLASS
108A	RESTROOM	3'-0"	6'-8"	1-3/4"	J	3'-0"	6'-8"	1-3/4"	J	7		REPLACE DOOR, FRAME & H.W. W/"ACCESSIBLE RESTROOM" SIGN
108B	RESTROOM	3'-0"	6'-8"	1-3/4"	J					7		REPLACE H.W.
109	HALL	6'-0"	7'-2"	1-3/4"	B	6'-0"	7'-0"	1-3/4"	B	10		REPLACE DOOR, FRAME & H.W.
109A	HALL	3'-0"	6'-8"	1-3/8"	A					9		REPLACE H.W.
110	SUPPLIES	2'-8"	7'-0"	1-3/8"	G	3'-0"	7'-0"	1-3/8"	J	9		REPLACE DOOR, FRAME & H.W.
111	SUPPLIES	2'-6"	7'-0"	1-3/8"	A	2'-6"	7'-0"	1-3/8"	J	9		REPLACE DOOR, FRAME & H.W.
111A	SUPPLIES	2'-6"	6'-0"	1-3/8"	A	2'-6"	6'-0"	1-3/8"	J	9		REPLACE DOOR, FRAME & H.W. WILL REQUIRE MORTISING FOR LATCH
112	GROUP ROOM	6'-0"	7'-1"	1-3/4"	D					11		REPLACE H.W.
113	AUDITORIUM	6'-0"	7'-0"	1-3/4"	D	6'-0"	7'-0"	1-3/4"	D	11		REPLACE DOOR, FRAME & H.W.
113A	AUDITORIUM	6'-0"	7'-0"	1-3/4"	E	6'-0"	7'-0"	1-3/4"	L	11		REPLACE DOOR, FRAME & H.W.
113B	AUDITORIUM	6'-0"	7'-0"	1-3/4"	E	6'-0"	7'-0"	1-3/4"	L	11		REPLACE DOOR, FRAME & H.W.
114	STAGE	6'-0"	8'-0"	1-3/4"	H	6'-0"	8'-0"	1-3/4"	H	11		REPLACE DOOR, FRAME & H.W.
115	ACCESSORIES	3'-0"	7'-0"	1-3/8"	F	3'-0"	7'-0"	1-3/8"	F	9		REPLACE DOOR, FRAME & H.W.
116	ACCESSORIES	2'-6"	7'-0"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	A	9		REPLACE DOOR, FRAME & H.W.
117	SUPPLY	2'-6"	7'-0"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	A	9		REPLACE DOOR, FRAME & H.W.
118	SUPPLY	2'-6"	7'-0"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	A	9		REPLACE DOOR, FRAME & H.W.
119	ACCESSORIES	2'-6"	7'-0"	1-3/8"	A	3'-0"	7'-0"	1-3/8"	A	9		REPLACE DOOR, FRAME & H.W.
120	ACCESSORIES	3'-0"	7'-0"	1-3/8"	F	3'-0"	7'-0"	1-3/8"	F	9		REPLACE DOOR, FRAME & H.W.
121												
201	SPORTS EQUIPMENT	3'-0"	6'-8"	1-3/8"	A					1		REPLACE H.W.
201A	SPORTS EQUIPMENT	3'-0"	6'-8"	1-3/8"	A					1		REPLACE H.W.
202	SPORTS EQUIPMENT	3'-0"	6'-8"	1-3/8"	A					1		REPLACE H.W.
203	SPORTS EQUIPMENT	3'-0"	6'-8"	1-3/8"	A					1		REPLACE H.W.

NOTE: ALL EXISTING DOORS TO REMAIN SHALL HAVE H.W. REMOVED PRIOR TO PAINTING AND REINSTALLED AFTER PAINT CURES.

FINISH NOTES

- 1.) ALL INTERIOR PAINTING INCLUDES TRIM WORK.
- 2.) WALL PAINT AND TRIM PAINT SHALL BE (2) DIFFERENT COLORS AND PAINT TYPES.
- 3.) ALLOW \$ 300.00 (MATERIAL & LABOR) TO REPLACE POWER OUTLETS, SWITCHES AND COVER PLATES TO MATCH NEW INTERIOR COLORS.
- 4.) PATCH ALL PLASTER CRACKS PRIOR TO PAINTING (BID 40 L.F.)
- 5.) REMOVE EXISTING PEELING AND CHIPPING PAINT PRIOR TO NEW PAINTING (AUDITORIUM WALLS ESPECIALLY CALLED TO CONTRACTORS ATTENTION).
- 6.) PAINT ALL EXPOSED DUCTWORK (GROUP ROOM, POTTERY AND POTTERY SUPPLY SPACES).

**ELECTRICAL LEGEND**

	CEILING LIGHTING OUTLETS		FIRE ALARM FLASHING LIGHT MOUNTED 80"A.F.F.
	LIGHTED EXIT SIGN - SHADED QUADRANTS DENOTE LIGHTED FACE, ARROWS DENOTE DIRECTION		SMOKE DETECTOR - "D" DENOTES SAMPLING TUBES IN AIR CONDITIONING DUCTWORK
	"B" INDICATES THE FIXTURE TYPE		FIRE ALARM CONTROL PANEL
	LOWER CASE LETTERS "a" AT LIGHTING OUTLETS AND AT SWITCHES INDICATE THE FIXTURE CONTROLLED		METER
	EMERGENCY LIGHTING UNIT - WALL MOUNTED		DISTRIBUTION SWITCHBOARD OR PANELBOARD
	3-WAY SWITCH 48"A.F.F. OR AS INDICATED		BRANCH CIRCUIT PANELBOARD
	DUPLEX RECEPTACLE OUTLET WITH GROUND - NEMA 5-20R		SAFETY SWITCH - POLES, RATING AND FUSING AS INDICATED
	EQUIPMENT CONNECTION OUTLET - VERIFY LOCATION		COMBINATION MOTOR STARTER WITH FUSED DISCONNECT SWITCH
	JUNCTION BOX		CONDUIT CONCEALED IN CEILING, WALL OR FLOOR
	HEAT DETECTOR		UNDERGROUND CONDUIT
	FIRE ALARM PULL STATION MOUNTED 48"A.F.F.		HOME RUN TO PANELBOARD. "L1" INDICATES THE PANELBOARD NUMBER. "1,3" INDICATES THE BRANCH CIRCUIT NUMBERS. HATCH MARKS DENOTE NUMBER OF CONDUCTORS EXCLUDING GROUND CONDUCTOR. NO HATCH MARKS DENOTES TWO #12 CONDUCTORS AND ONE #12 GROUNDING CONDUCTOR
	FIRE ALARM SPEAKER WITH FLASHING LIGHT MOUNTED AT 80"A.F.F.		
	WALL MOUNTED VANITY LIGHTING OUTLET		

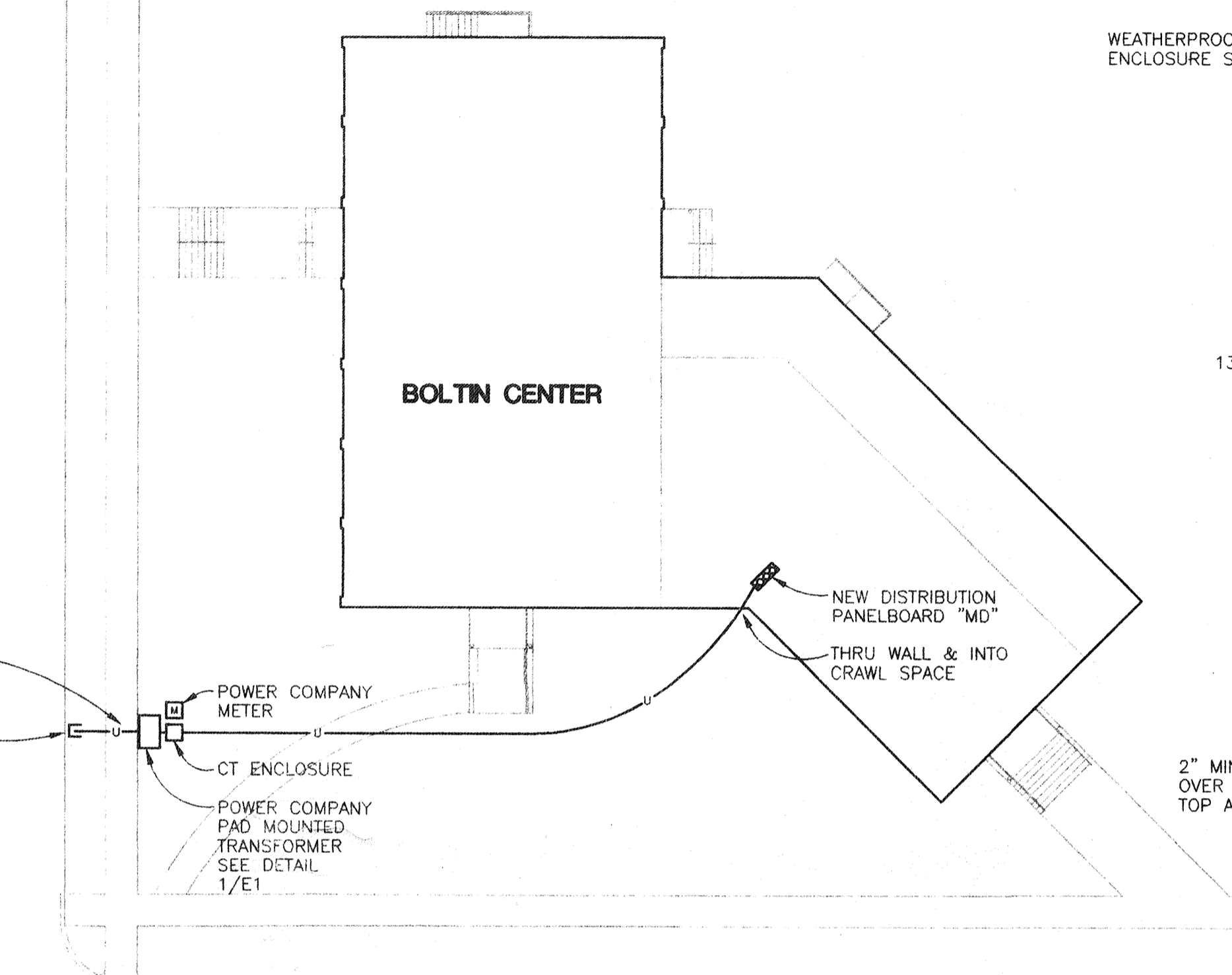
**ELECTRICAL NOTES**

- REMOVE ALL UNUSED EXISTING EXPOSED CONDUIT, WIRE AND BOXES. PULL OUT ALL WIRE FROM EXISTING CONCEALED CONDUIT THAT HAS BEEN ABANDONED.
- DRAWINGS INDICATE THE REUSE OF SOME EXISTING OUTLET BOXES AND CONDUIT. WHERE IT IS IMPRACTICAL BECAUSE OF JOB CONDITIONS TO REUSE AN OUTLET BOX OR CONDUIT, CONTRACTOR SHALL PROVIDE NEW OUTLET BOX OR CONDUIT AS REQUIRED.
- CONTRACTOR SHALL REPAIR TO ORIGINAL CONDITION TO OWNER'S SATISFACTION ANY EXISTING WALL, FLOOR, CEILING OR OTHER EXISTING ITEMS REMOVED, ALTERED OR DAMAGED DURING CONSTRUCTION.
- REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AS INDICATED. MAINTAIN EXISTING ELECTRICAL SUPPLY TO EQUIPMENT, DEVICES, FIXTURES, ETC. NOT REMOVED.
- THE CONTRACTOR SHALL REROUTE EXISTING CIRCUIT(S) OR PROVIDE NEW CIRCUIT(S) AS REQUIRED TO MAINTAIN ELECTRICAL SUPPLY TO EXISTING FIXTURES, DEVICES, OUTLETS, ETC. NOT BEING REMOVED OR ALTERED.
- DIVISION 16 DESIGN PROVIDES A NUMBER OF BRANCH CIRCUITS, PHASES, AMPACITY AND OVERCURRENT PROTECTION FOR DIVISION 15 DESIGN BASIS EQUIPMENT CONFORMING TO MANUFACTURER'S SPECIFICATIONS AVAILABLE AT TIME OF DESIGN. IF REQUIREMENTS OF EQUIPMENT ACTUALLY PROVIDED UNDER CONTRACT FOR CONSTRUCTION ARE DIFFERENT, CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED WITHOUT INCREASE IN THE CONTRACT AMOUNT. SUCH CHANGES MAY INCLUDE, BUT ARE NOT LIMITED TO: SIZE OF WIRES, SIZE OF CONDUIT, NUMBER, TYPE AND SIZE OF CIRCUIT BREAKERS, FUSE PROTECTION AND ADDITIONAL DISCONNECT SWITCHES.
- CONTRACTOR SHALL PROVIDE ADDITIONAL JUNCTION BOXES, CONDUCTORS AND OTHER MATERIALS AND LABOR NECESSARY TO CONNECT PARALLEL FEEDER RUNS WHERE SUCH FEEDERS EXCEED CONNECTION CAPACITY OF CIRCUIT BREAKERS, PANELBOARDS AND OTHER CONNECTION POINTS.
- CONTRACTOR SHALL PROVIDE ALL RELAYS, CARDS, WIRE CONDUIT AND OTHER MATERIALS AND LABOR, AS PART OF THE FIRE ALARM SYSTEM, NECESSARY TO CAUSE FIRE ALARM TO FLASH EXIT LIGHTS IN COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT OF 1990 (PUBLIC LAW 101-336) AT A FREQUENCY BETWEEN 1 AND 3 HERTZ.
- EXISTING BUILDING HAS A CRAWL SPACE LOCATED UNDER THE BUILDING. THIS SPACE MAY BE USED TO INSTALL NEW CONDUITS.

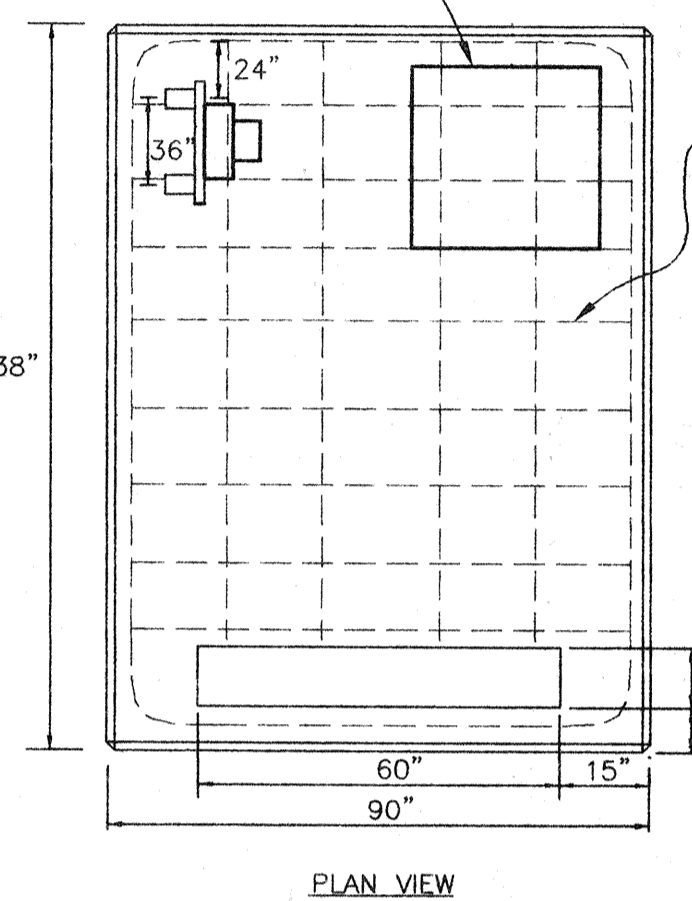
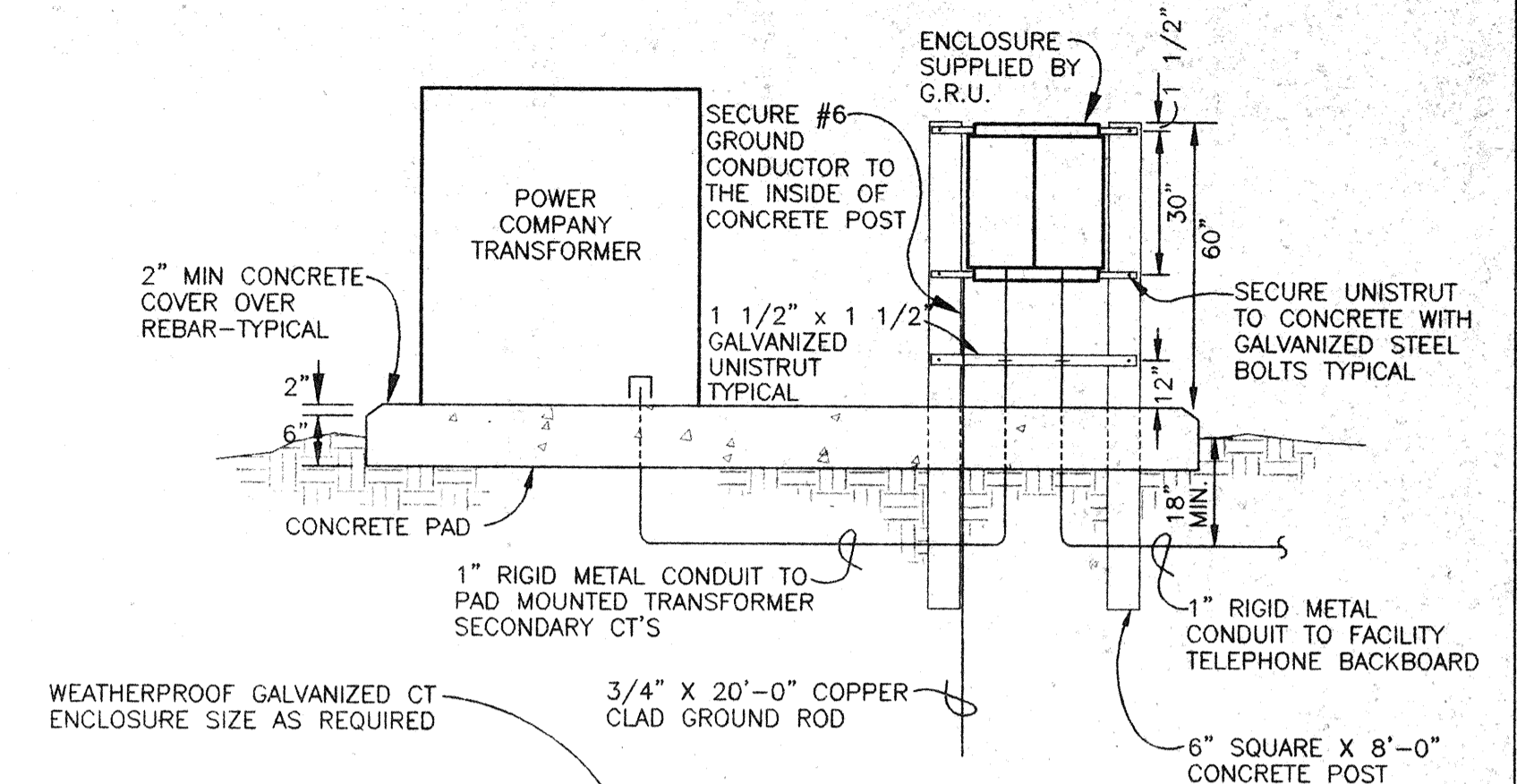
**ELECTRICAL ABBREVIATIONS**

AHU	AIR HANDLING UNIT	FACP	FIRE ALARM CONTROL PANEL
AC	AIR CONDITIONING UNIT	GRD	GROUND
A	AMPS	P	POLE
AFF	ABOVE FINISHED FLOOR	V	VOLT
C	CONDUIT	W	WIRE
EX	EXISTING TO REMAIN	WP	WEATHERPROOF
F	FUSE	Ø	PHASE
F/A	FIRE ALARM		

CUT & PATCH EXISTING SIDEWALK TO INSTALL NEW CONDUITS - TYPICAL.  
 STUB & CAP (2) 4"Ø 48" BELOW FINISHED GRADE. COORDINATE WITH POWER COMPANY



**SITE PLAN - ELECTRICAL**  
 SCALE: 1" = 20'-0"



**TRANSFORMER PAD DETAIL**  
 NOT TO SCALE

**NOTES:**

- TRANSFORMER FRONT SHOULD BE 8FT TO 15FT FROM PAVING FOR LINE TRUCK ACCESS.
- TRANSFORMER SHOULD BE LOCATED 3FT FROM BUILDING STRUCTURES OR 1FT FROM ROOF DRIP LINE, WHICH EVER APPLIES.
- MAINTAIN 10FT SEPARATION FROM FIRE HYDRANTS, TRASH DUMPSTER OR TRASH COMPACTOR.
- TERMINATE CONDUITS FLUSH WITH TOP OF PAD.
- THIS CONCRETE PAD IS TO BE FORMED AND POURED IN PLACE.
- CONCRETE SHALL BE 3500 P.S.I.
- COORDINATE EXACT SIZE WITH G.R.U.

**SITE NOTES:**

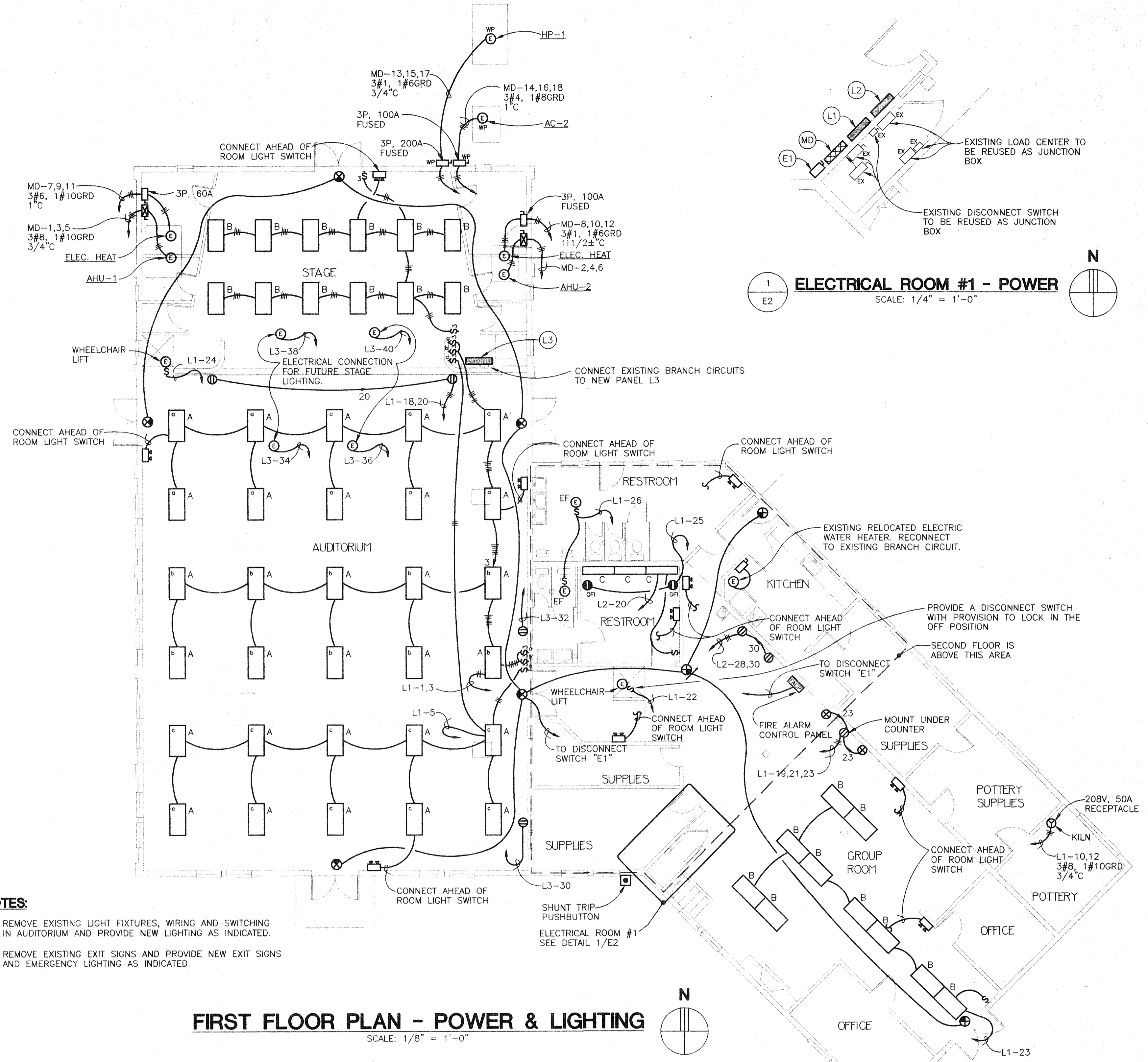
- COORDINATE ALL UNDERGROUND WORK WITH OTHER TRADES IN FIELD. EXISTING AND PROPOSED NON DIVISION 16 WORK SHOWN IS PROPOSED FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY.
- SEE RISER DIAGRAMS FOR WIRE AND RACEWAY SIZES.
- LOCATION AND ROUTING OF NEW UNDERGROUND CONDUIT IS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE THE FINAL LOCATION AND ROUTING OF CONDUIT TO AVOID CONFLICTS WITH EXISTING BURIED UTILITIES AND OTHER OBSTRUCTIONS.
- PROVIDE HAND HOLES OR PULL BOXES IN UNDERGROUND CONDUIT AS REQUIRED DUE TO CHANGES IN CONDUIT DIRECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING BURIED UTILITIES PRIOR TO COMMENCING ANY EXCAVATION REQUIRED FOR WORK UNDER THIS PROJECT. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITIES WHICH OCCURS AS A RESULT OF OPERATIONS PERFORMED UNDER THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER. REPAIRS SHALL BE MADE USING MATERIALS & METHODS TO MATCH EXISTING CONSTRUCTION AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO RE-COVERING.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR PHASING OF WORK REQUIRED FOR CONSTRUCTION.
- CONTRACTOR SHALL CUT AND PATCH EXISTING SIDEWALKS, DRIVES, ROADS AND PARKING AREAS AS NECESSARY TO INSTALL NEW RACEWAYS.
- CONTRACTOR SHALL RESTORE FINISHED GRADE SURFACE TO ORIGINAL PROFILE AND CONDITIONS. PROVIDE NEW SOD OR GROUND COVER AS REQUIRED TO MATCH EXISTING GROUND TREATMENT.
- ALL TRENCHES SHALL BE HAND DUG, FILLED AND COMPACTED.
- PROVIDE SAFETY BARRICADES AROUND ALL TRENCHES.
- ALL TRENCHING SHALL BE HAND DUG.

**ICM** INGLE, CAMPBELL, MOSES & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 904 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601 PHONE (904) 372-1111

DATE: 10-6-99 DRAWN BY: MTR  
 REVISIONS:  
**BOLTIN CENTER REPAIRS AND MAINTENANCE** FOR CITY OF GAINESVILLE, FL TCS&A #31807  
**SKINNER & ASSOCIATES, INC.** ARCHITECTS, ENGINEERS & PLANNERS  
 211 SW 4th Avenue, S-3 • P.O. Box 761 Gainesville, Florida 32602 • 904 378-4400  
 E1 OF 5

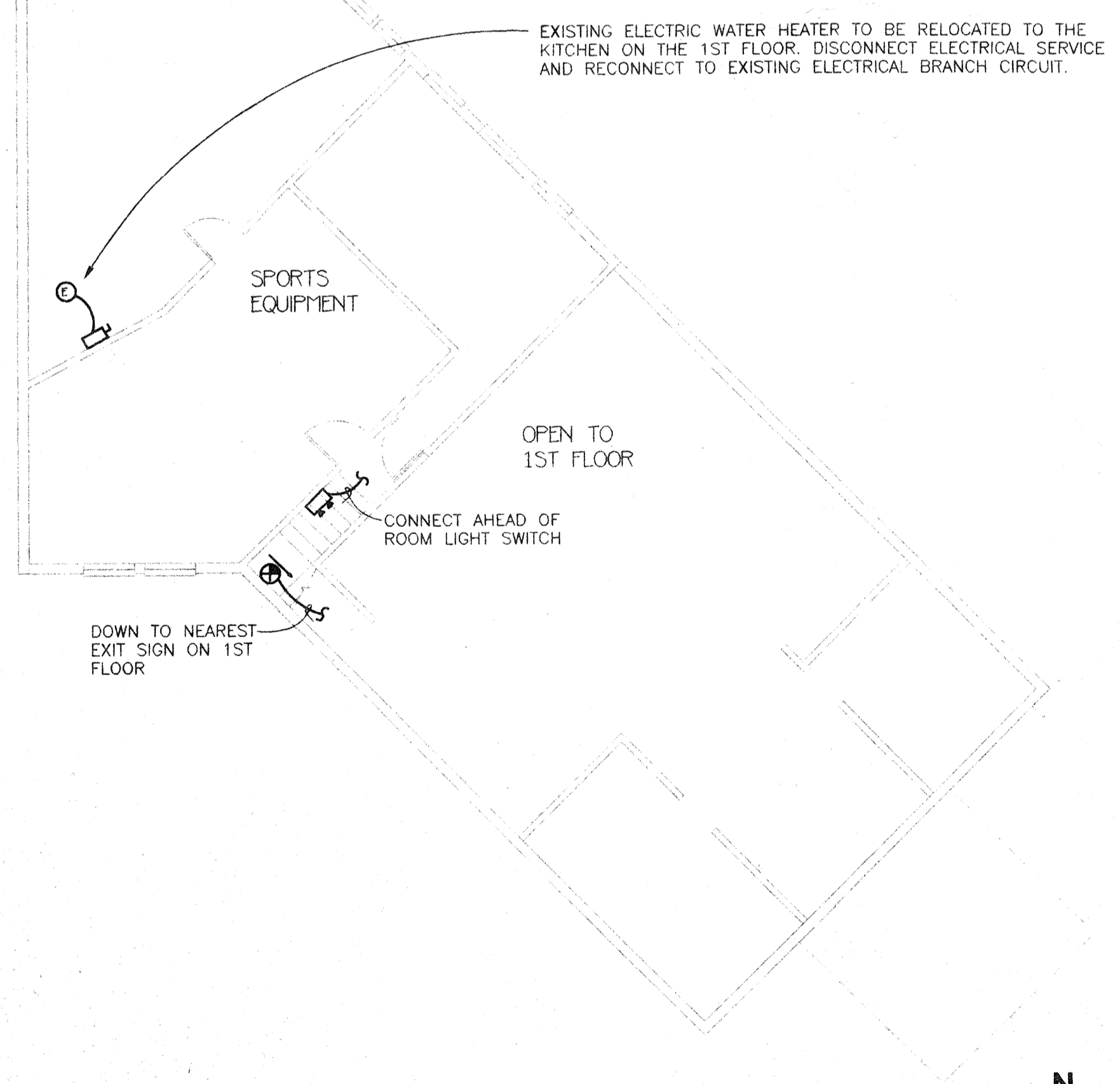
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LIGHTING FIXTURE SCHEDULE	
TYPE	DESCRIPTION
A	2' X 4' RECESSED FLUORESCENT STATIC GRID TROFFER WITH A PAINTED WHITE STEEL HOUSING, PRISMATIC ACRYLIC LENS (1/2" THICK MINIMUM), REGRESSED ALUMINUM DOOR FRAME, MITERED CORNERS, SPRING LOADED CAM LATCHES, (4) T-8 ENERGY SAVING COOL WHITE LAMPS AND 120 VOLT ELECTRONIC BALLAST. COLUMBIA #5PS66-52-244-120V DAY-BRITE, LIGHTOLIER, LITHONIA, METALUX, WILLIAMS OR APPROVED EQUAL
⊗	SURFACE MOUNTED L.E.D. EXIT SIGN WITH ALL THERMOPLASTIC HOUSING, WHITE FINISH, TEST SWITCH, CHARGE INDICATOR LIGHT, NICKEL CADMIUM BATTERY, DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS, 6" HIGH RED LETTERS ON A WHITE FACE AND FIRE ALARM FLASHER - 120 VOLT. FIXTURE IS PART OF ADDITIVE ALTERNATE #1. PRESCOLITE #PEX-L-1R-ENW-FAI EMERGI-LITE, LITHONIA, SURE-LITES, EXITRONIX, GILBERT OR APPROVED EQUAL
⊕	WALL MOUNTED EMERGENCY LIGHTING UNIT WITH A 22 GAUGE COLD ROLLED STEEL HOUSING, EGGSHELL WHITE BAKED ACRYLIC ENAMEL FINISH, SOLID STATE CHARGER, SEALED 12 VOLT NICKEL CADMIUM BATTERY, TEST SWITCH, CHARGE INDICATION LIGHT AND (2) PAR 36 INCANDESCENT LAMPS IN IMPACT-RESISTANT INJECTION MOLDED THERMOPLASTIC FULLY ADJUSTABLE LAMP HOUSING - 120 VOLT. FIXTURE IS PART OF ADDITIVE ALTERNATE #1. SURE-LITES #XR-21 LIGHTALARMS, LITHONIA, DUAL-LITE, CHLORIDE OR APPROVED EQUAL
B	4'-0" LONG PENDENT MOUNTED FLUORESCENT WITH EXTRUDED ALUMINUM HOUSING FOR DIRECT INDIRECT LIGHTING WITH 100% ACRYLIC PRISMATIC .125" THICK LENS. PROVIDE (3) T-8 COOL WHITE LAMPS AND (2) 120 VOLT ELECTRONIC BALLASTS. COLOR BY ARCHITECT. PROVIDE ALL MOUNTING HARDWARE. LIGHTOLIER #CD7 4 3 4 3 E81 120V PEERLESS, NEO-RAY, LAM, LINEAR LIGHTING, LIGHT CONTROL, OR APPROVED EQUAL
C	WALL MOUNTED INCANDESCENT VANITY LIGHT 4' LONG WITH A POLISHED CHROME FINISH, 8 SOCKETS (6" ON CENTER) AND 8-60 WATT MEDIUM BASE G-LAMPS. 120 VOLT PROGRESS #P3300-15 OR EQUAL

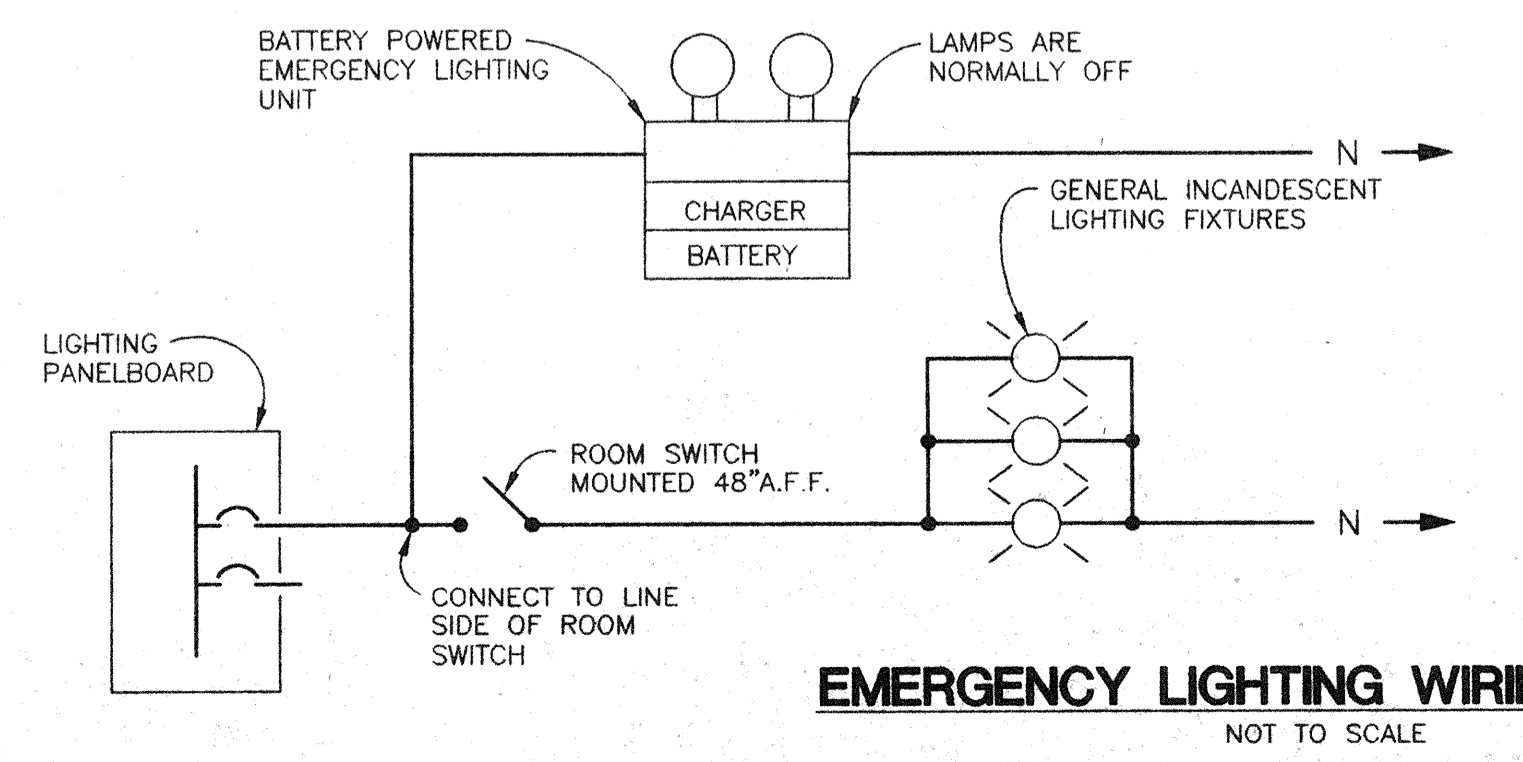


**FIRST FLOOR PLAN - POWER & LIGHTING**  
SCALE: 1/4" = 1'-0"

- NOTES:**
1. REMOVE EXISTING LIGHT FIXTURES, WIRING AND SWITCHING IN AUDITORIUM AND PROVIDE NEW LIGHTING AS INDICATED.
  2. REMOVE EXISTING EXIT SIGNS AND PROVIDE NEW EXIT SIGNS AND EMERGENCY LIGHTING AS INDICATED.



**SECOND FLOOR PLAN - POWER & LIGHTING**  
SCALE: 1/8" = 1'-0"



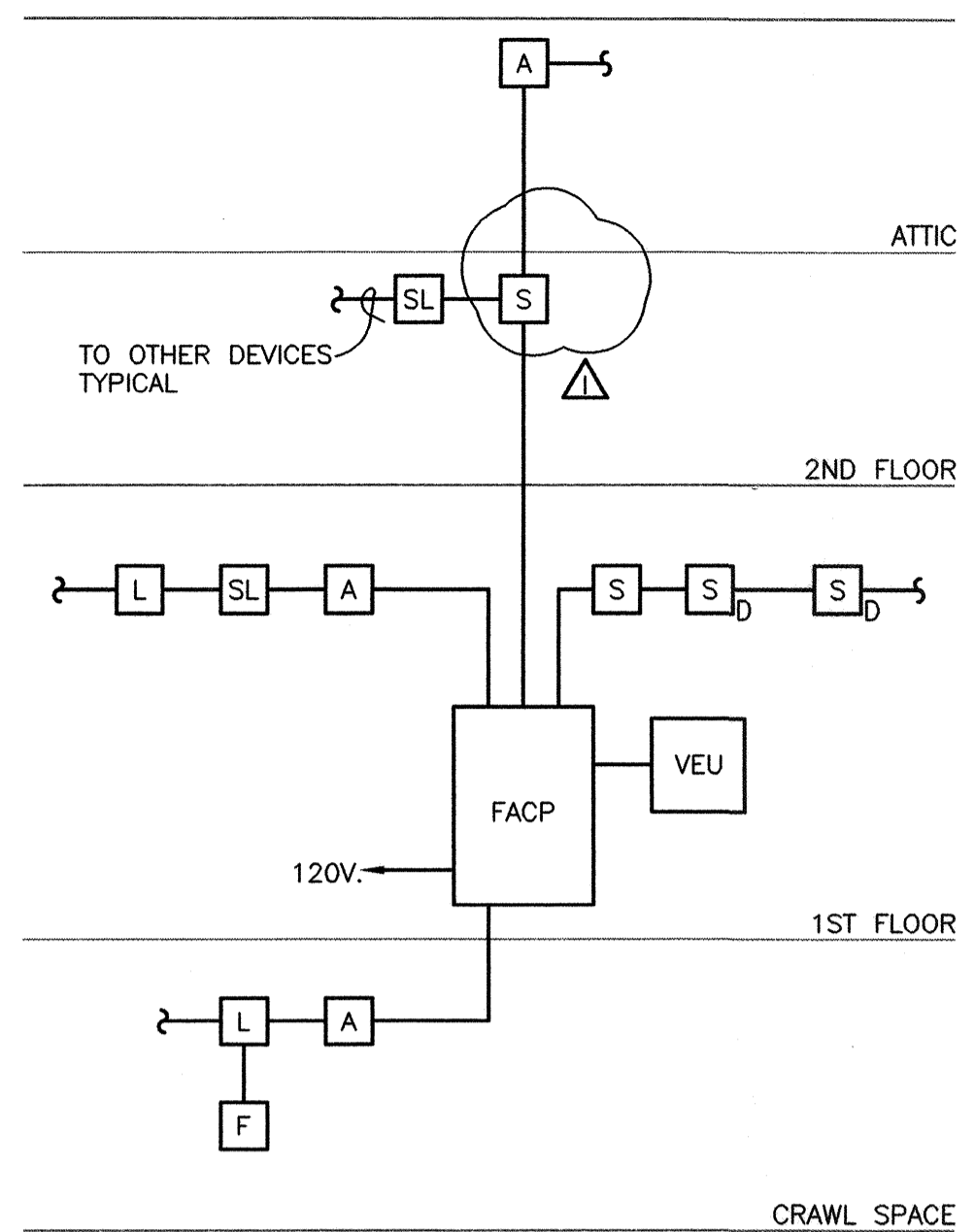
**EMERGENCY LIGHTING WIRING DIAGRAM**  
NOT TO SCALE

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07/23/99 110433 rtoy DV9582N E101.dwg

DATE: 10-6-99 DRAWN BY: MTR  
REVISIONS:  
**BOLTIN CENTER REPAIRS AND MAINTENANCE**  
GAINESVILLE, FL CITY OF GAINESVILLE TCS&A #31807  
**SKINNER & ASSOCIATES, INC.**  
ARCHITECTS, ENGINEERS & PLANNERS  
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E2 OF 5

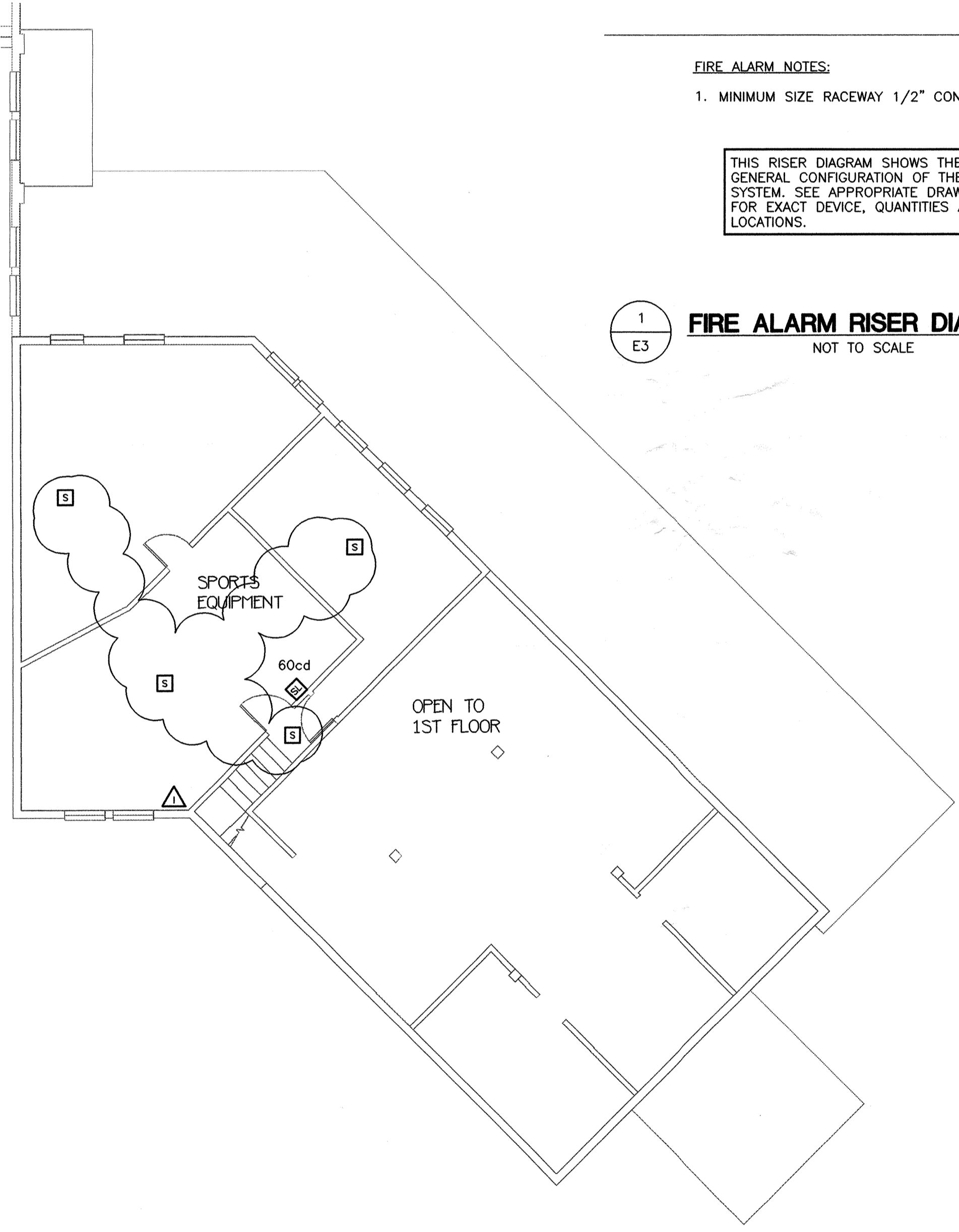
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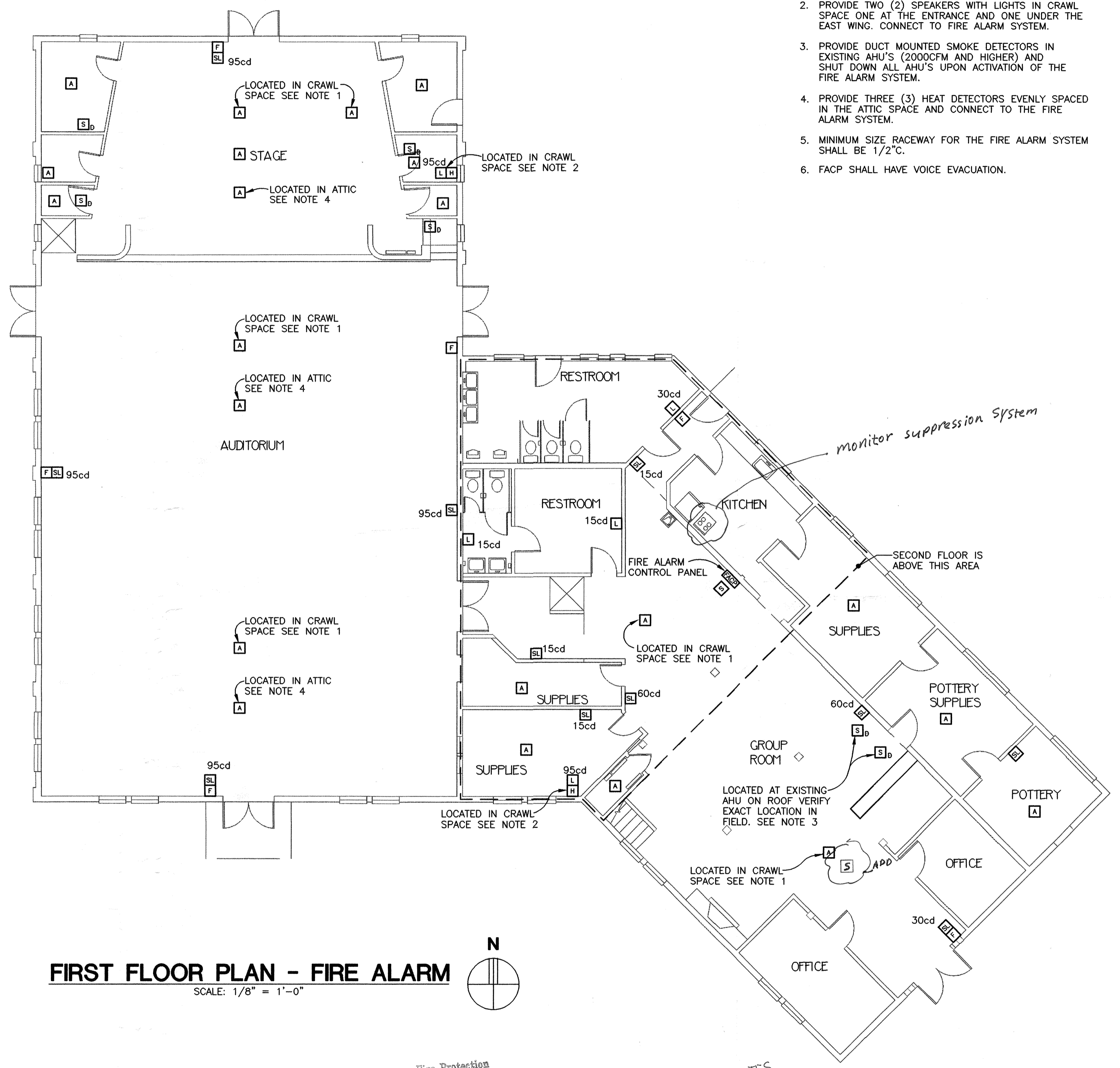
**FIRE ALARM NOTES:**  
 1. MINIMUM SIZE RACEWAY 1/2" CONDUIT.

THIS RISER DIAGRAM SHOWS THE GENERAL CONFIGURATION OF THE SYSTEM. SEE APPROPRIATE DRAWINGS FOR EXACT DEVICE, QUANTITIES AND LOCATIONS.

**1**  
**E3** **FIRE ALARM RISER DIAGRAM**  
 NOT TO SCALE



**SECOND FLOOR PLAN - FIRE ALARM**  
 SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLAN - FIRE ALARM**  
 SCALE: 1/8" = 1'-0"

**NOTES:**

1. PROVIDE SIX (6) HEAT DETECTORS EVENLY SPACED IN THE CRAWL SPACE AND CONNECT TO THE FIRE ALARM SYSTEM.
2. PROVIDE TWO (2) SPEAKERS WITH LIGHTS IN CRAWL SPACE ONE AT THE ENTRANCE AND ONE UNDER THE EAST WING. CONNECT TO FIRE ALARM SYSTEM.
3. PROVIDE DUCT MOUNTED SMOKE DETECTORS IN EXISTING AHU'S (2000CFM AND HIGHER) AND SHUT DOWN ALL AHU'S UPON ACTIVATION OF THE FIRE ALARM SYSTEM.
4. PROVIDE THREE (3) HEAT DETECTORS EVENLY SPACED IN THE ATTIC SPACE AND CONNECT TO THE FIRE ALARM SYSTEM.
5. MINIMUM SIZE RACEWAY FOR THE FIRE ALARM SYSTEM SHALL BE 1/2" C.
6. FACP SHALL HAVE VOICE EVACUATION.

Fire Protection  
 Approved  
 Disapproved  
 Approved Subject to Comment (see Attached)  
 Date 3-24-00  
*Daniel Starbuck*

SEE F.S. NOTES  
 13-23

City of Gainesville  
 Building Division  
 FIRE ALARM, FIRE DETECTION, FIRE SUPPRESSION, SMOKE REMOVAL, AND LIFE SAFETY SYSTEMS SHALL BE INSPECTED AND TESTS WITNESSED.

REVISED 3/7/00

*M. J. ...*  
 3/18/00

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 CONSULTING ENGINEERS  
 904 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601 PHONE (904) 372-1911

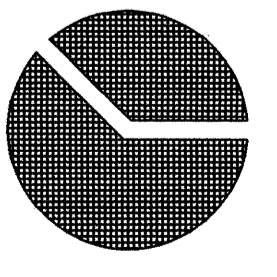
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DATE:  
 DRAWN BY:  
 MTR

REVISIONS:	

**BOLTIN CENTER REPAIRS AND MAINTENANCE**  
 FOR  
 CITY OF GAINESVILLE, FL  
 TCS&A #31807

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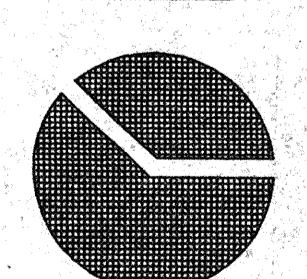
E3 of 5

DATE: 10-6-99  
DRAWN BY: MTR

REVISIONS:  
 1  
 2  
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**BOLTIN CENTER REPAIRS AND MAINTENANCE**  
 FOR CITY OF GAINESVILLE, FL  
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E4 OF 5

**PANELBOARD SCHEDULE**

CKT NO.	EQUIPMENT PROTECTED	CIRCUIT BREAKER		PHASE LOADS AMPS			CIRCUIT BREAKER		EQUIPMENT PROTECTED	
		POLE	TRIP	A	B	C	POLE	TRIP		
1	AHU-1 (5HP)	3	35	17.5	6		3	20	AHU-2 (1 1/2HP)	
3					17.5	6				
5						17.5	6			
7	AHU-1 ELEC. HEAT (15KW)	3	60	41.7	97.3		3	125	AHU-2 ELEC. HEAT (35KW)	
9					41.7	97.3				
11						41.7	97.3			
13	HP-1	3	110	83	54		3	70	AC-2	
15					83	54				
17						83	54			
19	SPACE ONLY	1					1		SPACE ONLY	
21	SPACE ONLY	1					1		SPACE ONLY	
23	SPACE ONLY	1				128.9	3	200	PANELBOARD L1	
25	SPACE ONLY	1		124						
27	SPACE ONLY	1			133					
29	SPACE ONLY	1					49	3	100	PANELBOARD L2
31	EXISTING AHU ON ROOF	3	100	60	56					
33					60	48				
35						60			SPACE ONLY	
37	PBD -L3	3	100	73.5			1		SPACE ONLY	
39						84			SPACE ONLY	
41						73.5			SPACE ONLY	

CONNECTED LOAD =      613.0      624.5      610.9

① SERVICE RATED      ② SHUNT TRIP MAIN BREAKER

**PANELBOARD SCHEDULE**

CKT NO.	EQUIPMENT PROTECTED	CIRCUIT BREAKER		PHASE LOADS AMPS			CIRCUIT BREAKER		EQUIPMENT PROTECTED	
		POLE	TRIP	A	B	C	POLE	TRIP		
2	AUDITORIUM LIGHTS	1	20	13	8		2	15	EXISTING EQUIPMENT	
4	AUDITORIUM LIGHTS	1	20		13	8				
6	AUDITORIUM LIGHTS	1	20			13	32	2	50	EXISTING KILN
8	EXISTING LIGHTS & RECEPTACLES	1	20	9	32					
10	EXISTING A.C. UNIT	2	20		10	32	2	50	KILN	
12						10	32			
14	EXISTING EQUIPMENT	2	30	18	10		2	50	EXISTING A.C. UNIT	
16					18	10				
18	EXISTING EQUIPMENT	1	20			8	1.5	1	20	RECEPTACLES
20	RECEPTACLE	1	20	1.5	1.5		1	20	RECEPTACLES	
22	RECEPTACLE	1	20		3	11	1	20	WHEEL CHAIR LIFT	
24	RECEPTACLE	1	20			3	11	1	20	WHEEL CHAIR LIFT
26	RECEPTACLE	1	20	3	8		1	20	EF'S & TIME CLOCK	
28	SPARE	1	20			8	1	20	RECEPTACLE-VENDING	
30	STAGE LIGHTS	1	20			10.4	8	1	20	RECEPTACLE-VENDING
32	ELECTRIC WATER HEATER	1	20	20						
34						20			SPACE ONLY	
36	SPACE ONLY	1							SPACE ONLY	
38	SPACE ONLY	1							SPACE ONLY	
40	SPACE ONLY	1							SPACE ONLY	
42	SPACE ONLY	1							SPACE ONLY	

CONNECTED LOAD =      124      133      128.9

**PANELBOARD SCHEDULE**

CKT NO.	EQUIPMENT PROTECTED	CIRCUIT BREAKER		PHASE LOADS AMPS			CIRCUIT BREAKER		EQUIPMENT PROTECTED		
		POLE	TRIP	A	B	C	POLE	TRIP			
2	EXISTING LIGHTS	1	20	8	8		1	20	EXISTING LIGHTS		
4	EX. GAS WATER HEATER FAN	1	20			2	10	1	20	EXISTING ICE CREAM COOLER	
6	EXISTING RECEPTACLES	1	20				6	6	1	20	EXISTING RECEPTACLES
8	EXISTING RECEPTACLES	1	20		6	8			1	20	EXISTING LIGHTS
10	EXISTING UPSTAIR RECEPTACLE	1	20			6	8	1	20	EXISTING LIGHTS	
12	EXISTING RECEPTACLES	1	20				6	6	1	20	EXISTING RECEPTACLES
14	EXISTING RECEPTACLES	1	20		6	6			1	20	EXISTING RECEPTACLES
16	EXISTING RECEPTACLES	1	20			6	8	1	20	EXISTING LIGHTS & RECEPTACLES	
18	EXISTING RECEPTACLES	1	20				6	6	1	20	EXISTING RECEPTACLES
20	EXISTING RECEPTACLES	1	20		6	8			1	20	LIGHTS
22	EXISTING EQUIPMENT	1	20			8		1	20	SPARE	
24	LIGHTS	1	20				13		1	20	SPARE
26	SPACE ONLY	1							1		SPACE ONLY
28	SPACE ONLY	1							1		SPACE ONLY
30	SPACE ONLY	1							1		SPACE ONLY
32											
34											
36											
38											
40											
42											

CONNECTED LOAD =      56      48      49

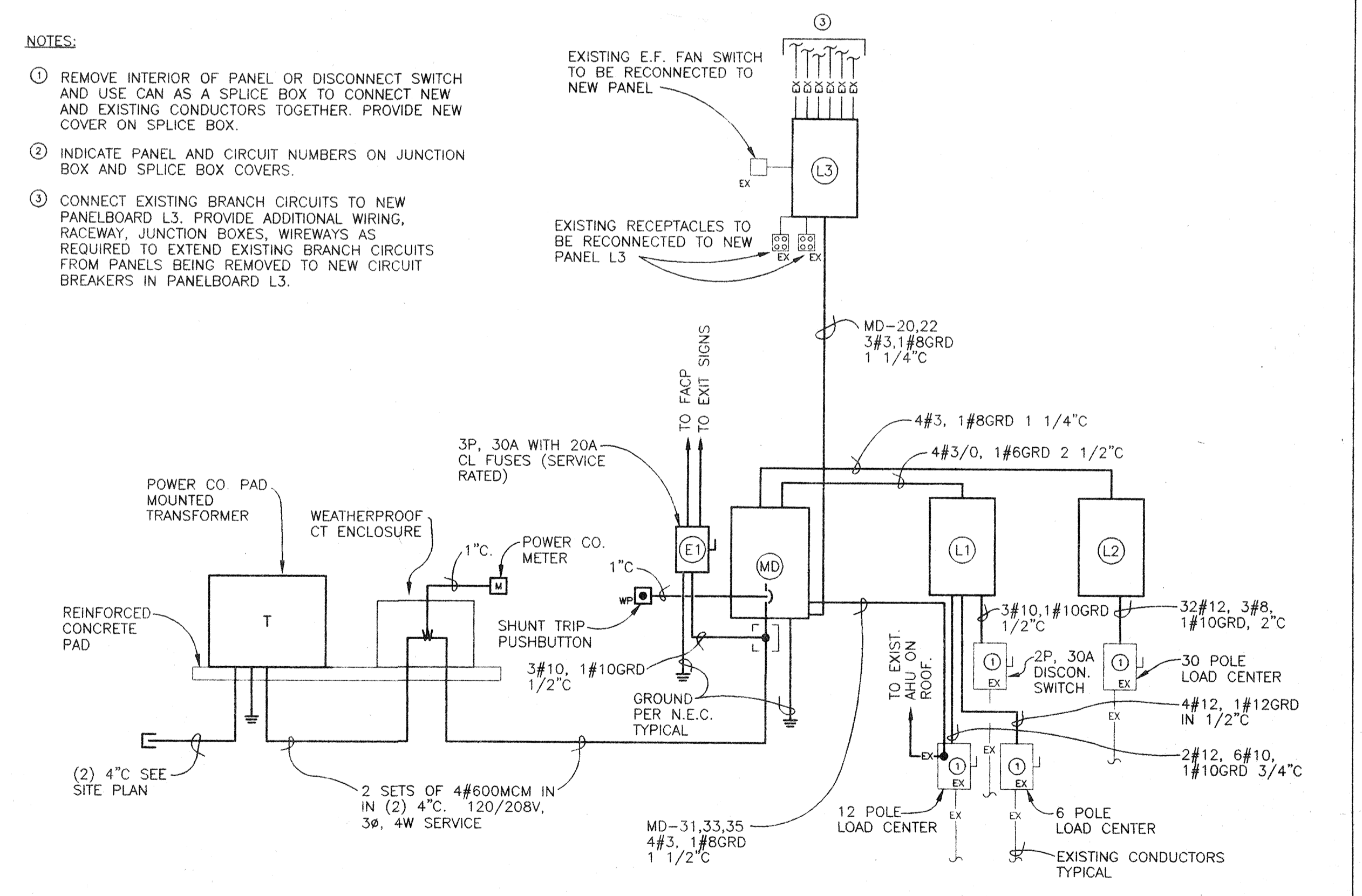
**PANELBOARD SCHEDULE**

CKT NO.	EQUIPMENT PROTECTED	CIRCUIT BREAKER		PHASE LOADS AMPS			CIRCUIT BREAKER		EQUIPMENT PROTECTED	
		POLE	TRIP	A	B	C	POLE	TRIP		
1	LIGHTS-AUDITORIUM-2ND ROW	1	20	8	2		1	20	CLOCK	
3	LIGHTS-AUDITORIUM-3RD ROW	1	20		8	8	1	20	LIGHTS-FRONT OVERHEAD STAGE	
5	LIGHTS-AUDITORIUM-5TH ROW	1	20			8	6	1	20	RECEPTACLE - EAST WALL
7	BACKSTAGE LIGHTS	1	20	8	6		1	20	RECEPTACLE - EAST WALL	
9	LIGHTS-AUDITORIUM-1ST ROW	1	20		8	2	1	20	LIGHTS - OVER PANEL	
11	LIGHTS-AUDITORIUM-4TH ROW	1	20			8	6	1	20	RECEPTACLE - WEST WALL
13	RECEPTACLE	1	20	6	6		1	20	RECEPTACLE - WEST WALL	
15	EXIT LIGHTS	1	20		2	10	2	20	FAN	
17	SPOT LIGHTS (YELLOW)	1	15			8	10			
19	SPOT LIGHTS	1	15	8	8		1	20	STAGE - FRONT SPOTS	
21	SPOT LIGHTS (WHITE)	1	15		8	8	1	20	STAGE - FRONT SPOTS	
23	SPOT LIGHTS (WHITE)	1	15			8	8	1	20	STAGE - FRONT SPOTS
25	ST EQUIPMENT	1	20	4	3		1	20	RECEPTACLE - UNDER PANEL	
27	RT EQUIPMENT	1	20		4	3	1	20	RECEPTACLE - UNDER PANEL	
29	BASEMENT	1	20				1.5	1	20	RECEPTACLES
31	BASEMENT	1	20	3	1.5		1	20	RECEPTACLES	
33	SPACE ONLY	1			3	10	1	20	FUTURE STAGE LIGHTS	
35	SPACE ONLY	1				10	1	20	FUTURE STAGE LIGHTS	
37	SPACE ONLY	1			10		1	20	FUTURE STAGE LIGHTS	
39	SPACE ONLY	1				10	1	20	FUTURE STAGE LIGHTS	
41	SPACE ONLY	1					1	20	SPARE	

CONNECTED LOAD =      73.5      84      73.5

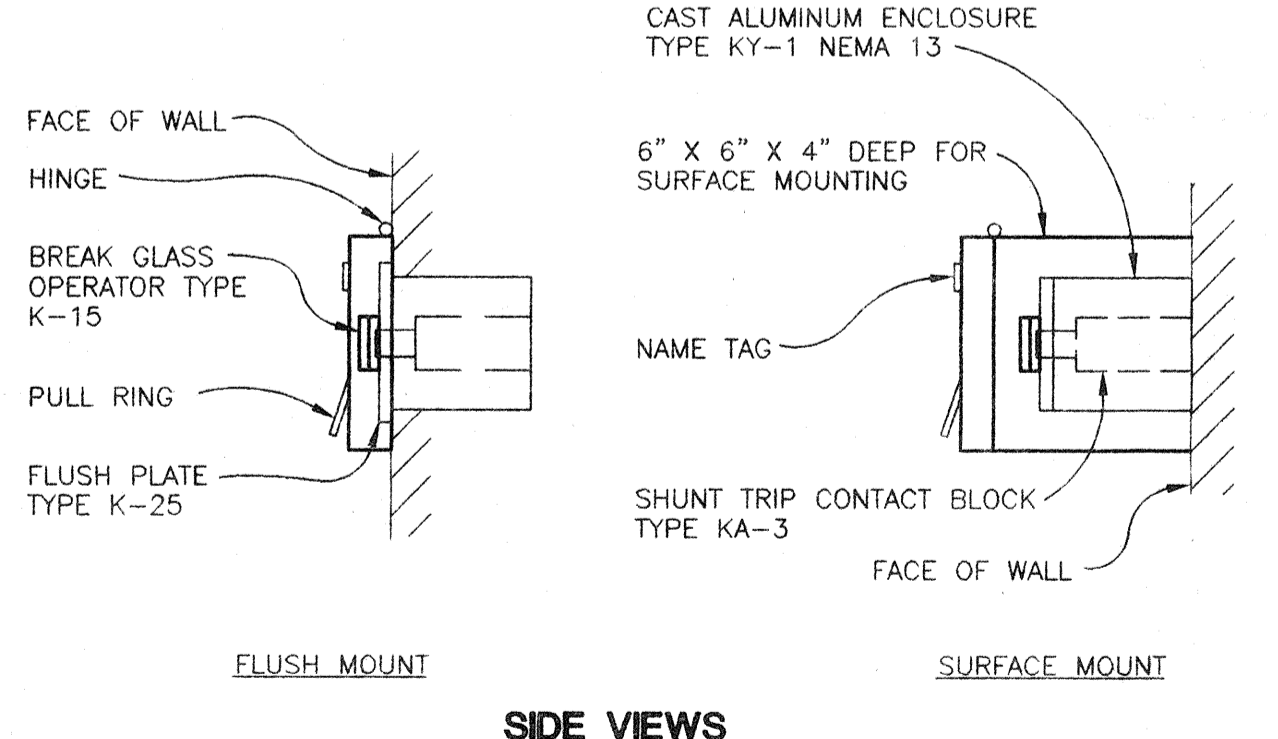
**NOTES:**

- REMOVE INTERIOR OF PANEL OR DISCONNECT SWITCH AND USE CAN AS A SPLICE BOX TO CONNECT NEW AND EXISTING CONDUCTORS TOGETHER. PROVIDE NEW COVER ON SPLICE BOX.
- INDICATE PANEL AND CIRCUIT NUMBERS ON JUNCTION BOX AND SPLICE BOX COVERS.
- CONNECT EXISTING BRANCH CIRCUITS TO NEW PANELBOARD L3. PROVIDE ADDITIONAL WIRING, RACEWAY, JUNCTION BOXES, WIREWAYS AS REQUIRED TO EXTEND EXISTING BRANCH CIRCUITS FROM PANELS BEING REMOVED TO NEW CIRCUIT BREAKERS IN PANELBOARD L3.

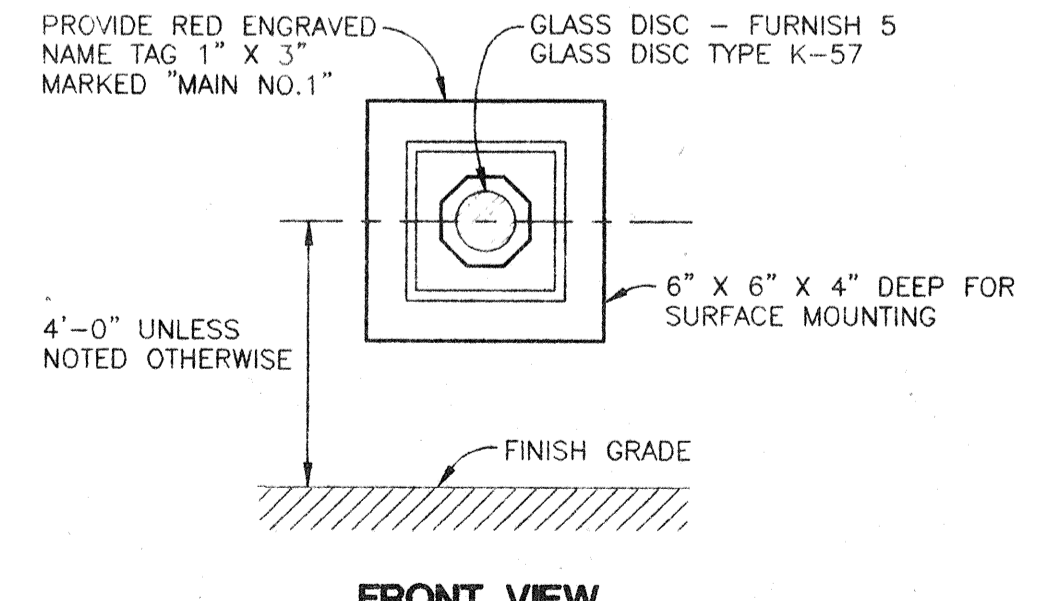


**DISTRIBUTION RISER DIAGRAM**  
 NOT TO SCALE

2  
E4



**SIDE VIEWS**



**FRONT VIEW**

**MAIN SHUNT TRIP PUSHBUTTON DETAIL**  
 NOT TO SCALE

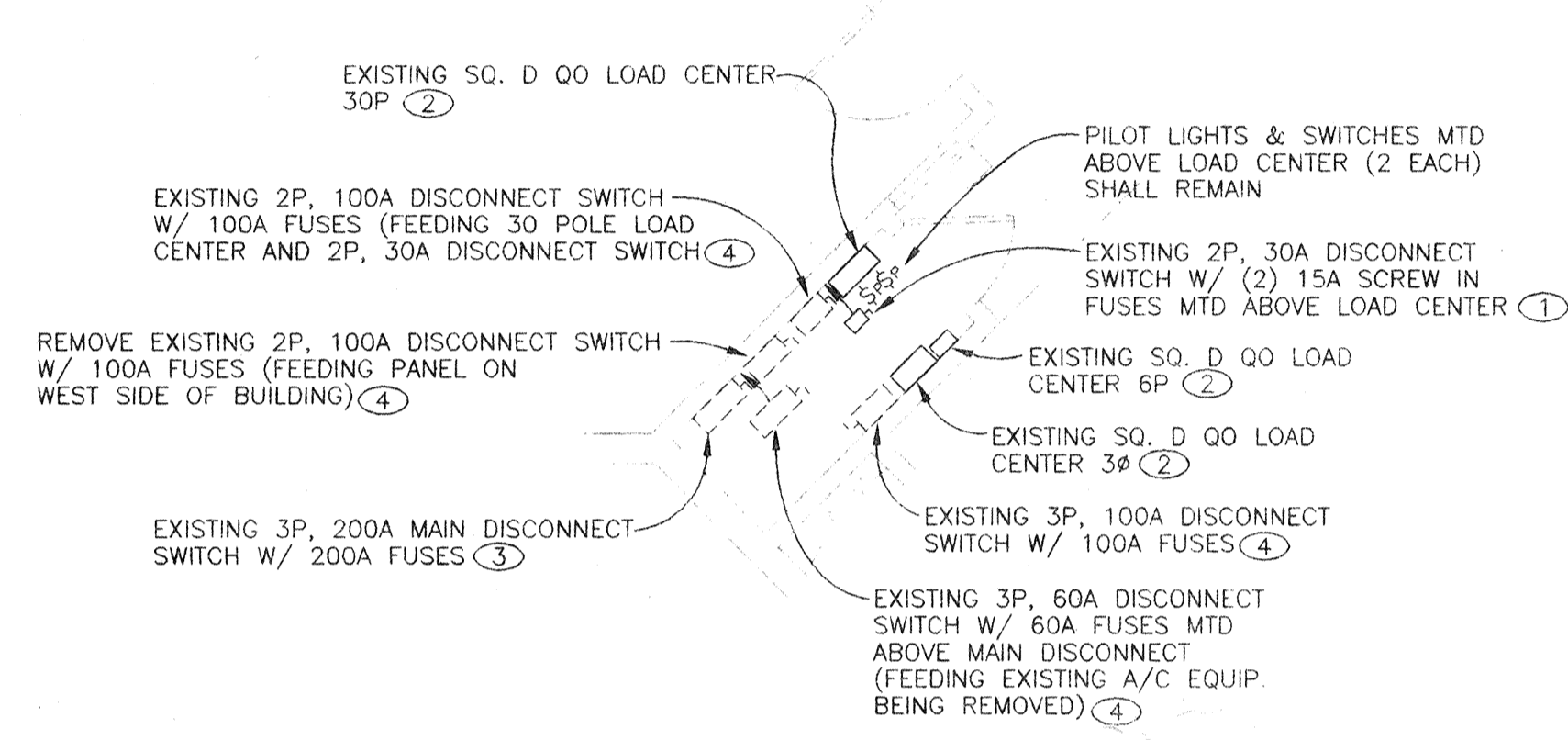
NOTE:  
ALL TYPE NUMBERS ARE SQUARE "D" CLASS 9001.

**ICM**  
**INGLEY, CAMPBELL, MOSES & ASSOCIATES, INC.**  
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 904 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601 PHONE (904) 378-4400

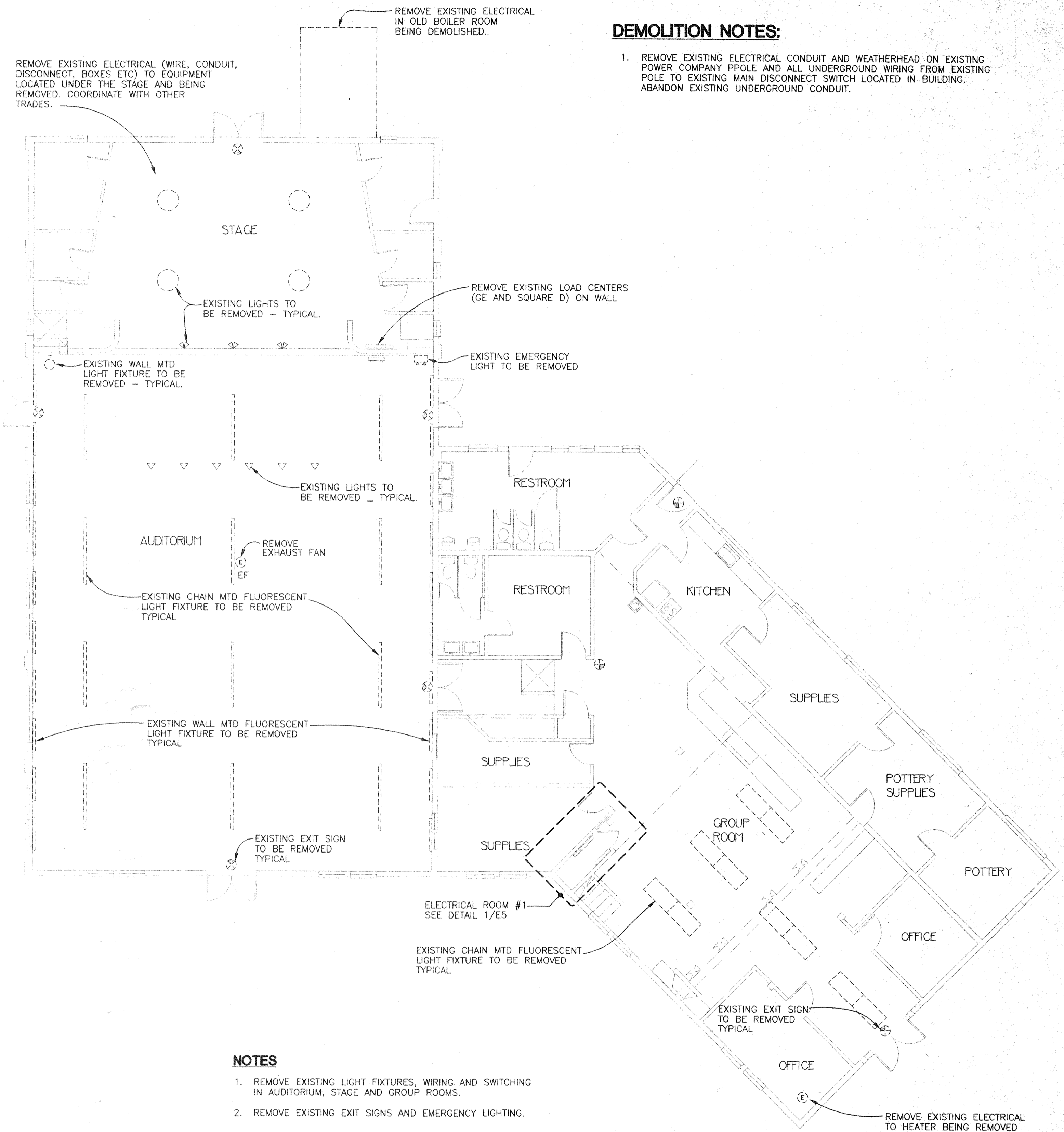
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REVISIONS:	DATE:	BY:

- NOTES:**
- 1 REMOVE INTERIOR OF DISCONNECT SWITCH AND SPLICE NEW CONDUCTORS ONTO EXISTING CONDUCTORS. EXISTING DISCONNECT SWITCH SHALL BECOME A JUNCTION BOX.
  - 2 REMOVE INTERIOR OF LOAD CENTER AND SPLICE NEW BRANCH CIRCUIT CONDUCTORS ONTO EXISTING BRANCH CIRCUIT CONDUCTORS. PROVIDE A NEW COVER ON LOAD CENTER. EXISTING LOAD CENTER SHALL BECOME A JUNCTION BOX.
  - 3 REMOVE EXISTING 3P, 200A BUILDING MAIN DISCONNECT SWITCH. REMOVE ALL EXISTING CONDUCTORS AND CONDUITS FROM MAIN DISCONNECT SWITCH TO EXISTING WEATHERHEAD. DISCONNECT SWITCHES AND LOAD CENTERS.
  - 4 REMOVE EXISTING DISCONNECT SWITCH, CONDUIT AND WIRING FROM MAIN DISCONNECT SWITCH TO EQUIPMENT SERVED.



**1 ELECTRICAL ROOM - DEMOLITION**  
SCALE: 1/4" = 1'-0"  
N



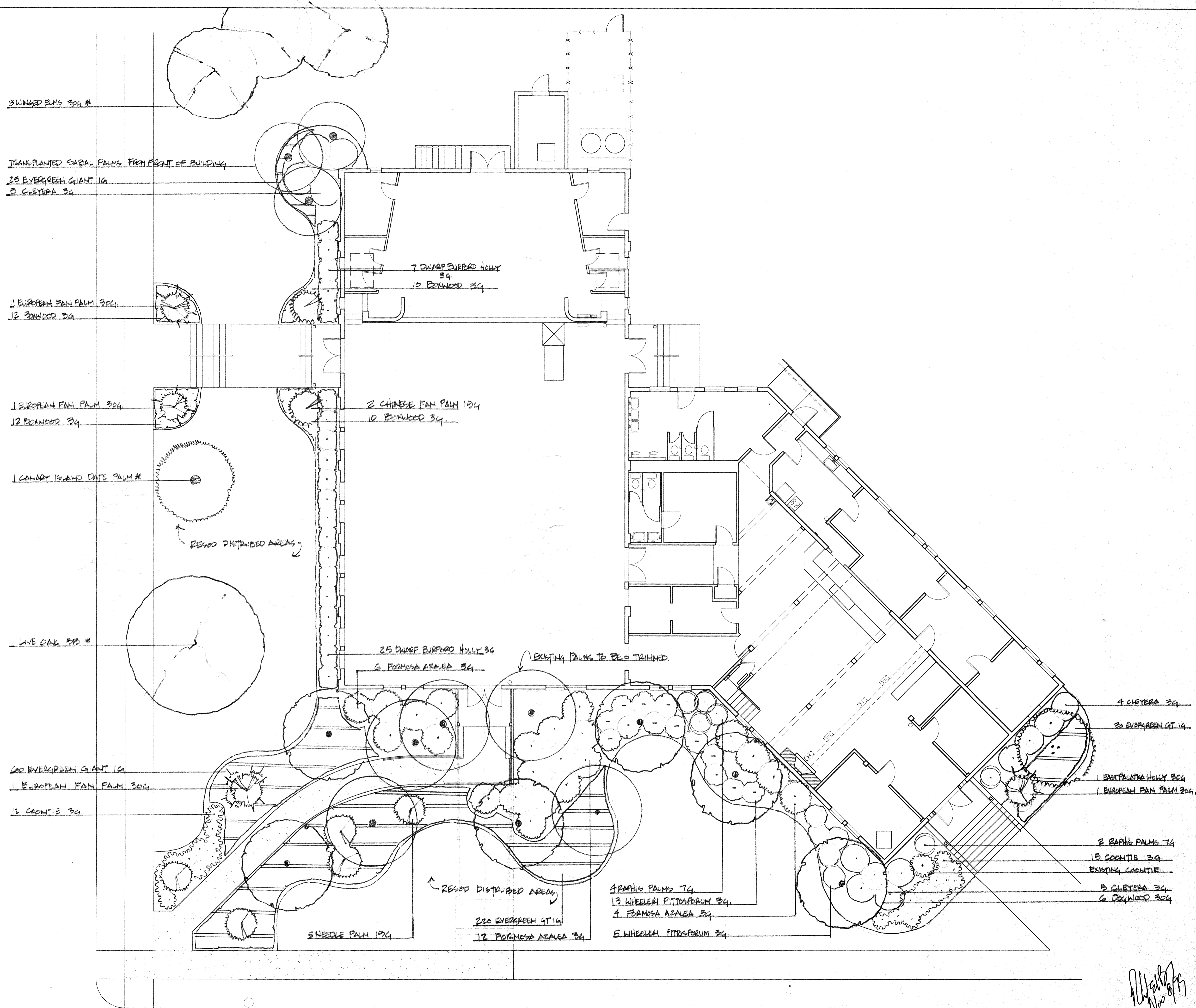
**DEMOLITION NOTES:**

1. REMOVE EXISTING ELECTRICAL CONDUIT AND WEATHERHEAD ON EXISTING POWER COMPANY PPOLE AND ALL UNDERGROUND WIRING FROM EXISTING POLE TO EXISTING MAIN DISCONNECT SWITCH LOCATED IN BUILDING. ABANDON EXISTING UNDERGROUND CONDUIT.

- NOTES**
1. REMOVE EXISTING LIGHT FIXTURES, WIRING AND SWITCHING IN AUDITORIUM, STAGE AND GROUP ROOMS.
  2. REMOVE EXISTING EXIT SIGNS AND EMERGENCY LIGHTING.
  3. REMOVE EXISTING ELECTRICAL FROM THE EXISTING WATER HEATER LOCATED UPSTAIRS. VERIFY LOCATION WITH OWNER.

**FLOOR PLAN - DEMOLITION**  
SCALE: 1/8" = 1'-0"  
N

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3 WINGED ELMS 30q #

1 TRANSPLANTED SABAL PALMS FROM FRONT OF BUILDING

20 EVERGREEN GIANT 1q

5 CLEYERA 3q

1 EUROPEAN FAN PALM 30q

12 BOXWOOD 3q

1 EUROPEAN FAN PALM 30q

12 BOXWOOD 3q

1 CANARY ISLAND DATE PALM #

RESEED DISTURBED AREAS

1 LIVE OAK 10q #

25 DWARF BURFORD HOLLY 3q

6 FORMOSA AZALEA 3q

EXISTING PALMS TO BE TRAINED

600 EVERGREEN GIANT 1q

1 EUROPEAN FAN PALM 30q

12 COONTIE 3q

4 CLEYERA 3q

30 EVERGREEN GT 1q

1 EAST PALATKA HOLLY 30q

1 EUROPEAN FAN PALM 30q

2 ZAPALIS PALMS 7q

15 COONTIE 3q

EXISTING COONTIE

5 CLEYERA 3q

6 BOXWOOD 30q

RESEED DISTURBED AREAS

4 GRAPHIS PALMS 7q

13 WHEELER PITTOSPORUM 3q

4 FORMOSA AZALEA 3q

5 WHEELER PITTOSPORUM 3q

5 NEEDLE PALM 10q

200 EVERGREEN GT 1q

12 FORMOSA AZALEA 3q

BIOSCAPES, INC.  
 RICHARD EARL BERRY AND ASSOCIATES  
 LANDSCAPE ARCHITECTS  
 ENVIRONMENTAL PLANNERS

**RICHARD EARL BERRY**  
 President

211 SW 4th AVE., SUITE 1A  
 GAINESVILLE, FL  
 32602-3154  
 HOME 904 473-1013

Member ASLA FNGA

*Richard Earl Berry*  
 12/01/98

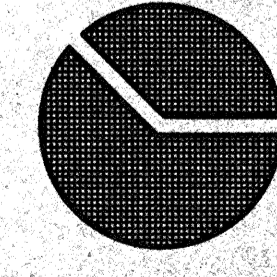
CA PROJECT 31807 L.S.

DATE: 12-01-98  
 DRAWN BY: M.C.S. + J.H.

REVISIONS:	DATE	BY

**BOLTIN CENTER REPAIRS & MAINTENANCE**  
 FOR  
**CITY OF GAINESVILLE**  
 GAINESVILLE, FL TCS&A #31807

**SKINNER & ASSOCIATES, INC.**  
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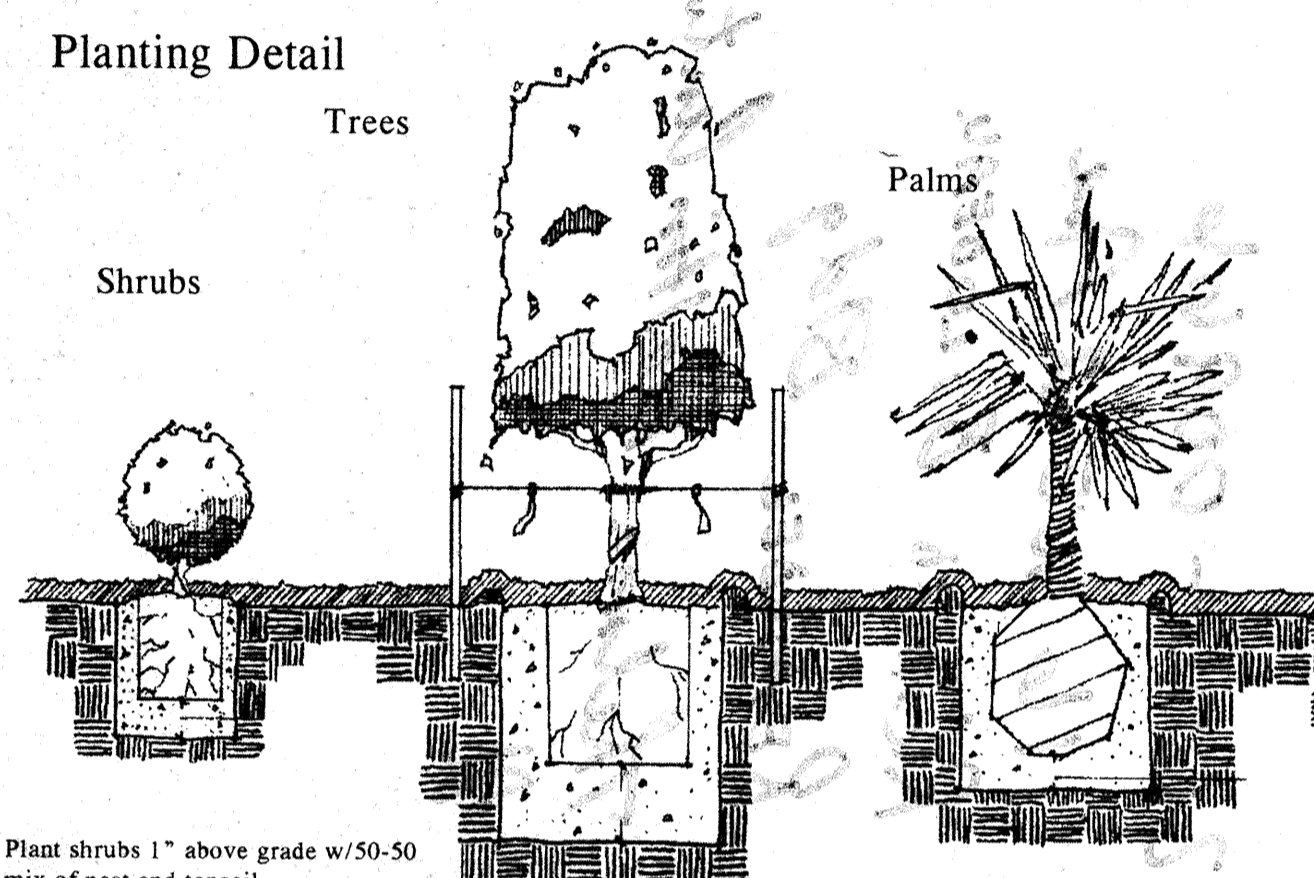
1 OF 2

**Plant List**

(NOTE: GALLON SIZES ARE GIVEN AS A REFERENCE. SIZES SPECIFIED IN NOTES TAKES PRECEDENCE.)

Sym	Scientific Name	Common Name	Quantity	Size	Notes
Trees	CF Cornus Florida	Dogwood	6 ea	30 gal	10' - 12' x 6' - 8' min., 2 1/2" caliper min., Florida Fancy min.
	IOEP Ilex Opaca	East Palatka Holly	1 ea	15 gal	6' - 8' x 3' - 4' min., central main leader, 1 1/2" caliper, Florida Fancy min.
	QV Quercus Virginiana	Live Oak	1 ea	30 gal	10' - 12' x 6' - 8' min., 2 1/2" caliper min., with a central main leader.
	UA Ulmus Alata	Winged Elm	3ea	30 gal	10' - 12' x 6' - 8' min., 2 1/2" caliper min., no cross branching.
Palm	BH Chamaerops Humilis	European Fan Palm	4 ea	30 gal	Florida Fancy min. 48" x 48" min., central main trunk w/ 3 - 4 smaller heads, Florida Fancy min.
	LC Livistonia Chinensis	Chinese Fan Palm	2 ea	15 gal	48" x 48" min., Florida Fancy min.
	PD Phoenix Spp.	Phoenix Palm	1 ea	B&B	4' ea. min., Florida Fancy min., Prior Approval By L.A. required.
	RH Rhapsidophyllum Hystrix	Needle Palm	5 ea	15 gal	48" x 48" min., Florida Fancy min.
	ZF Zamia Florida	Coontie	27 ea	2 gal	24" x 24" min., Florida Fancy min., 10 - 12 Fronds min.
	RE Rapis Exocelis	Raphis Palm	6	7 gal	36" x 24" min. Florida Fancy min.
Shrubs	CJ Clevera Japonica	Cleyera	14 ea	3 gal	24" x 18" min., Florida Fancy min.
	ICDB Ilex Cornuta	Dwarf Burford Holly	32	3 gal	24" x 18" min., Florida Fancy min.
	BM Buxus Microphylla	Hoxwood	44 ea	3 gal	18" x 18" min., Florida Fancy min.
	PTW Pittosporum Tobria	Wheeleri Pittosporum	18 ea	3 gal	18" x 18" min., Florida Fancy min.
	RIF Rhododendron Indica	Formosa Azalea	22 ea	3 gal	24" x 24" min., Florida Fancy min.
Ground Covers	LM Liriope Muscari	Evergreen Giants	335 ea	1 gal	18" height min., full pots min., Florida Fancy min.
Sod	Stenotaphrum Secundatum Floratum	St. Augustine	TBD		To be weed free and pest free for a period of 90 days, to be sand grown and planted within 2 days of harvesting.
Mulch	Pine Bark Chips		TBD	2" chip size	3" uniform thick layer of mulch minimum.

**Planting Detail**



Plant shrubs 1" above grade w/50-50 mix of peat and topsoil.

Use Terra-sorb and Agriform 21-21-21 time release tablets per manufacture specifications in all planting pits.

- \* Plant trees and palms at same grade as container or B&B with site grade.
- \* Avoid any air bubbles in planting pits.
- \* Use 50-50 mix of peat and top soil.
- \* Tree well all plants - trees and palms and mulch with 3" of mulch.
- \* Hurricane cut all Sabal Palms and use FDOT Standards for staking plants.

**Plant Specifications**

1. Substitutions of plant material will not be permitted unless authorized in writing by the Landscape Architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for the use of the nearest equivalent size or variety with corresponding adjustment of Contract Price.
2. Sod shall be nursery grown sod as classified by the American Sod Producers Association.
3. Sod shall be free of weeds, have been cut regularly at a height of 1 1/2 inches and hold together firmly when a 16 inch x 24 inch piece is picked up with only one hand. The sod shall have its roots embedded in a layer of clean soil 3/4 inch to 1 inch thick.
4. Sod shall be harvested, delivered and transplanted within a period of 48 hours unless a suitable preservation method is approved prior to delivery.
5. Provide all plant materials as indicated on the drawing. The sizes that are indicated are the minimum acceptable sizes.
6. All plant material not otherwise specified as specimen shall be Florida Fancy quality graded in accordance with Grades and Standards for Nursery Plants published by the State of Florida, Department of Agriculture. Plants judged to be not in accordance with said standards will be rejected.
7. The number of plants specified shall take precedence over the graphic plant symbols. The Contractor shall verify all quantities required for the completion of the work and shall be responsible for the supply and installation of all plants and materials indicated on the drawings and specifications. Contractor is responsible for all plants called out on the planting plan.
8. The Contractor shall notify the Landscape Architect immediately of any discrepancies in the plans or specifications.
9. Protect the work, the public, and property owner from injury or loss arising in connection with this contract. Provide adequate barricades, night lights, etc. to protect the public. The Contractor shall be responsible for any damage or injury due to his act or neglect.
10. Plants and planting areas shall be mulched within two days after planting with a three inch deep layer of the prescribed mulch material, entirely covering the pit or bed around each point.
11. As planting operations proceed, all rope, wire, burlap, empty containers, rocks, clods and all other debris shall be removed daily, and the site kept neat at all times.
12. Any excess excavated topsoil or rich loam shall be placed as directed by the Owner or his Representative.
13. After planting operations are finished, all paved areas which may have become strewn with soil or other material shall be thoroughly cleaned by sweeping, and, if necessary, washing.
14. The owner and the Landscape Architect reserve the right to inspect the work during the execution of the contract. The Contractor shall review the entire project with the Landscape Architect and the Owner for final inspection to obtain approval for final payment.
15. For a period of one year from and after the date of the Final Acceptance of his work, Contractor shall promptly and properly repair or replace all defective materials, equipment or workmanship which becomes evident during that period, and shall do so at no additional cost to the owner.

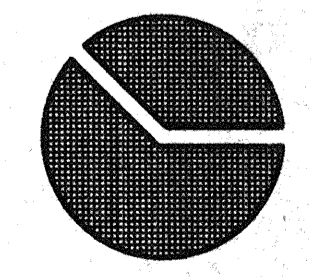
*Handwritten signature and initials*

DATE: 12-09-98  
DRAWN BY: M.C.S. + J.H.

REVISIONS:


**BOLTIN CENTER REPAIRS & MAINTENANCE**  
FOR  
**CITY OF GAINESVILLE**  
GAINESVILLE, FL TCS&A #31807

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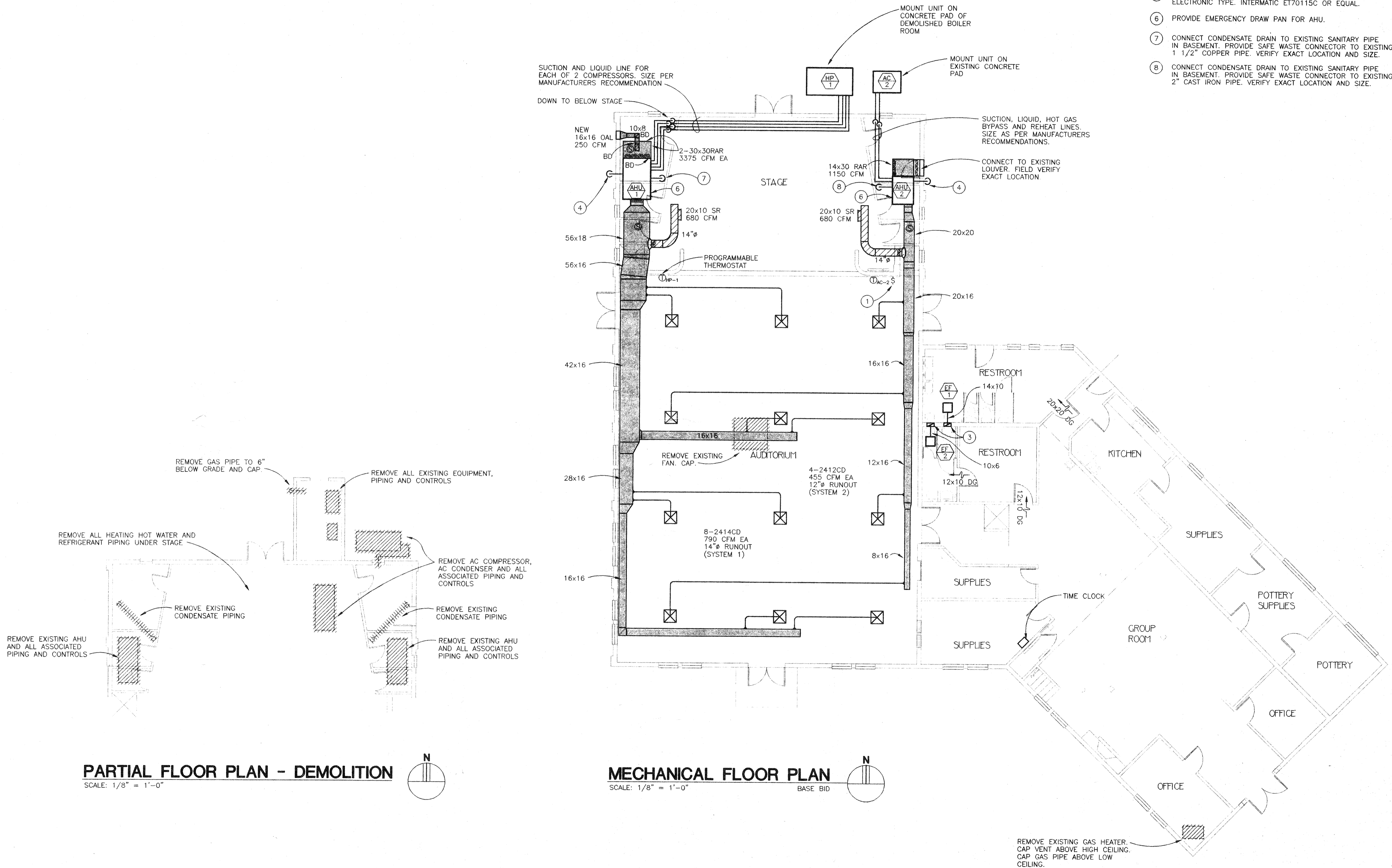


**SEQUENCE OF OPERATION:**

1. HP-1/AHU-1: SET PROGRAMMABLE THERMOSTAT TO MAINTAIN 74°F. OBTAIN TIME SCHEDULE FROM OWNER.
2. AC-2/AHU-2: SIX HOUR TIME SWITCH SHALL ENABLE UNIT. WHEN UNIT IS ENABLED, AHU FAN SHALL RUN CONTINUOUSLY. WHEN OUTSIDE AIR TEMPERATURE IS ABOVE 60°F (ADJUSTABLE), COMPRESSOR SHALL OPERATE AND ELECTRIC HEAT SHALL BE LOCKED OUT. THERMOSTAT SHALL ENERGIZE/DEENERGIZE HOT GAS REHEAT VALVE TO MAINTAIN ROOM SETPOINT (72°F, ADJUSTABLE). WHEN OUTSIDE AIR TEMPERATURE IS BELOW 60°F (ADJUSTABLE), COMPRESSOR SHALL BE LOCKED OUT AND ELECTRIC HEAT ENABLED. HEATING THERMOSTAT SHALL ENERGIZE/DEENERGIZE ELECTRIC HEAT TO MAINTAIN ROOM SETPOINT (70°F, ADJUSTABLE).
3. EF-1/EF-2: EXHAUST FANS SHALL BE CONTROLLED BY TIME CLOCK. OBTAIN SCHEDULE FROM OWNER.

**NOTES:**

1. PROVIDE 6 HR TIME SWITCH, WITHOUT HOLD, FOR AC-2.
2. PROVIDE SIGN THAT READS: "ACTIVATE AC-2 ONLY WHEN OCCUPANCY EXCEEDS 30 PEOPLE."
3. EXHAUST DUCT FROM FAN UP TO LOUVER IN WALL ABOVE LOW ROOF. DISCHARGE OUT LOUVER.
4. EMERGENCY DRAIN TO PENETRATE WALL AND TURN DOWN.
5. TIME CLOCK SHALL BE 120V, 1 CIRCUIT, 7 DAY, ELECTRONIC TYPE. INTERMATIC ET70115C OR EQUAL.
6. PROVIDE EMERGENCY DRAW PAN FOR AHU.
7. CONNECT CONDENSATE DRAIN TO EXISTING SANITARY PIPE IN BASEMENT. PROVIDE SAFE WASTE CONNECTOR TO EXISTING 1 1/2" COPPER PIPE. VERIFY EXACT LOCATION AND SIZE.
8. CONNECT CONDENSATE DRAIN TO EXISTING SANITARY PIPE IN BASEMENT. PROVIDE SAFE WASTE CONNECTOR TO EXISTING 2" CAST IRON PIPE. VERIFY EXACT LOCATION AND SIZE.



**PARTIAL FLOOR PLAN - DEMOLITION**  
SCALE: 1/8" = 1'-0"

**MECHANICAL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASE BID

**ICM** **INGLEY, CAMPBELL, MOSES & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
904 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601 PHONE (904) 372-3911 FAX (904) 372-3912

DATE: 10-6-99  
DRAWN BY: PKS

REVISIONS:

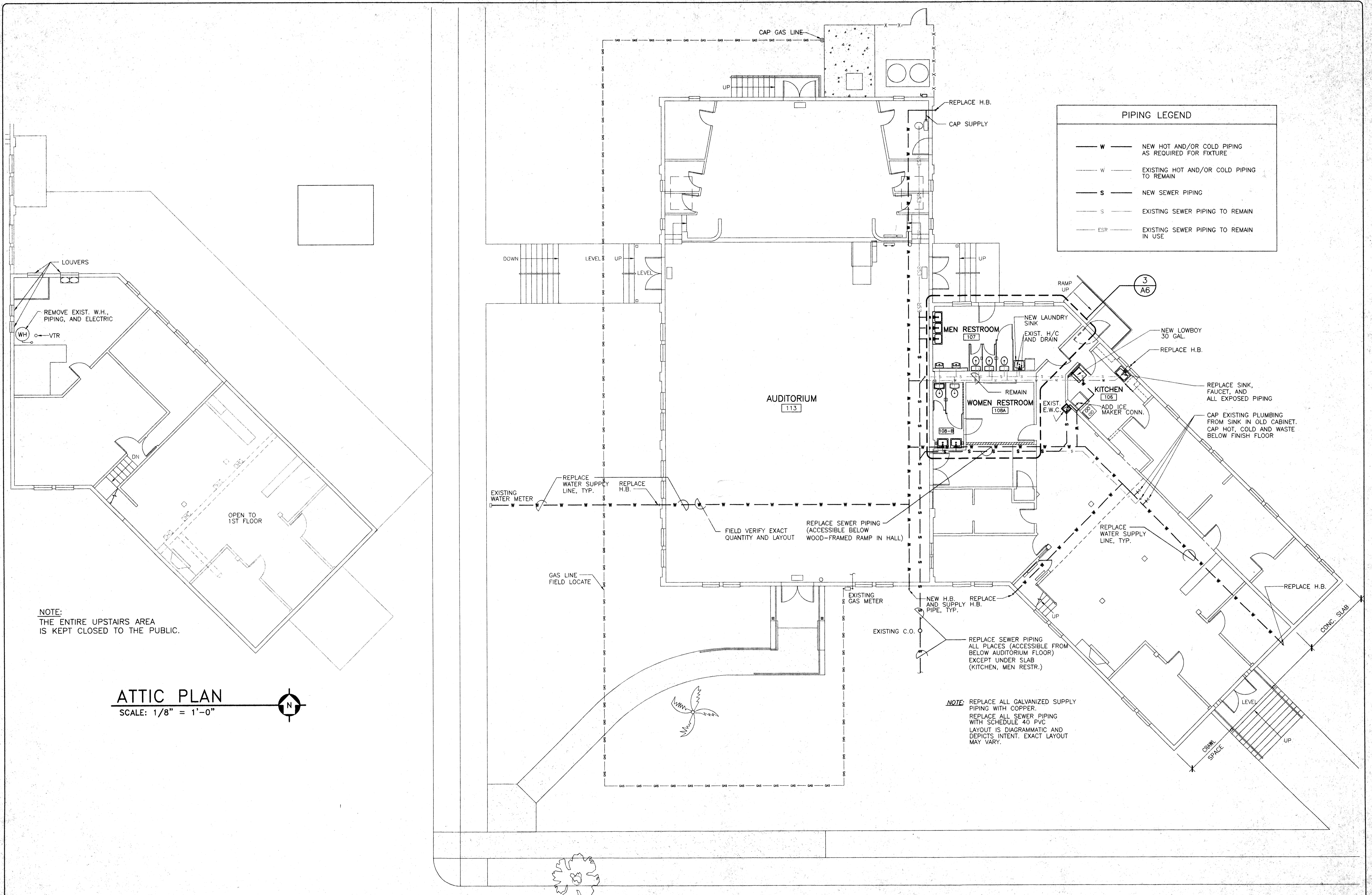
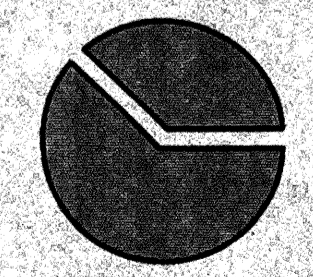

**BOLTIN CENTER REPAIRS AND MAINTENANCE**  
FOR  
CITY OF GAINESVILLE, FL  
TCS&A #31807

**SKINNER & ASSOCIATES, INC.**  
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M2 OF 2

02/23/96 09:49:03 P. STE 9583 MP01

REVISIONS:

PIPING LEGEND

— W —	NEW HOT AND/OR COLD PIPING AS REQUIRED FOR FIXTURE
— W —	EXISTING HOT AND/OR COLD PIPING TO REMAIN
— S —	NEW SEWER PIPING
— S —	EXISTING SEWER PIPING TO REMAIN
— ESR —	EXISTING SEWER PIPING TO REMAIN IN USE

ATTIC PLAN  
 SCALE: 1/8" = 1'-0"

PLUMBING SEWER, SUPPLY & UTILITIES PLAN  
 SCALE: 1/8" = 1'-0"

NOTE:  
 THE ENTIRE UPSTAIRS AREA  
 IS KEPT CLOSED TO THE PUBLIC.

NOTE: REPLACE ALL GALVANIZED SUPPLY PIPING WITH COPPER.  
 REPLACE ALL SEWER PIPING WITH SCHEDULE 40 PVC.  
 LAYOUT IS DIAGRAMMATIC AND DEPICTS INTENT. EXACT LAYOUT MAY VARY.

# A **V**ision for the Gainesville Cultural Center

Sarit Sela, City Architect

Russell Etling, Cultural Affairs Manager

Adapted from the January 10, 2019 and August 22, 2019  
presentations to the General Policy Committee



# 1. What is a Cultural Center?

... A location where there are many venues for the “arts“...

... An organization, building or complex that promotes culture and arts... can be neighborhood community arts organizations, private facilities, government-sponsored, or activist-run.

... The objective is to promote cultural values among the members of its community. Its structure is based on broad spaces where different cultural manifestations enrich and liven up the cultural life of the local population.

# 2. Previously Defined Community Goals

## PRCA 2020 Master Plan, 2012

- Become a cultural center for Florida
- Provide an array of cultural programs and facilities
- Develop an outdoor destination performing arts venue, with 5-10K capacity

## 352Arts Cultural Center, 2016

- “Central to our environmental, economic, and social well-being. ... more opportunities to create, participate in, learn from, and enjoy art, history and cultural expressions country-wide.”
- Priorities: Vitality. Creativity. Collaboration. Opportunity. Art. Education. Affordable. Destination. Branding & Marketing. Stewardship. Financial sustainability.

# 2. Previously Defined Community Goals

## 352Arts Roadmap. A Cultural Plan for the CoG & Alachua County, 2016

- Entertain, educate and inspire
- Attract artists and audience from the near and far
- Desired amenities: A Concert Hall (300-500 seat) ~ Local Art Exhibition Galleries ~ An Arts Education Complex ~ A Large-scale Multi-purpose Event Space ~ A Black Box Theater ~ An Amphitheatre and Sculpture Garden

## UF: Aligning Strategic Initiatives Through the Arts Report, 2017

UF Strategic Development Plan:

- The New American City: University ~ Downtown ~ Proximity: Concentrate Downtown Development; New Civic Spaces ~ Connect Downtown & Campus

Points of resonance across all UF & CoG plans:

- Community Livability & Vitality: economically and creatively // Historic Preservation & Reuse // Reputation: be a cultural destination // Environment: aesthetics of natural and built environment // Authentic experiences

# 3. Case Studies:

Different Localities, Different Approaches

- Savannah, GA
- Tampa, FL
- Palo Alto, CA



# Savannah, GA:

## Revival through the Arts

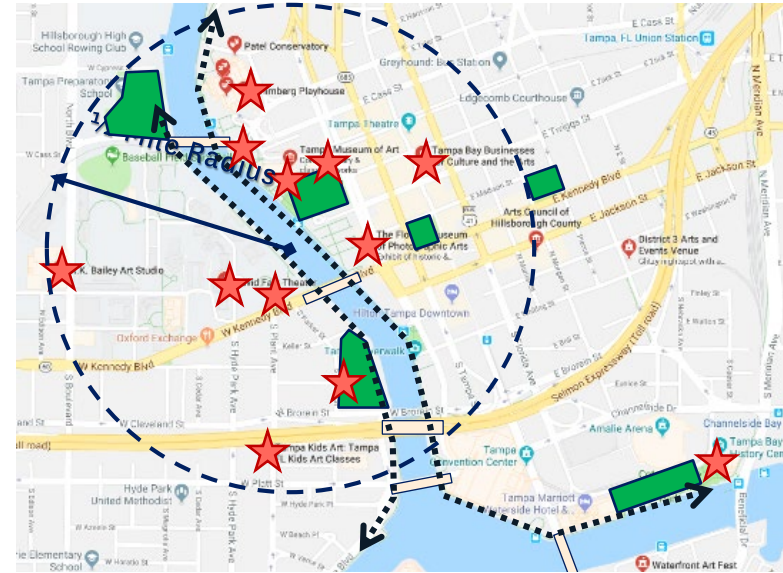
- Multiple amenities concentrated in Savannah's Historic District, a well-connected network of public spaces
- Significant reuse of historic buildings, with some new facilities and additions
- Savannah College of Art & Design (SCAD) major involvement in ownership and programming
- Walkable (~1 mile square)
- **Strong Urban Form ~ Walkable ~ Historic & New ~ High-Education Led**



# Tampa, FL:

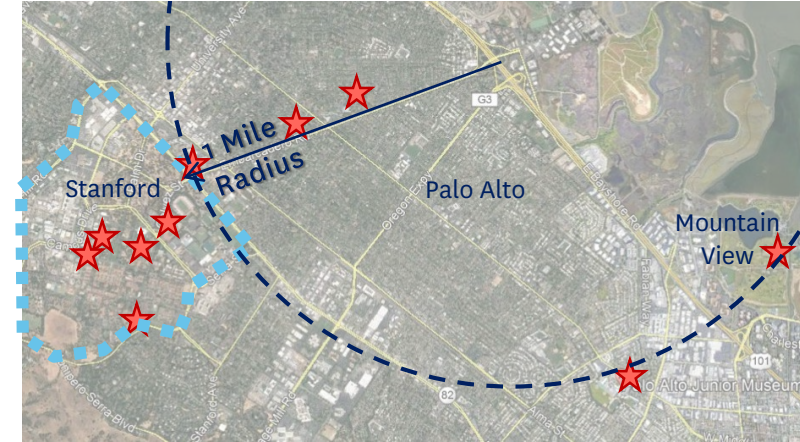
## The Riverwalk Spine

- Walkable Spine ~ The Riverwalk: Amenities located along a historically industrial river
- Facility Variety: historic ~ new ~ indoor ~ outdoor; Catering to all ages
- Satellite centers celebrate cultural diversity
- Mixed ownerships: City, County, Universities, Private, NGO's
- **Strong Urban Feature ~ Walkable ~ Historic & New ~ Core & Satellites ~ Mixed Ownerships ~ Diversity**



# Palo Alto, CA: A Regional Network

- Complementary cultural amenities in University & City:
  - Stanford Campus: multi-venue Performing Art District, and, Center for Visual Arts
  - In Palo Alto: Community art galleries & recreation centers; Junior Museum & Zoo; Children's Theater
- Complementary amenities in nearby cities; Regional artist groups.
- **Regional network ~ University & City ~ Historic & New ~ Bike or Ride**



Approximate Stanford University Campus Area

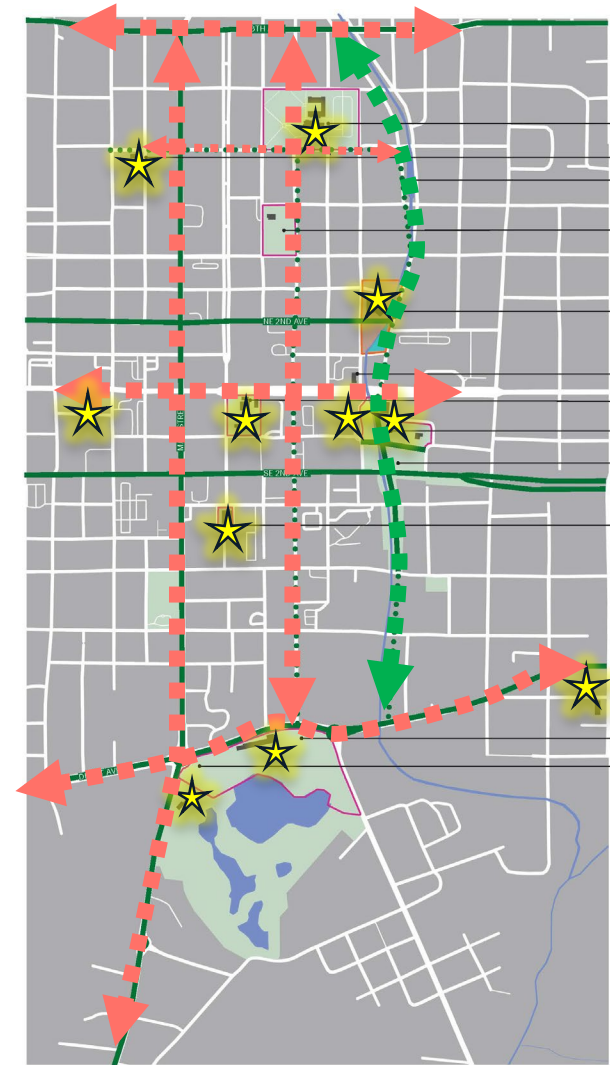


# 4. Gainesville's Offering Inventory:

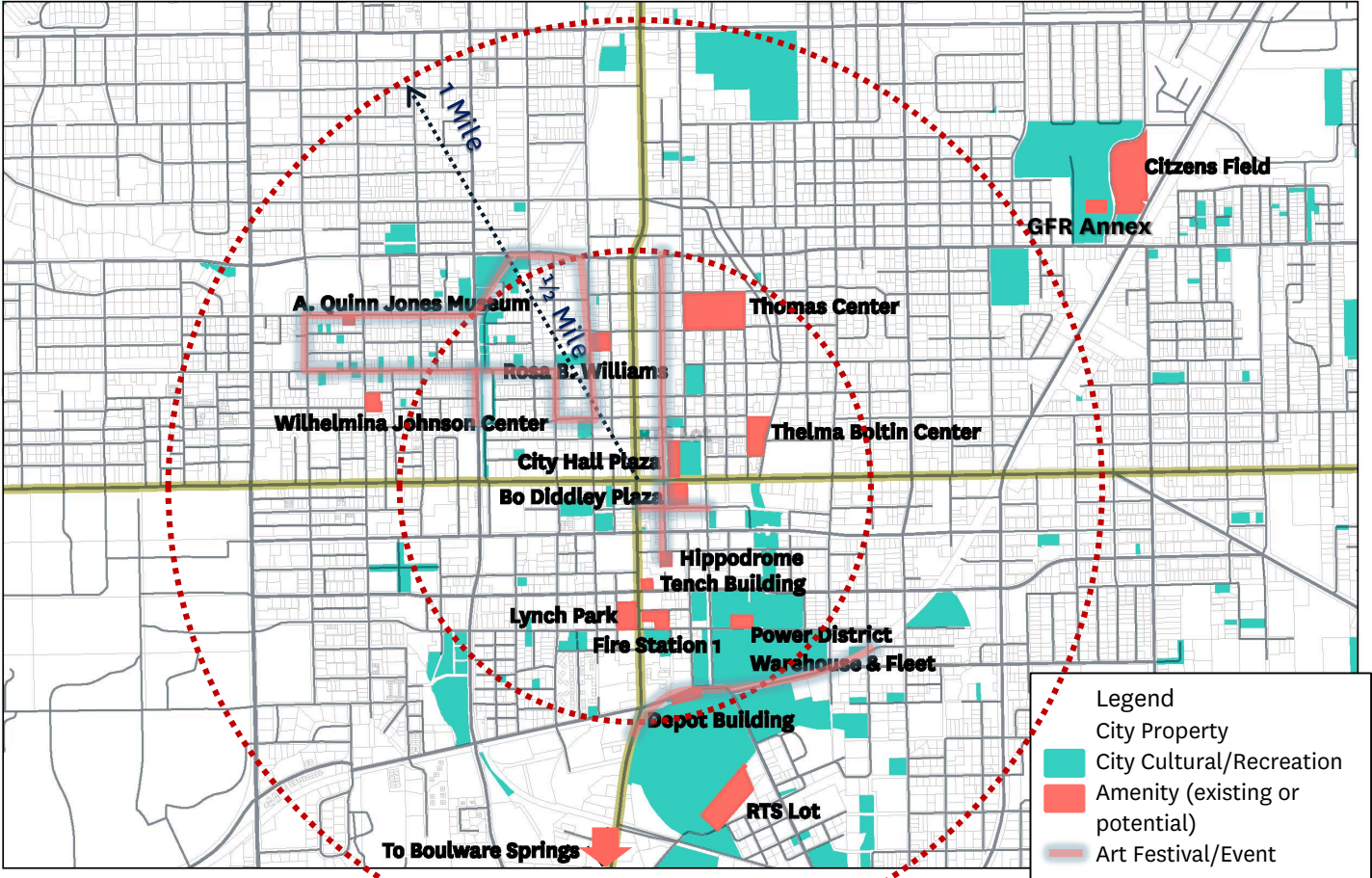
In Geographic Context\*

- The User Experience
- What
- Where
- By Whom

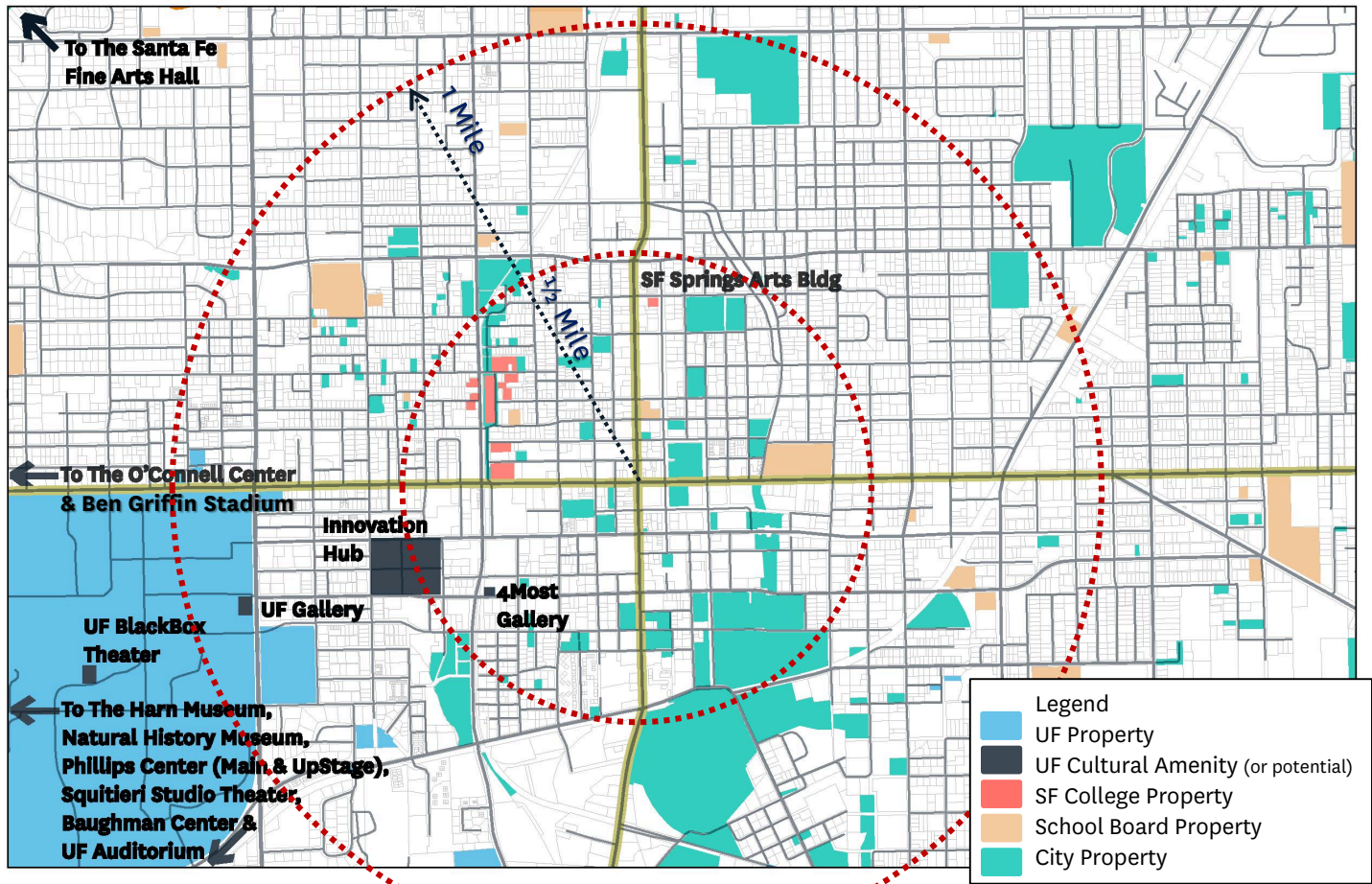
\* 1 mile radius of the University Ave & Main St intersection



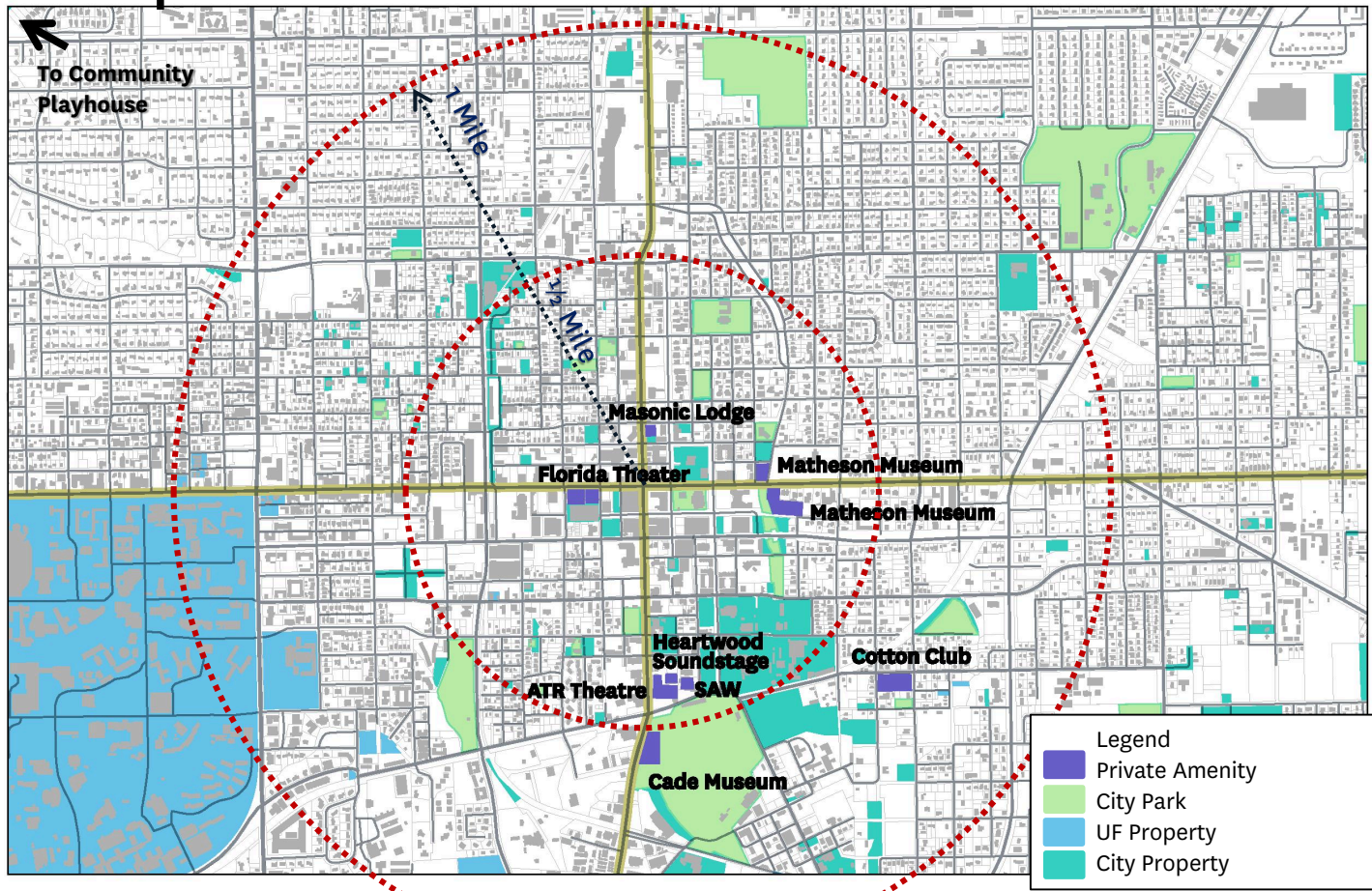
# City Owned: Existing + Potential Cultural Amenities + Festivals



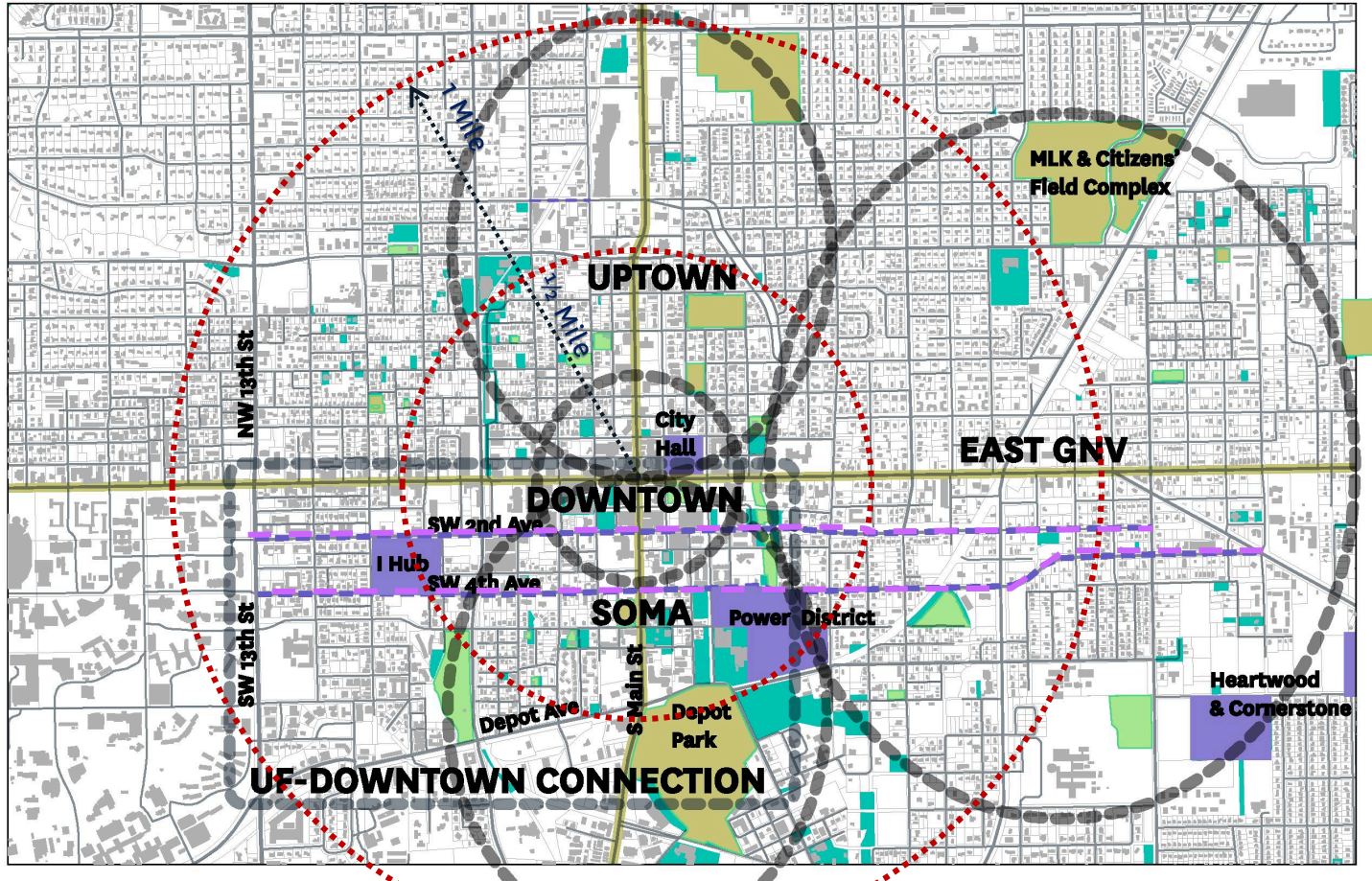
# University of Florida, Santa Fe College & Alachua County: Existing Cultural Amenities



# Privately Owned Cultural Amenities + Properties of Interest

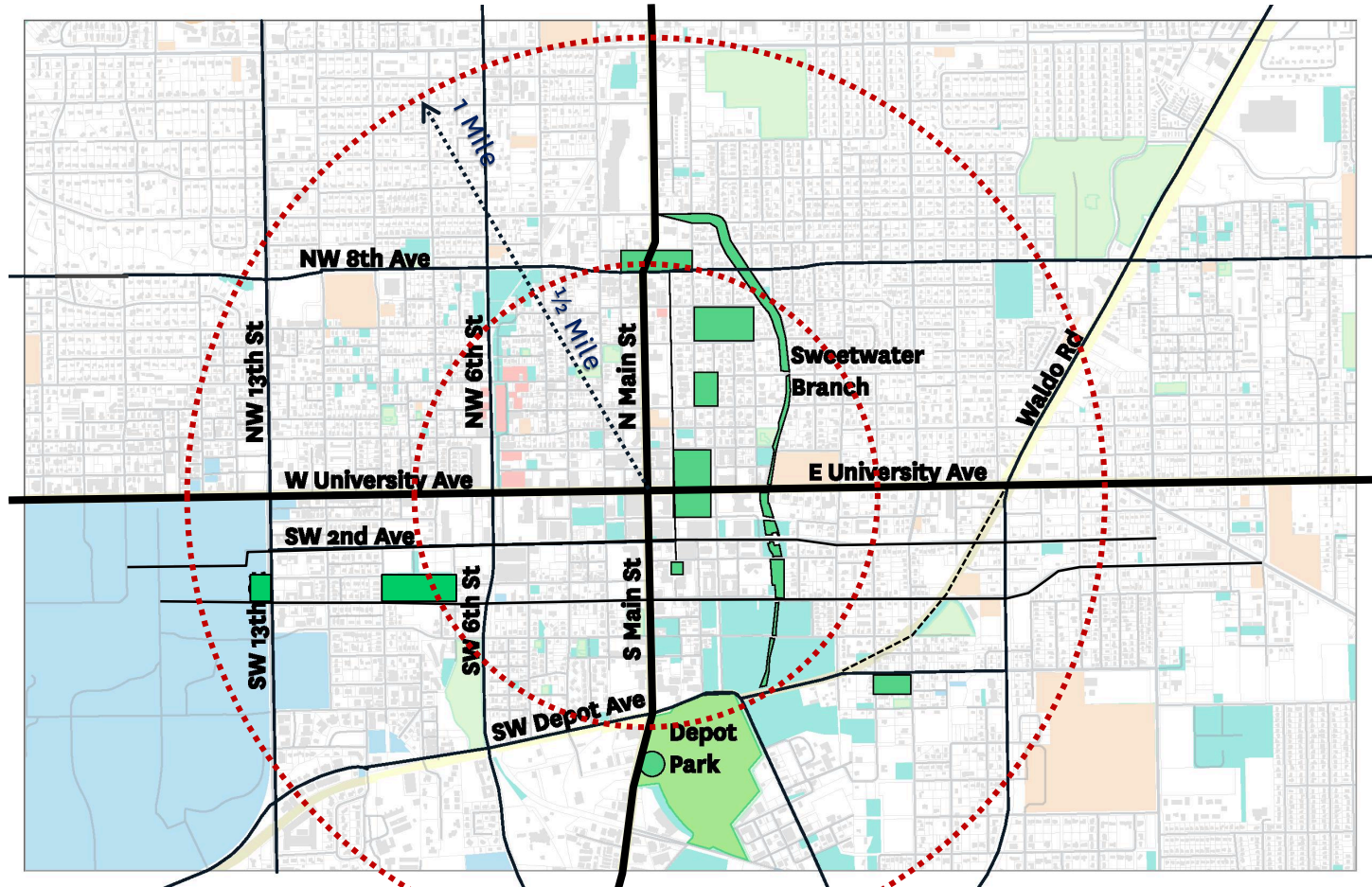


# Ongoing Initiatives & WSPP Efforts

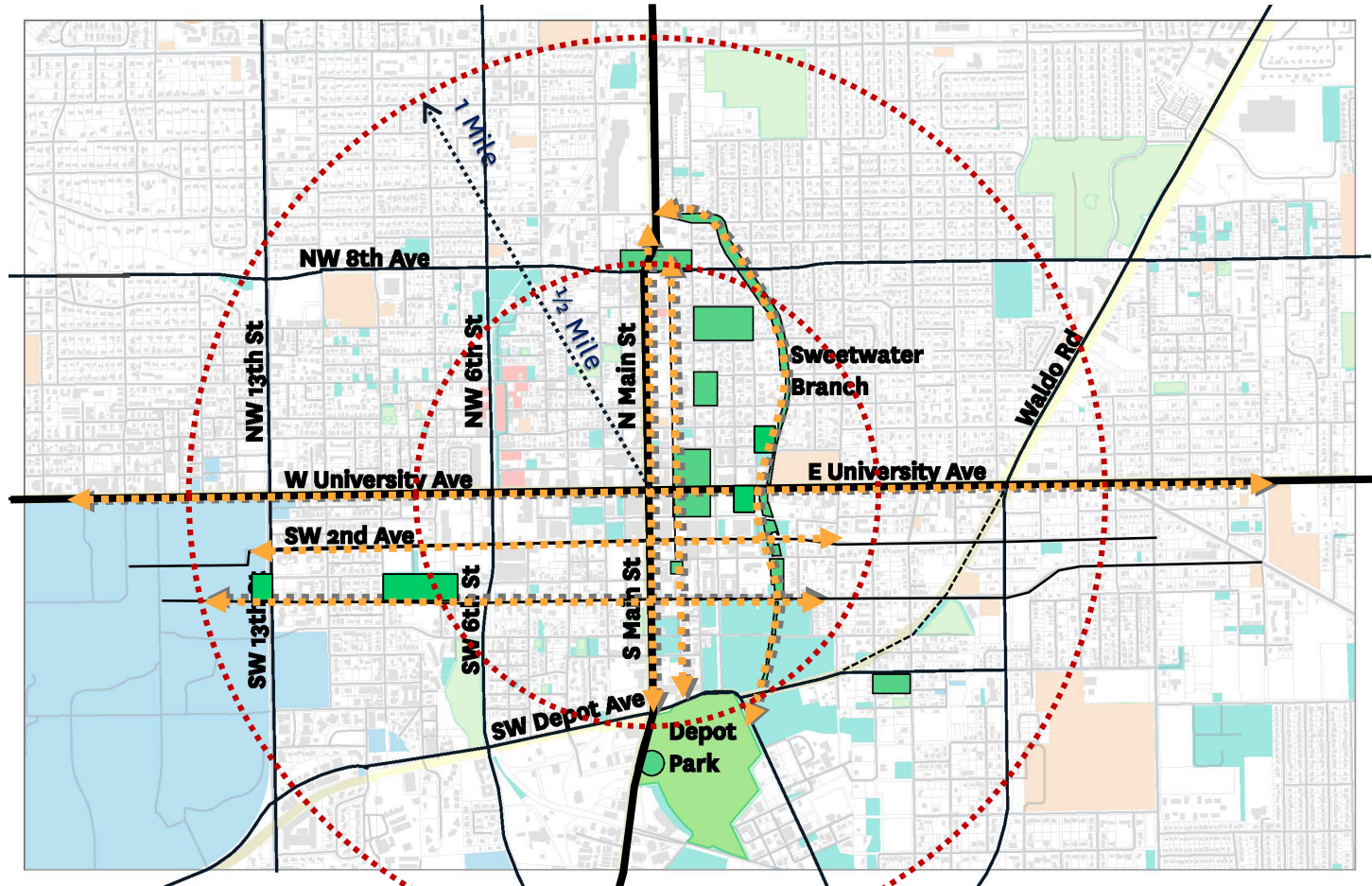




# Urban Form: The Network Skeleton

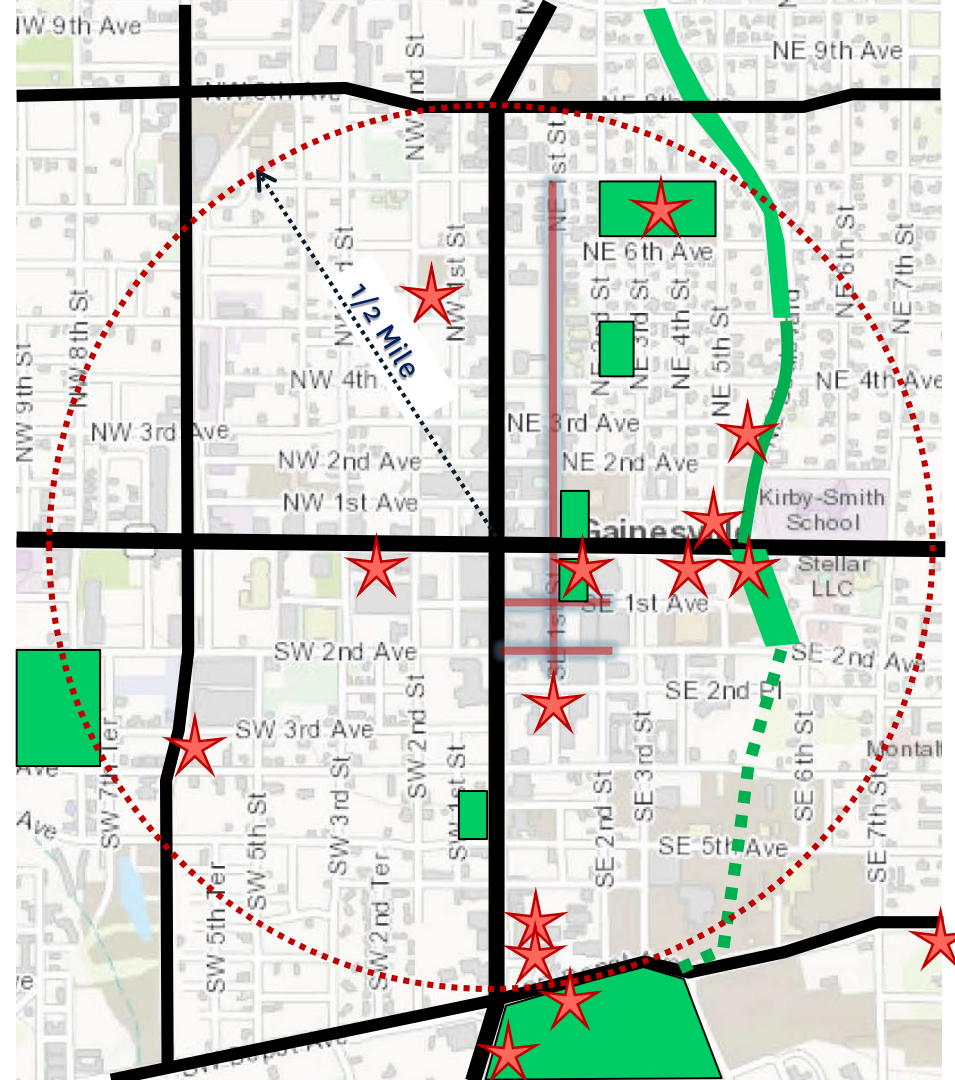


# Urban Form: The Network Skeleton



# Putting it together: A Walkable Cultural Network in Gainesville Urban Core

- The Historic Thomas Center
- Rosa B Williams Center
- Thlema Boltin Center
- Matheson Museum + Archives
- Alachua County Library District HQ
- Bo Diddley Plaza
- The Hippodrome
- The Cotton Club
- The Old Florida Theater
- The Cotton Club
- The Cade Museum
- UF 4Most Gallery
- Heartwood Stage
- Acrosstown Repertory Theater
- Sequential Artists Workshop
- Downtown art galleries & creative businesses
- Spring & Fall Art Festivals
- Thomas Center Gardens
- Roper Park
- Hasley Lynch Park
- Depot Park & Building
- Sweetwater Park
- Sweetwater Branch / Duckpond
- Innovation Hub



# A Network

The experience of getting from one place to the other: Maximizing the impact of the Cultural District by **Connectivity**

## WSPP Pyramid



**SAFETY** accessible, continuous sidewalks; street lights; pedestrian crossings

+

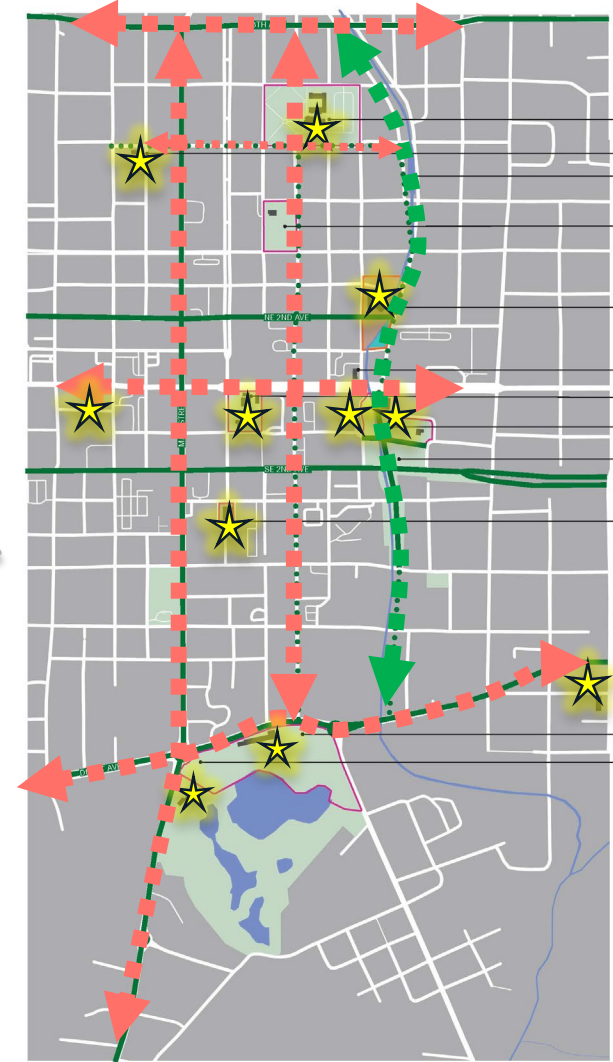
**COMFORT** wayfinding, seating, shade, bike racks

+

**JOY** Sweetwater walk, public art, inspiring urban design

=

**OURS** A well-connected, vibrant, cultural network!



# 5. Proposed Strategy Principles

## A. Shop In Your Closet First

- Shine Up Hidden Gems, reuse & unleash potential!
- Asset Based Community Development (ABCD)
- Sustainable use of Resources => Maximize existing assets => Save \$\$\$ + Strengthen weak links



# 5. Proposed Strategy Principles

## B. A Network Approach:

- Old + New + Partnership + The Unexpected
- A Well-Connected Public Realm & Amenity Network

*Something Old*  
—Something **New**—  
*Something Borrowed*  
{{Something **Blue**}}

# 5. Proposed Strategy Principles

## C. The Multiplier Effect

- Strengthen Urban Form &  
Invest in Ongoing Initiatives



# 5. Proposed Strategy Principles

## D. Collaboration:

A seamless User Experience

- Look beyond the “mine” to create a rich cultural & urban experience
- Collaborate internally, locally & regionally





# 5. Proposed Strategy Principles

## E. Matchmaking

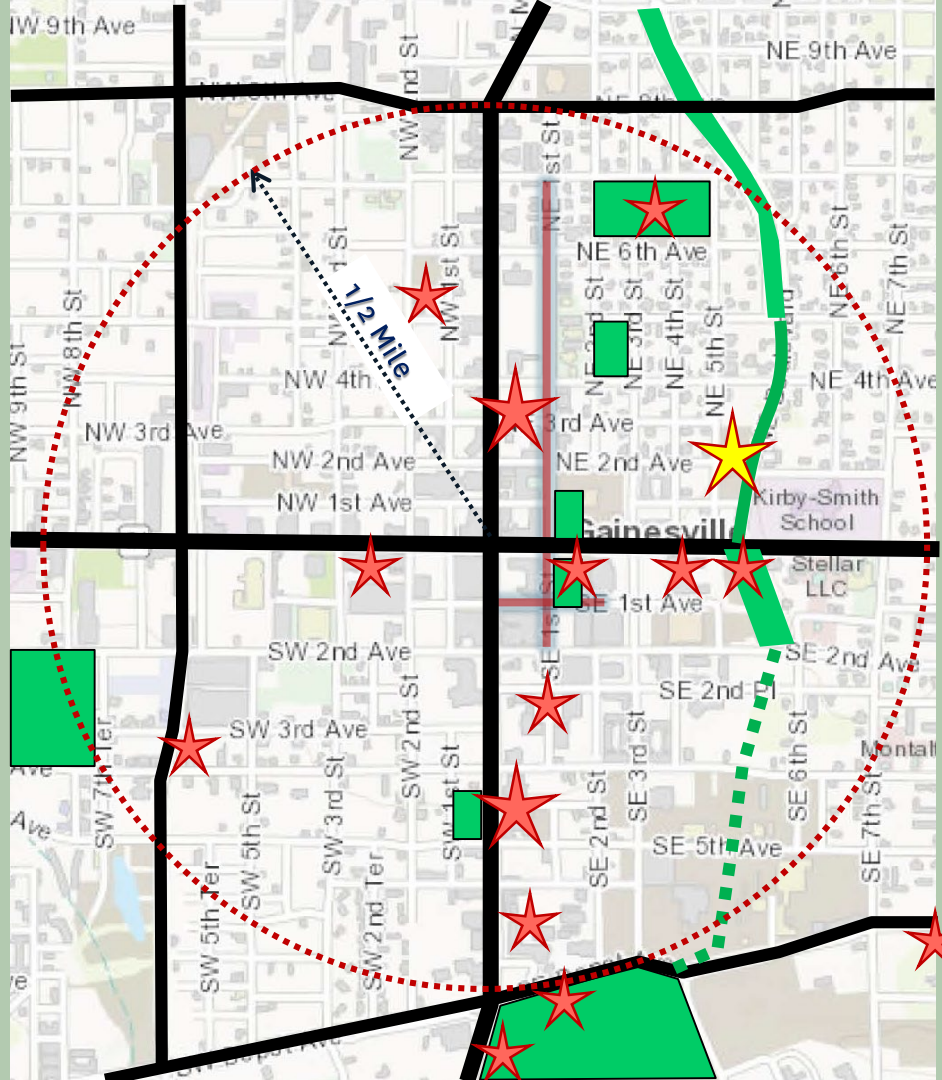
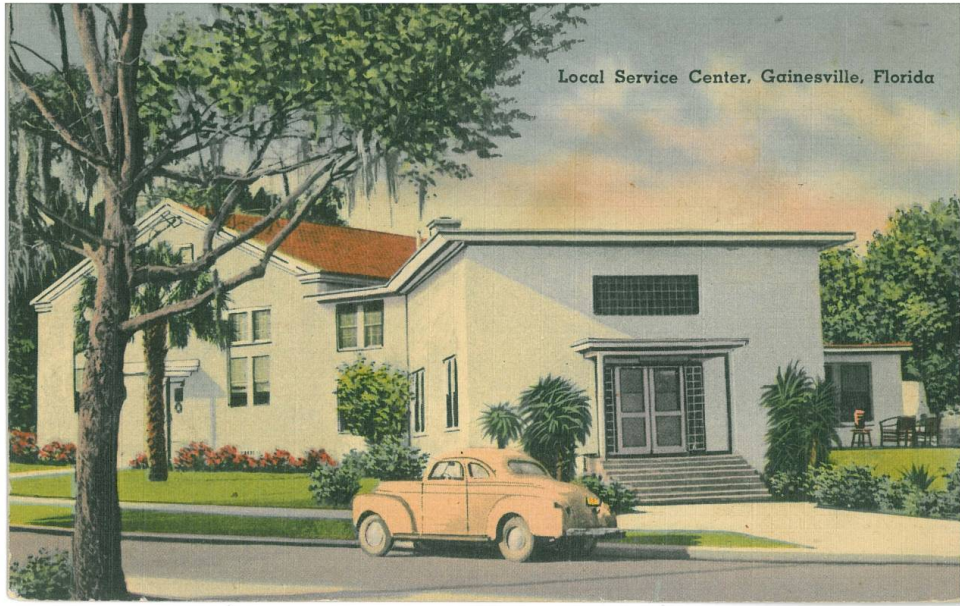
- Program: Identify Specific Cultural Needs
  - Resources: Identify Resources & Spaces
  - Match: Find The Perfect Fit.
- 
- A holistic strategy
  - To be implemented incrementally
  - Laying the foundation for future growth



The 2019 Vision for GNV Cultural Center is the physical manifestation of the core strategic priorities as defined by the community in the 2016 352ArtsRoadmap:

- “Central to our environmental, economic, and social well-being. ... more opportunities to create, participate in, learn from, and enjoy art, history and cultural expressions country-wide.”
- Priorities: Vitality. Creativity. Collaboration. Opportunity. Art. Education. Affordable. Destination. Branding & Marketing. Stewardship. Financial sustainability.

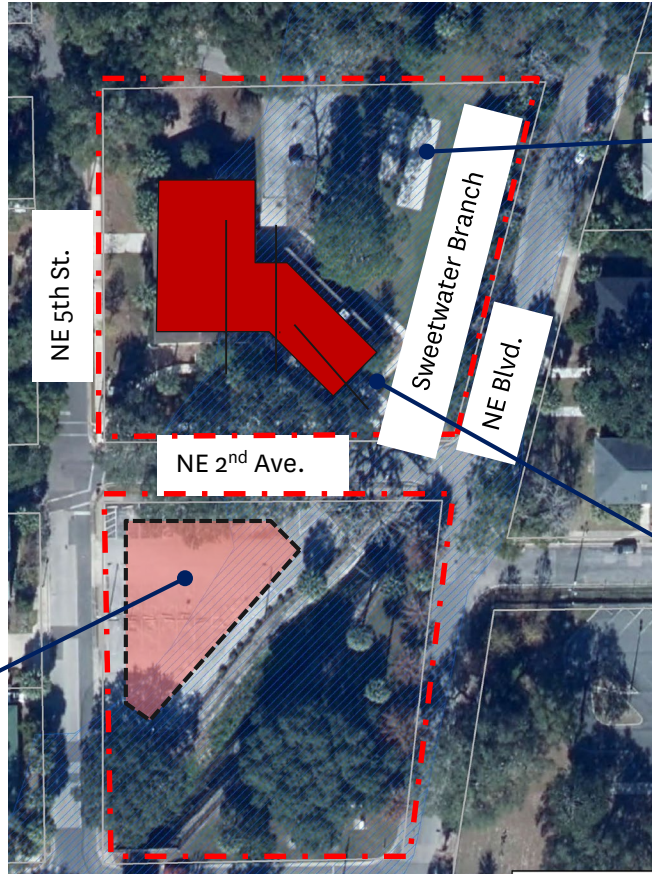
# 6. Specific Opportunity for a Cultural Center enhancement: Thelma Boltin Center



# Thelma Boltin Center

## Context

- Location: Historic NE Neighborhood, near the Thomas Center, Matheson Museum, E University Ave, Sweetwater Branch & Downtown
- Site: 2-acres, including building, backyard, parking lot & a Sweetwater Branch section
- Use: City recreation facility



# Thelma Boltin Center History



Servicemen write letters home.



Thelma Boltin



# Thelma Boltin Center

Continuous  
Community Use

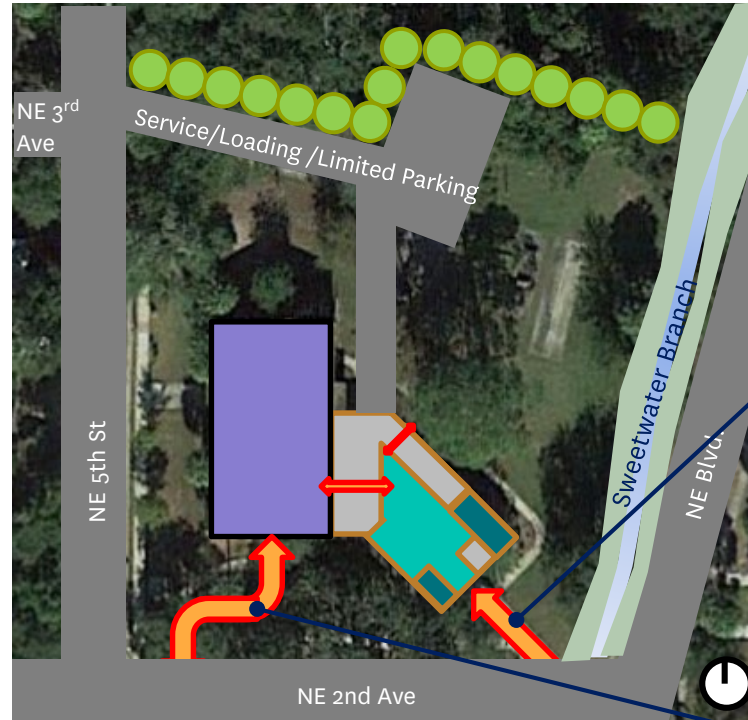


# Theлма Boltin Center



## Why Renovate?

- Existing historic community asset with great potential
- Outdated building systems & deferred maintenance (plumbing, AC, electric, roof). Bring up to current code
- Maximize community use & revenue by a more efficient space layout and upgraded facilities
- Highlight the Sweetwater Branch as an on-site amenity, for outdoor programming



Existing Conditions. 1st Fl. Diagram



SE Entrance



SW Entrance

# Theлма Boltin Center

	Multi-Purpose Activity Room		Office/Front Desk
	Lobby/Circulation		Usable Backyard
	Building/Site Services		Main Access

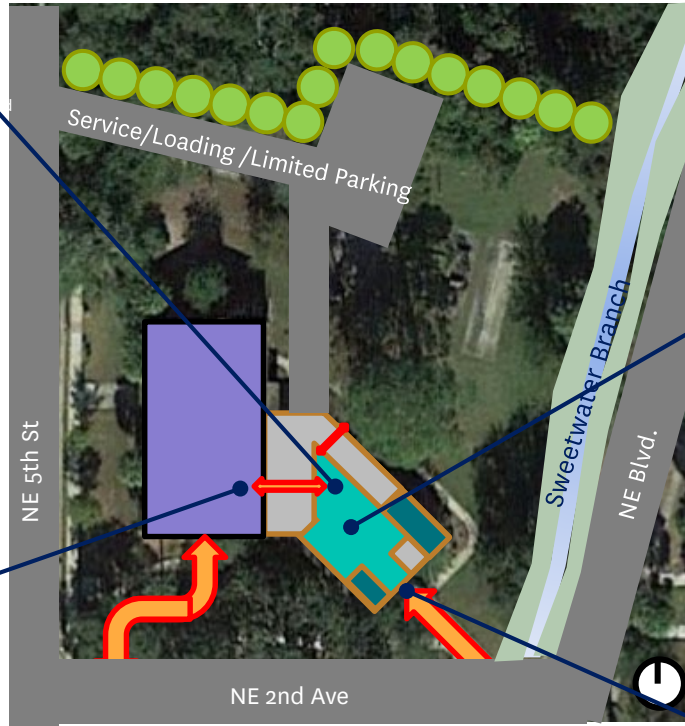


View from Lobby to Main Hall



View from Main Hall to Lobby

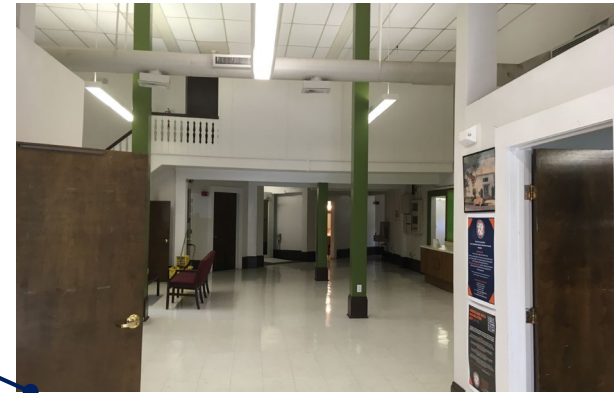
## Why Renovate?



Existing Conditions. 1st Floor Diagram



View of Lobby, from the SE entry



View of Lobby, looking at the SE entry area



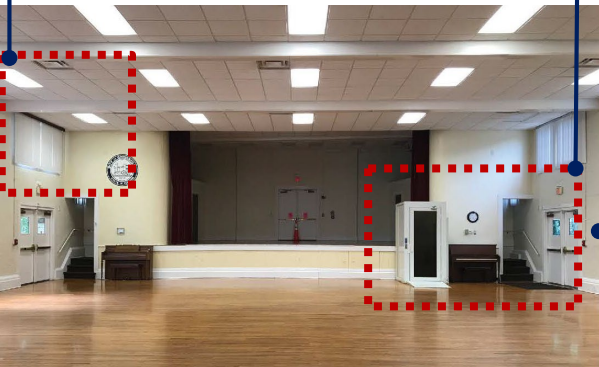
# Thelma Boltin Center



## Why Renovate?



Existing building finishes & ADA access to stage



Existing Multi-Purpose Hall



Existing Conditions. 1st Floor Diagram



View off the backyard



View from Lobby to the backyard

# Thelma Boltin Center

## Base Option

Opinion of Cost: \$1,000,000

- Fix, replace, upgrade, or add building systems to maintain safe and durable building operation. Scope includes HVAC, plumbing, fire sprinklers, electric, and ADA.
- The roof is scheduled for repair/ replacement by Facilities in FY-2021 (CIP).
- NO changes to existing building layout; NO space additions.



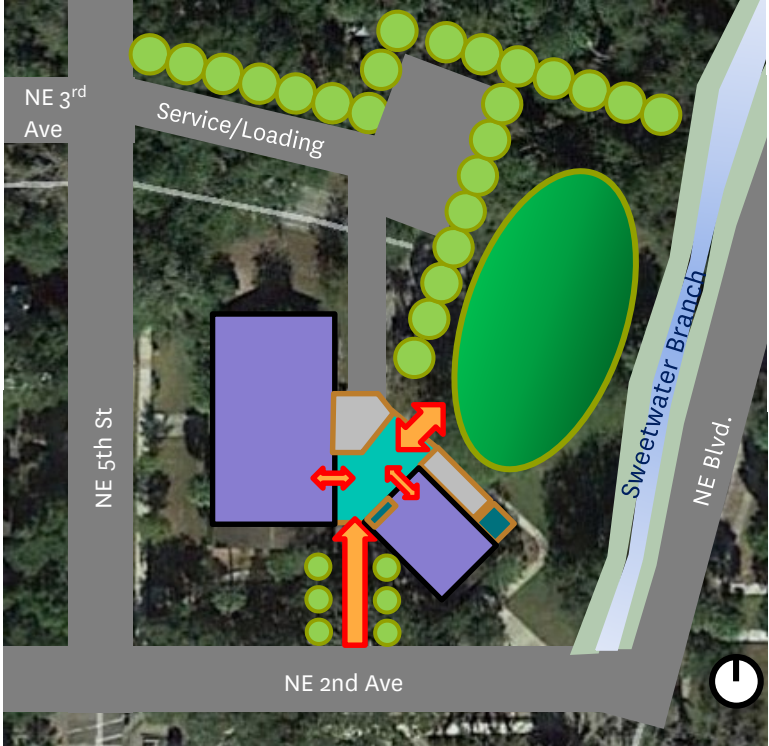
# Theлма Boltin Center

 Multi-Purpose Activity Room	 Office/Front Desk
 Lobby/Circulation	 Usable Backyard
 Building/Site Services	 Main Access

Opinion of Cost: \$2,000,000

## Option I: Renovation in Existing Footprint

- Updated building systems, code compliance, ADA, and interior design
- From a single activity hall to two updated multi-purpose halls, and a well-defined lobby
- Clear building orientation and front door
- Restoration of historic character-defining components
- Site improvements to activate backyard



Proposed Renovation Option I: 1<sup>st</sup> Floor Diagram

# Thelma Boltin Center

Renovation principles: Front Door, Circulation, and Space Efficiency









Existing facility entrances

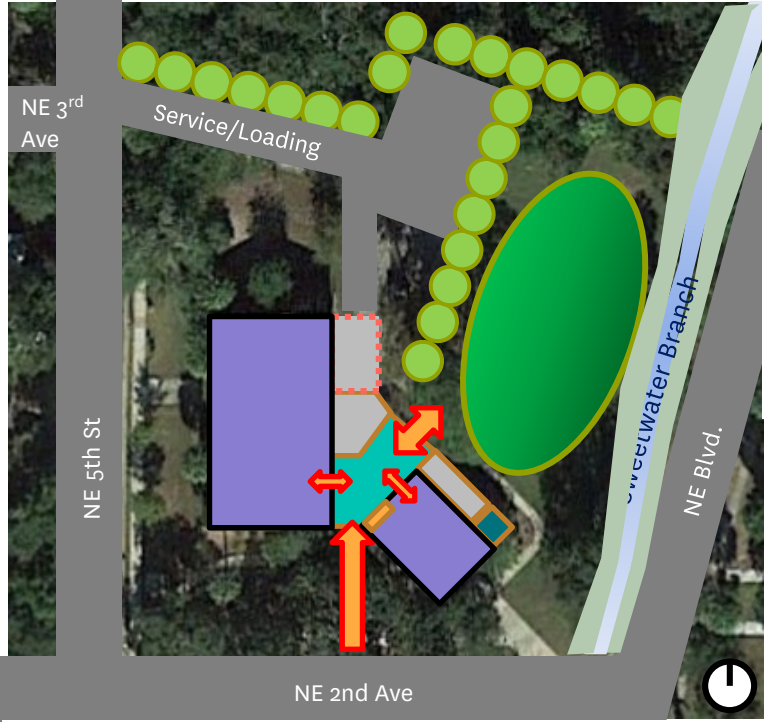
View of new Central Entrance (from NE 2<sup>nd</sup> Ave) (artist rendering by Walker Architects)

# Thelma Boltin Center

## Option II: Renovation & Minor Addition

	Multi-Purpose Activity Room		Office/Front Desk
	Lobby/Circulation		Usable Backyard
	Building/Site Services		Main Access

Opinion of Cost: \$2,250,000



Proposed Renovation Option II: 1<sup>st</sup> Floor Diagram







- Same as Option I scope, plus:
- 865 SF building addition to house Green Room, Performer Restroom, Office, Storage



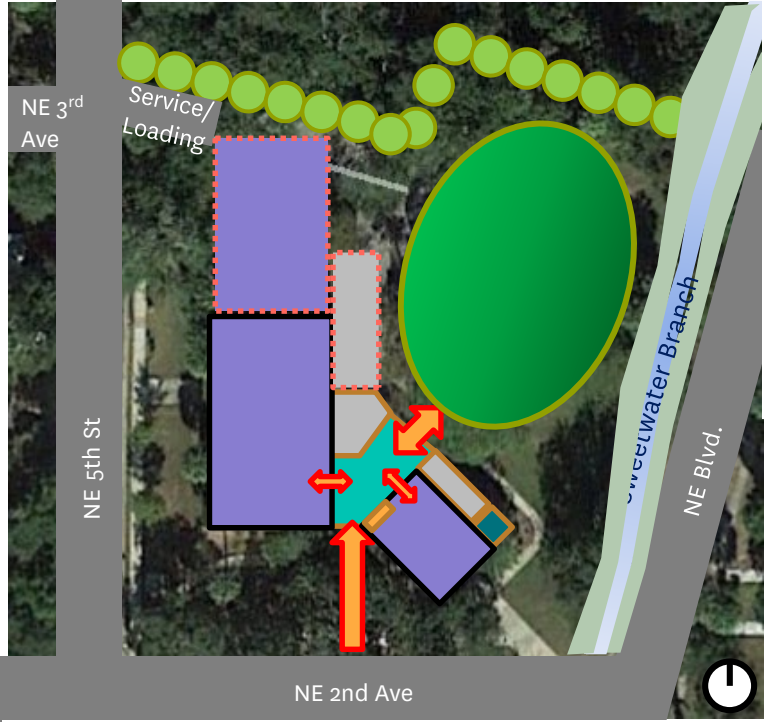
View of Lobby (artist rendering by Walker Architects)

# Theлма Boltin Center

## Option III: Renovation & Major Addition

 Multi-Purpose Activity Room	 Office/Front Desk
 Lobby/Circulation	 Usable Backyard
 Building/Site Services	 Main Access

Opinion of Cost: \$3,700,000



Proposed Renovation Option III: 1<sup>st</sup> Floor Diagram

- Same as Option II scope, plus:
- 8,520 SF building addition to house multiple new activity rooms, building services, administration office space

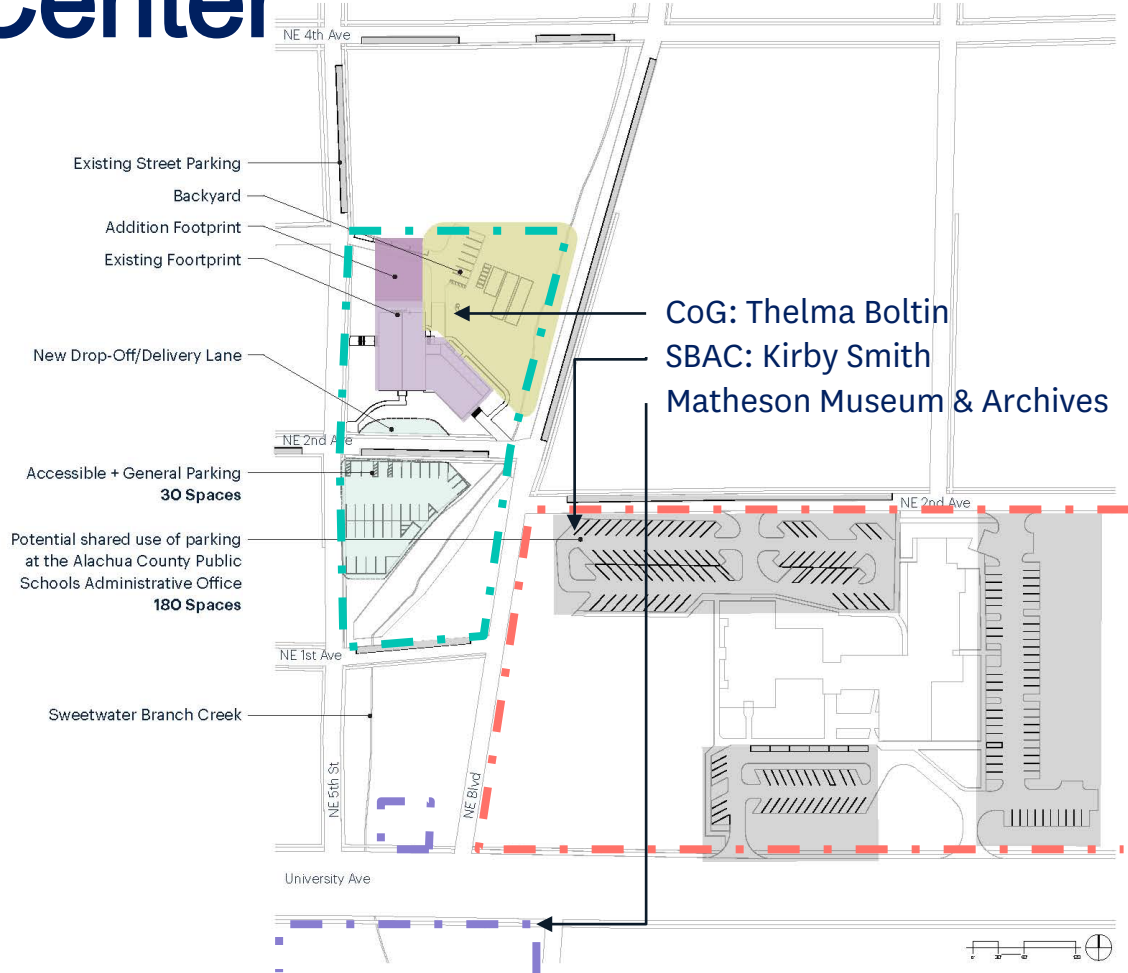


View from backyard (artist rendering by Walker Architects)

# Thelma Boltin Center

## Program, Operations & Maintenance

- Currently the Thelma A. Boltin Center is managed by the Recreation Division of the Parks, Recreation and Cultural Affairs Department.
- Moving forward, with the Boltin Center's enhancement as a cultural center, PRCA would pursue centralizing its management under the Cultural Affairs Division.
- Parking Analysis: City lot, on-street parking, potential share used agreement w/ SBAC



# Renovation Options Summary

Base Option: Building Systems Upgrades & Code Updates (no layout changes)	\$ 1,000,000
Option I: Renovation in Existing Footprint (Base Option + revised layout to activate 2 spaces)	\$ 2,000,000
Option II: Renovation with Minor Addition (Option I + additional support spaces)	\$ 2,250,000
Option III: Renovation with Major Addition (Option II + additional activity spaces)	\$ 3,700,000

On August 22, 2019, the General Policy Committee directed City Staff to negotiate design and engineering services for the development of construction documents for the Option II renovation scope above.



THE CITY OF GAINESVILLE'S **WILD SPACES & PUBLIC PLACES**

# THELMA BOLTIN CENTER

Master Plan and Feasibility Study



Prepared by  
**Walker Architects, Inc.**  
for  
Sarit Sela, City Architect  
Wild Spaces & Public Places  
City of Gainesville  
Thelma Boltin Master Plan and  
Feasibility Study

24 June 2019  
walker-arch.com



**Gainesville.**  
**Citizen centered**  
**People empowered**

**COMMUNITY**  
 local  
 sustainability  
 retreat  
 vernacular  
 arrival  
 unity  
 neighborhood

context  
**CULTURE**  
 flexibility  
 friendly  
 active  
 site history  
 accessible

**PRESENCE**

**HERITAGE**

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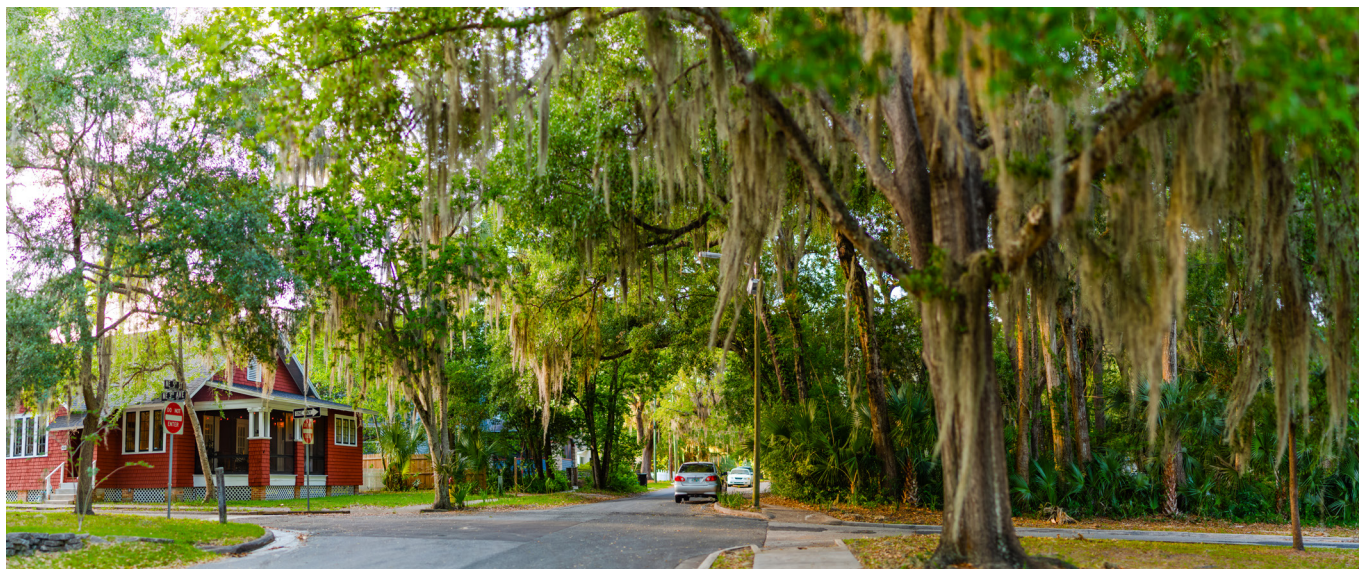
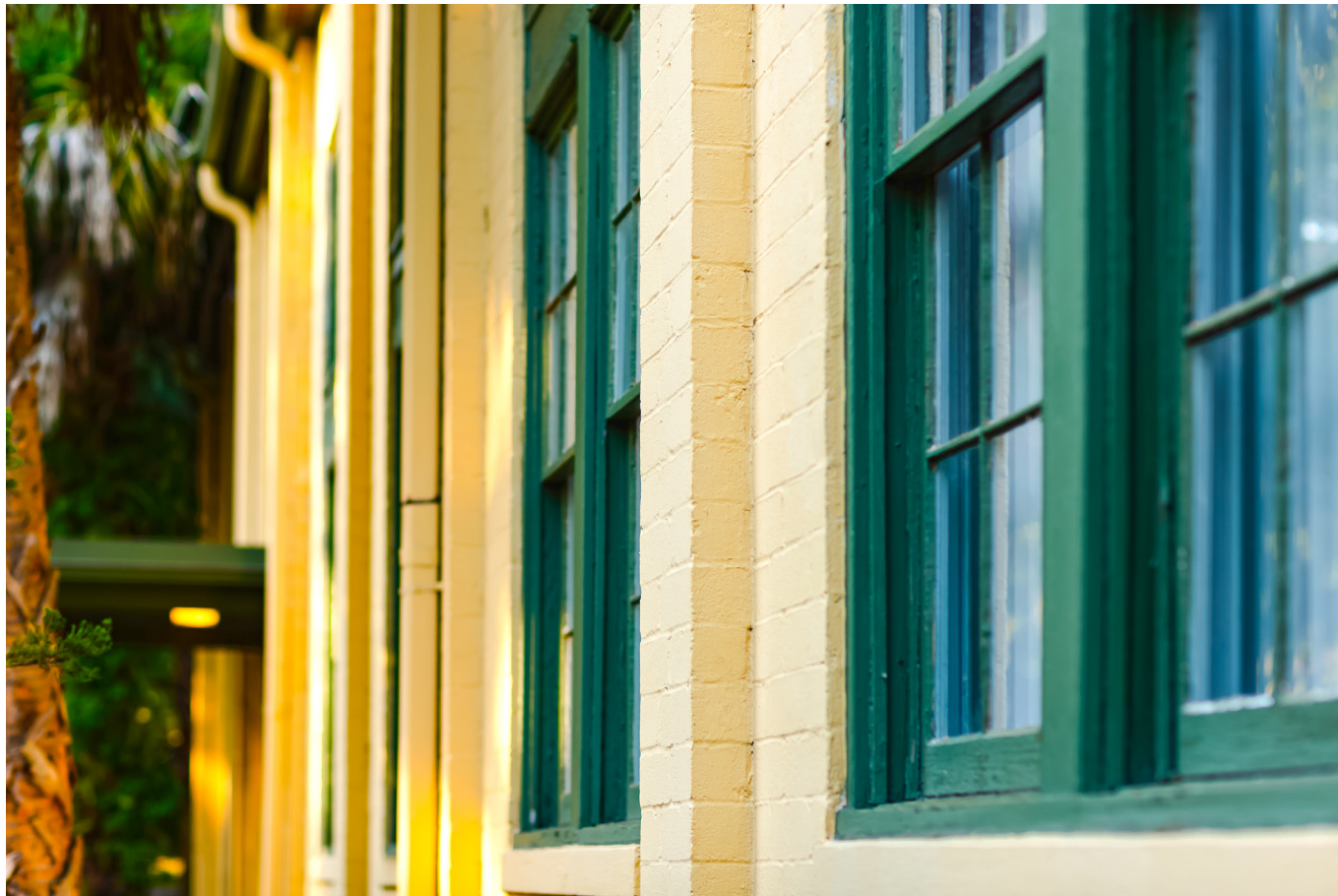
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**Introduction**



# Introduction



**T**HE THELMA BOLTIN CENTER is an active City of Gainesville Parks, Recreations and Culture Affairs recreation amenity. It is a historic building located on a 2-acre site in the Gainesville Northeast Historic District at 516 NE 2<sup>nd</sup> Ave. Originally built in 1942 to serve as a USO for service men & women from bases around Gainesville, the City later converted the building into a multipurpose facility. The Center now serves a wide variety of events, including dance groups, music recitals, concerts, family and social events, and political swearing-in ceremonies.

The primary goals of the Thelma Boltin Concept Study are to investigate the feasibility of revitalizing the facility, maximize on-site activity, usable space, and improve the overall visitor experience in this facility. Proposed improvements range from general building upgrades to creating the City's preeminent cultural center, via Existing Conditions Analysis and Conceptual Design Alternatives.

These goals are the direct result of discussions with City of Gainesville representatives during February-April 2019.

1. **IDENTITY** - Express the unique identity of Gainesville's cultural core, historic heritage, and natural attributes. The project should support and enhance the culture and missions of the City of Gainesville cultural district. The project's vision considers the needs of a variety of potential user groups.
2. **OUTREACH** - Provide a welcoming platform for collaboration and outreach among the Gainesville community and easy access to all.
3. **A GOOD NEIGHBOR** - Acknowledge and address the cultural and natural features inherent to the vicinity and ensure that the spirit of the site is preserved and enhanced. This project will be a positive impact on its neighbors with the following goals:
  - Provide appropriate architectural character and scale which respects Historic District, adjacent residences and amenities.
  - Serve as an anchor to the City of Gainesville Cultural District, and a bridge from the Thomas Center to Downtown and nearby cultural amenities.

## A Successful Project:

- Is flexible, shared with multiple city groups, connected with the community.
- Employs forward-thinking design strategies in providing an improved and more accessible community space.
- Maintains and celebrates historic context of the City of Gainesville and the core vision and mission for the facility at the Thelma Boltin center.

## Study Goals:

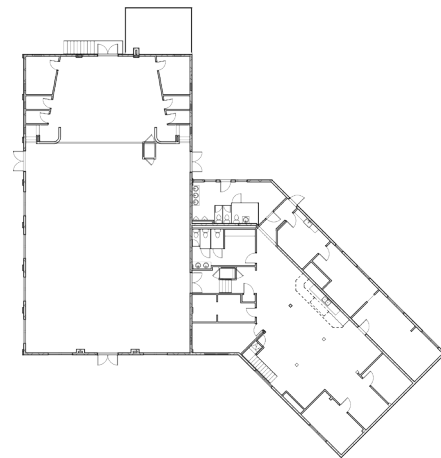
- Establish the Thelma Boltin Center as an anchor to the City of Gainesville Cultural District
- Site design that creates functional exterior spaces, clear and accessible entry into the facility, and good connectivity to the neighborhood
- For the building itself:
  - Explore ways to optimize space use and efficiency within the building
  - Provide an achievable plan for expansion
  - Infrastructure and code upgrades, including mechanical building systems, accessibility, acoustics, and lighting

**Analysis**

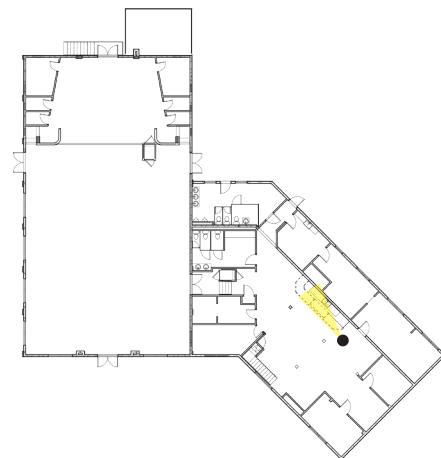




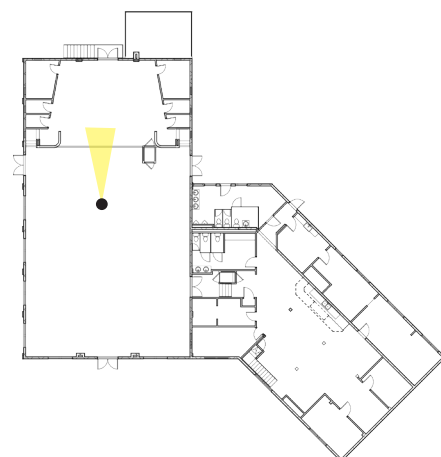
Servicemen write letters home.



Servicemen visit the snack bar.



Thelma A. Boltin, "Cousin Thelma"



# Analysis

## Historic Information

The Gainesville Servicemen's Center opened in July 1943. The original building program included a ballroom, stage, dressing rooms, second floor reading room, three showers, three telephone booths for long-distance calling, a coat check room, a 20-foot-long snack bar, and a kitchen with a ten-burner stove.

The city provided furnishings such as the mantle mirror and recreational equipment including ping pong and snooker tables. The city paved NE 2nd Avenue, and local Garden Club supplied and installed plants.

After the war, the Servicemen's Center continued to serve the community with events and activities. The 1946 "teen club" at the Center was a popular event which continued through the 1960s. Tom Petty was among the guests that attended Friday night dances in the space, the live music acts of which included Stephen Stills, Don Felder, and Bernie Leadon.

Thelma Boltin was the director of the center upon its opening, organizing events in the space seven days a week. Outdoor activities included shuffleboard, badminton, and barbeques.

Boltin, a 1928 graduate of Emerson College, also directed plays at Gainesville High School and was a founder and director at the Gainesville Little Theater (now the Community Playhouse). She is known for her avid involvement in Florida folklore preservation, assisting, emceeing, and storytelling in folklife festivals all over central Florida throughout her life.

*Pages 10-15 feature historic photos taken at the Thelma Boltin facility and the Florida Folk Festival, dated 1942-1960. Information and historic photos sourced from the Matheson History Museum collection and Florida State Archives.*



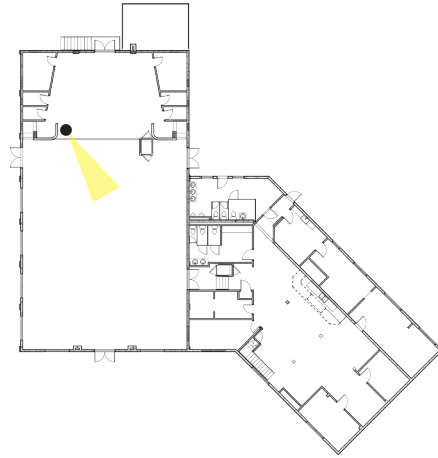
Thelma Boltin



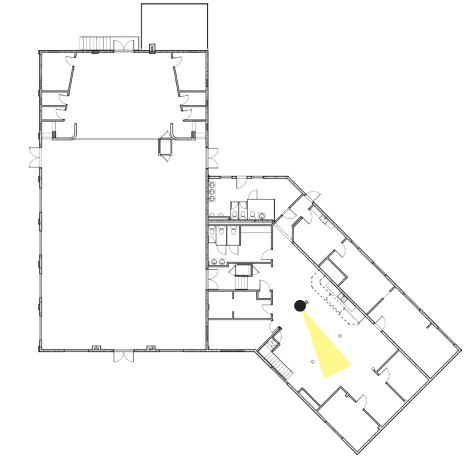
Beauty pageant competitors.



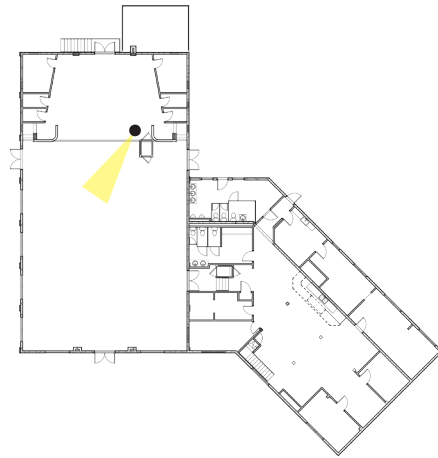
View from the stage during a dance. Existing wood beams visible above height of currently-installed acoustic tiles.



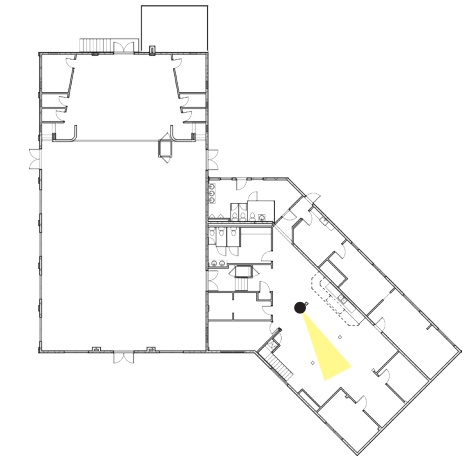
Servicemen and women gathered near east building entrance.



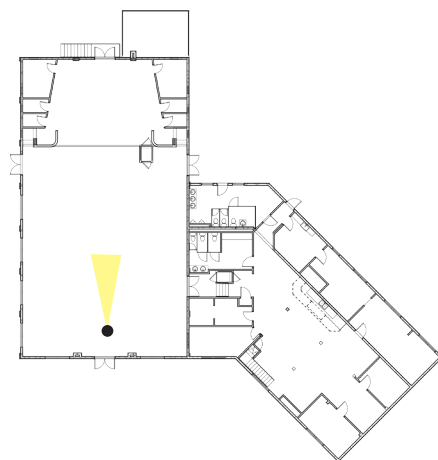
Servicemen gathered around a snooker table.



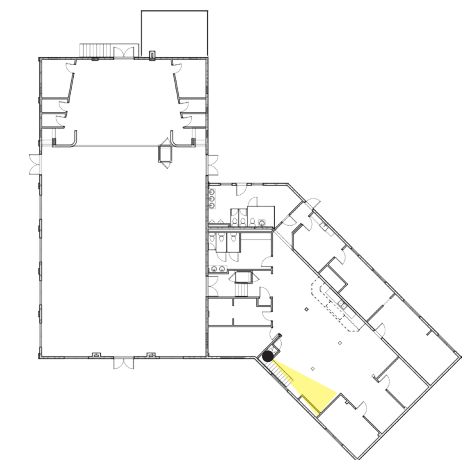
Servicemen gathered around the piano.



View from south entrance towards stage during a servicemen's dance.

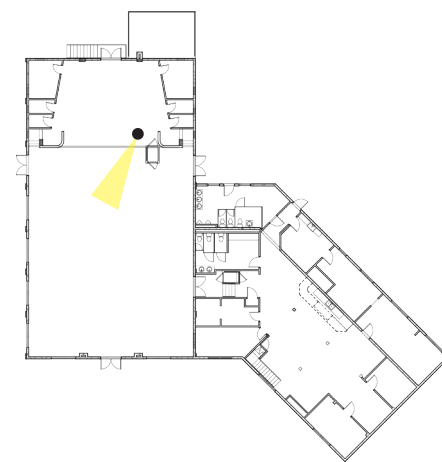


Servicemen's social gathering. Existing mantle and mirror seen at right.



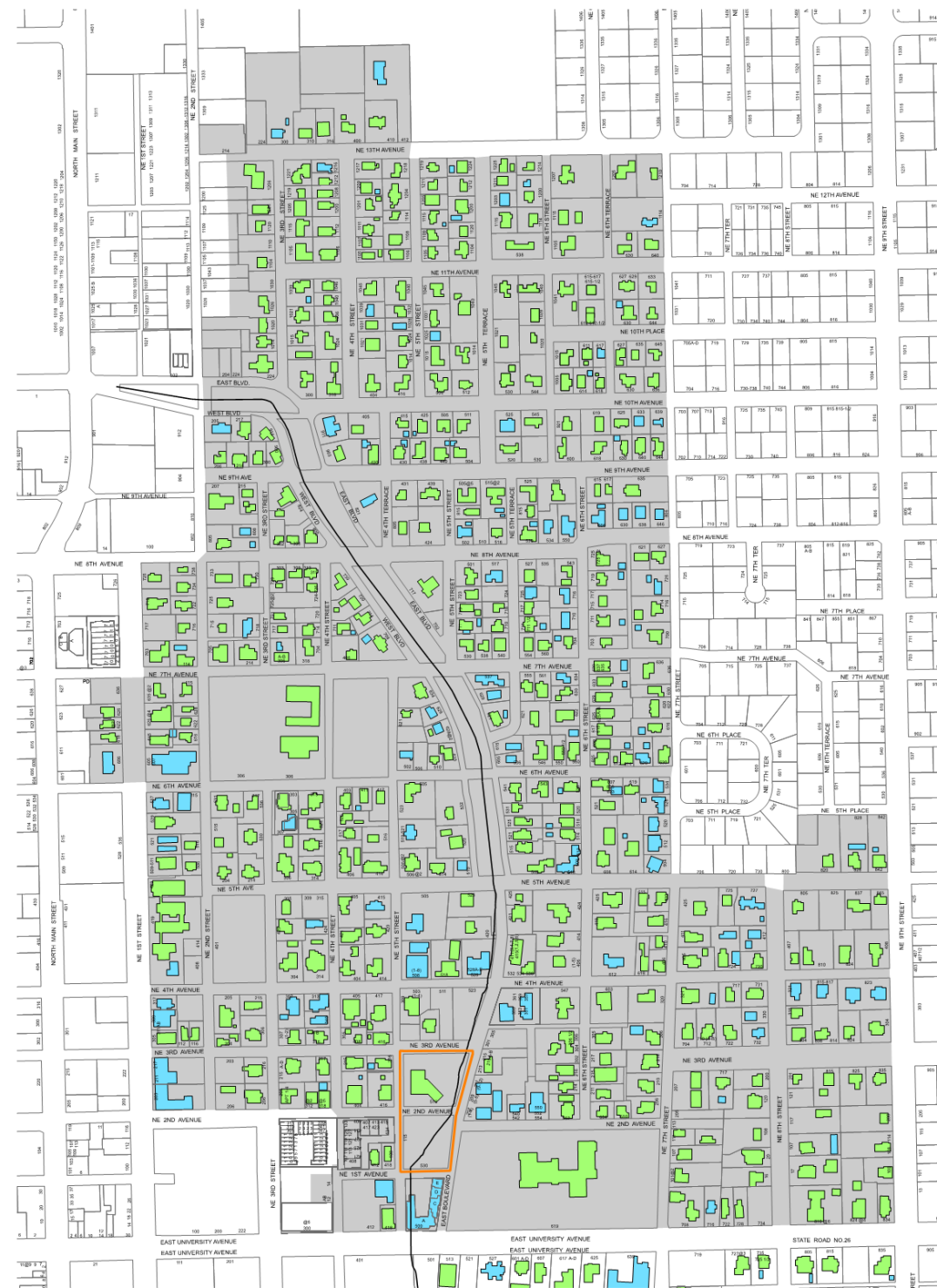


View near south entrance during a servicemen's dance, showing preexisting beams and pendant lighting in dance space.



Early kitchen facilities





### Northeast Residential Historic District

Gainesville, Florida

- Contributing Structures
- Non-Contributing Structures
- Project Site
- Northeast Historic District Boundary
- Regulated Creek

Prepared by the  
 Dept. of Community Development  
 Adopted 2005  
 Ord. 050584  
 Revised on: 6/11/2015

## Historic Register Information

The Thelma A. Boltin Center building is included as a Contributing Structure in the Northeast Residential Historic District (see map left). The building is not currently listed individually on the National Register of Historic Places.

The National Register of Historic Places is an official index of the properties throughout the country which are historically significant. Maintained by the National Park Service, the register is intended as a planning tool which can help preserve important buildings and sites throughout the country.

A building listed on the National Register is encouraged, but not obligated, to be preserved. The owner has the right to maintain, change, or remove a building as they see fit. Below is a list of what a listing on the National Register will do for a building or site:

- Provide acknowledgement of a locally significant structure
- Projects involving federal funding, permitting, licensing, or assistance and that may result in the damage or loss of the historic values of a property that is listed are reviewed by the State Historic Preservation Office and the federal Advisory Council on Historic Preservation. A similar review takes place under state law for state-assisted undertakings.
- Listing may make a property eligible for a Federal Income Tax Credit amounting to 20% of the cost of rehabilitation.
- Florida legislation passed in 1992 allows counties or cities to grant ad valorem tax relief for owners of properties that are listed or eligible for listing in the National Register or in a local district. When a property is improved its value is increased and the assessment is raised accordingly. The increase in assessed value of the improved property will be exempted for up to 10 years from taxation for those portions of the tax bill affected by local option county or municipal exemption ordinances. A local property appraiser can determine if a property is eligible for this provision.
- Possibly render a property exempt from certain FEMA requirements, and adjust ADA and building code requirements.

Listing or being determined eligible for National Register listing is not required for state preservation grants. Grant funding is highly competitive, however, and this official recognition adds weight to the argument that a property is significant and should be awarded a grant.

# Analysis

## Site Analysis

### Zoning

**FUTURE LAND USE CLASSIFICATIONS** (see map, top left): The southern parcel is UC (Urban Core): up to 150 units per acre; and up to 25 additional units per acre by Special Use Permit. This land use category allows residential, office, and business uses concentrated in the urban core area.

The northern parcel is REC (Recreation). This land use category identifies appropriate areas for public and private leisure activities. Land development regulations shall address the scale, intensity and buffering of structures and outdoor improvements.

**EXISTING ZONING CLASSIFICATIONS** (see map, bottom left): The southern parcel is DT (downtown), which consists of the highest density and height development, with the greatest variety of uses, and civic buildings of regional importance. Streets have steady street tree planting and buildings are set close to wide sidewalks.

The northern parcel is PS (Public Services & Operations). The Public Services and Operations (PS) district is established for the purpose of

- Identifying and providing suitable locations for the necessary public and private utility
- Public private partnerships or other legal arrangements where the land title is vested in a government and the use(s) serves a public purpose
- Recreation activities that serve and are used directly by the public for their own benefit and are necessary to the normal conduct of the community's activities

This district may be isolated and surrounded by any other zoning district compatible 17 with the intended use of the facility. A PS designation is similar to a PD (Planned Development) designation, in that it does not have minimum setback requirements. Additional standards for the PS Zoning District can be found in LDC Sec. 30-4.22.

The properties to the north of Thelma Boltin are zoned U2, and have a rear setback requirement of 10 feet. They are RMF-5.

New construction within the Historic District is limited to 3 stories height. This overrides the allowable Zoning height.

### Environmental Constraints

Publicly available data shows that a portion of the site is located within the 100- Year FEMA Flood Plain. Development within the flood plain must be mitigated by providing for additional capacity in the site's stormwater management system.

Sweetwater Branch Creek runs through both parcels on the site. As stated in LDC Sec. 30-8.20 there shall be no development within 35 feet of the break in slope at the top of the bank of any regulated creek.

A 35 ft. buffer is shown on the attached Environmental Map (see next page). The buffer shown on the map is measured from the centerline of the creek. The actual buffer must be measured from the creek's top-of-bank. A survey of the site will be required to identify the actual location of the creek buffer.

Additional buffer width may be required by City staff based on the natural characteristics and environmental importance of the creek. An environmental consultant may be required to establish favorable buffers for the creek.

A First Step meeting is recommended to confirm this information and gather any other needed data. The meeting must be scheduled at least a week in advance. The meeting times are Monday, Tuesday and Thursday from 9-9:30, 9:30-10 and 10-11.

A Neighborhood Meeting and a presentation to the Historic Preservation Board are recommended once design concepts have been developed and ready for community feedback.



City of Gainesville Future Land Use



City of Gainesville Zoning

### 100-Year Floodplain

Typically projects are analyzed for stormwater management requirements based on the amount of impervious surfaces being added to a site. Projects that propose fill in a FEMA floodplain require additional analysis.

For any fill placed below the elevation of the floodplain, an equal volume must be excavated adjacent to the designated floodplain. Any excavation below the seasonal high water table will not count towards the replacement (compensating) volume. In essence, the stormwater management system must be analyzed based on proposed improvements and any encroachment into the floodplain to ensure that the development will not cause flooding to itself or the adjacent properties.

Another issue is that of flood insurance. If a building is in a mapped FEMA floodplain, the lender usually requires purchase of flood insurance. FEMA has a process of removing the structure or property from the mapped floodplain. This can be done as a supplement to the stormwater management design.

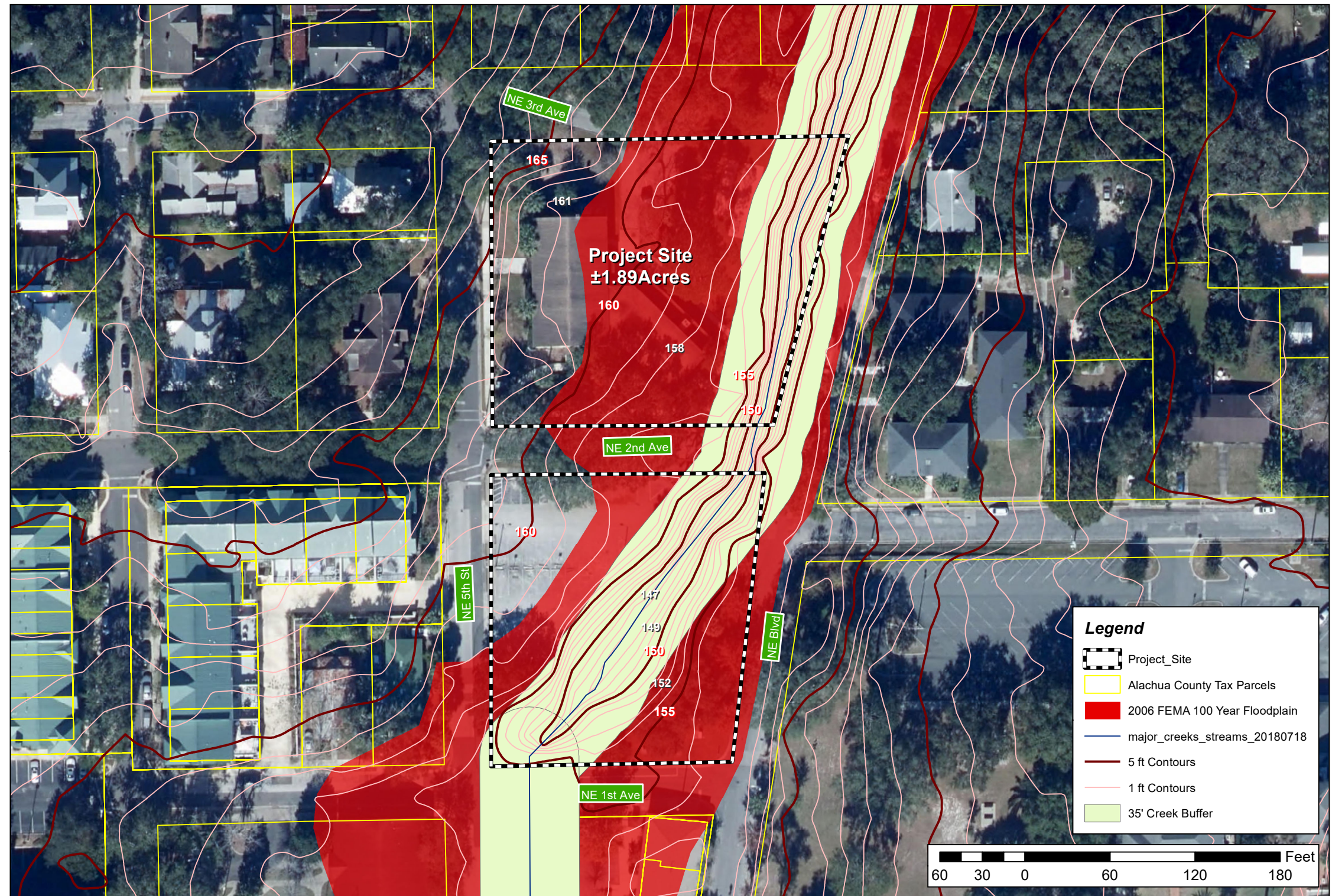


ILLUSTRATION 4:  
ENV. MAP

Alachua County Tax Parcel # 14713-000-000 & 14748-000-000  
Due Diligence

**CHXA**  
Professional Consultants  
Document Path: N:\2019\19-0048\Planning\GIS\04\04.mxd  
Prepared by: Employee #  
Date: 3/29/2019



**NOTE:** Need access for stage.

Vegetation along building façade hides large stormwater infrastructure. Improvements to design could better hide utilities and create/expand exterior gathering spaces.

Building façade provides two main entrances to compliment renovation and multiple and simultaneous user groups. Exterior improvements can provide improved wayfinding and pedestrian gathering spaces. Clearly define main entry.



Reduce to ADA + VIP parking.

Bridges connect all of southern property, provide usable spaces by improving pedestrian flow. Bridges could provide for photo opportunities and act as platforms for outside events.

Specimen Oak



City staff recommend vacating section of NE 3<sup>rd</sup> Ave; we agree.

**NOTE:** Parking area small and awkward to access. Expands exterior landscape. Will need to address dumpster/maintenance access.

**RECOMMEND:** Terracing increases usability of northeast exterior landscape.

Existing stream is hidden by overgrown vegetation. Improving streambank extends usable space and provides feature. Expect to address residential concerns over noise.

Potential after-hours parking for Thelma Boltin Center using Kirby Smith facility. **NOTE:** Fence and swale block easy pedestrian access directly from parking. **RECOMMEND:** Improve pedestrian access along NE 2<sup>nd</sup> Ave.

**RECOMMEND:** Assume NE 2<sup>nd</sup> Ave. to remain, but streetscape improvements would provide traffic calming measures, easier pedestrian access across street. Help tie both sides of street together to increase usable activity space in/around existing hardscape and landscape.



**EXTERIOR PROGRAM ELEMENTS:**

- 1 Event Lawn
- 2 Creek Interaction
- 3 Improved Streetscape  
Drop off @ entrance  
Consider one-way traffic
- 4 Connections for Potential Building Expansion

**NOTE:** Part of Cultural Hub (with Depot Park)

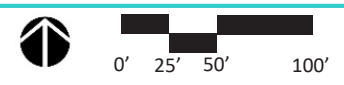
**LEGEND**

- Main Entrances
- Pedestrian Connections
- Existing Stream
- Tree Canopy
- Existing Buffer to Maintain
- Existing Fence

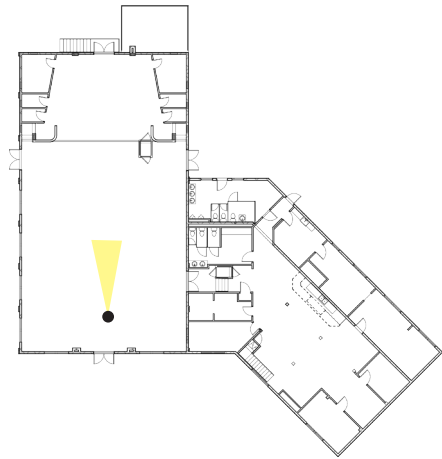


**Thelma A. Boltin Center | Site Framework Plan**

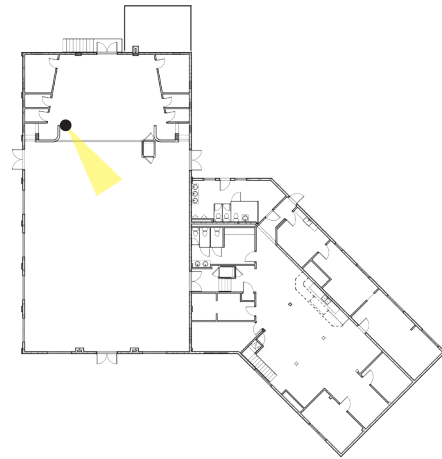
516 Northeast 2<sup>nd</sup> Avenue, Gainesville, FL 32601  
ML+H Project 19.7.0 | March 20, 2019 (site visit performed February 19)



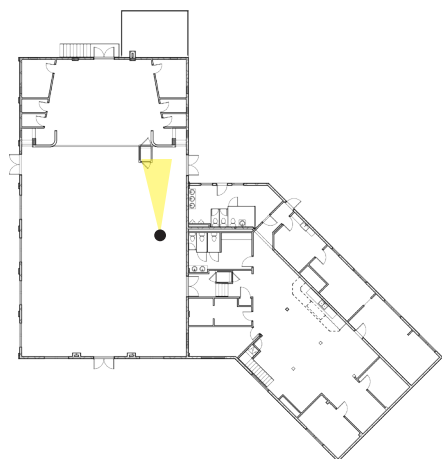
# Existing Conditions



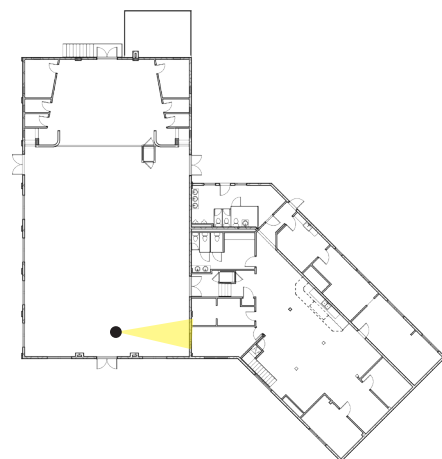
Existing Stage from Dance Hall



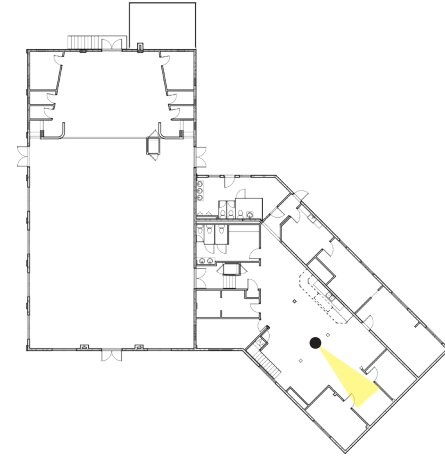
Existing Dance Hall from Stage



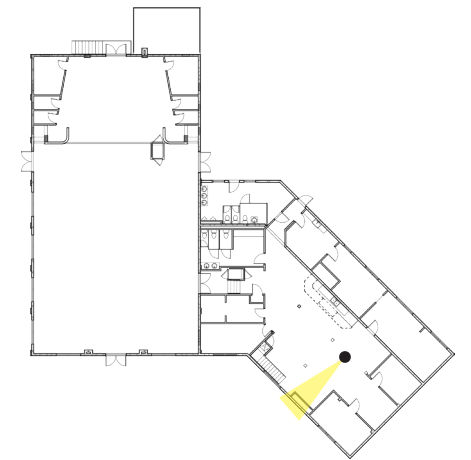
Existing Lift to Stage from Dance Floor



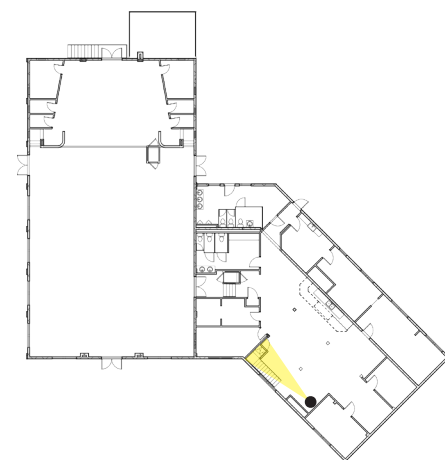
Existing interior windows - Dance Hall



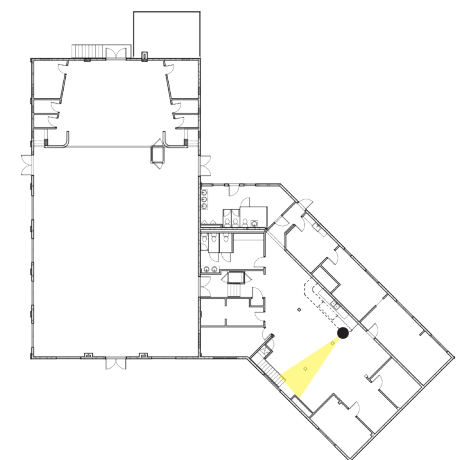
View of entrance from existing lobby



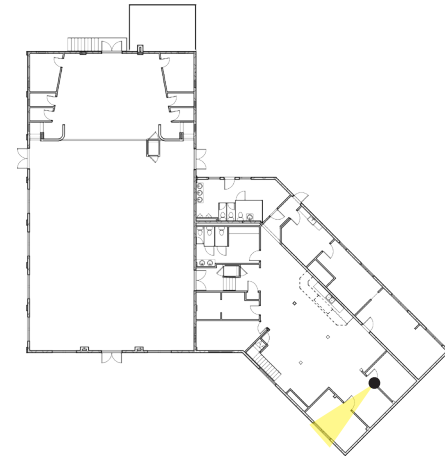
Existing fireplace



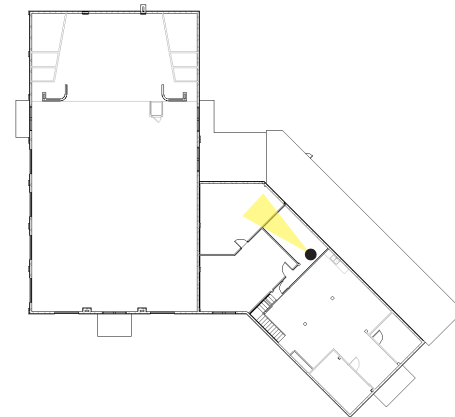
View from fireplace towards stairs



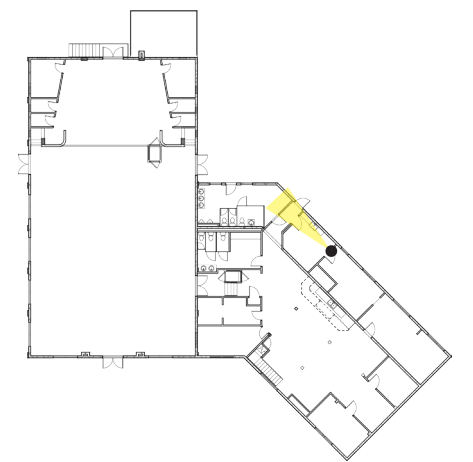
Existing Lobby



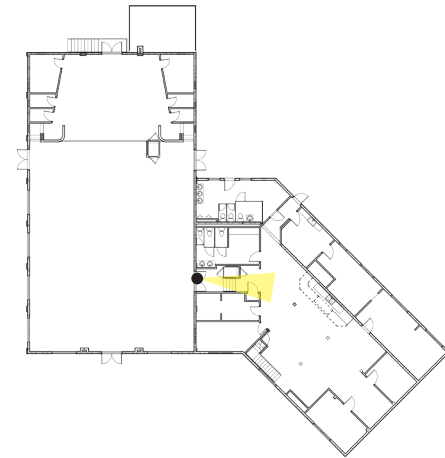
View into office



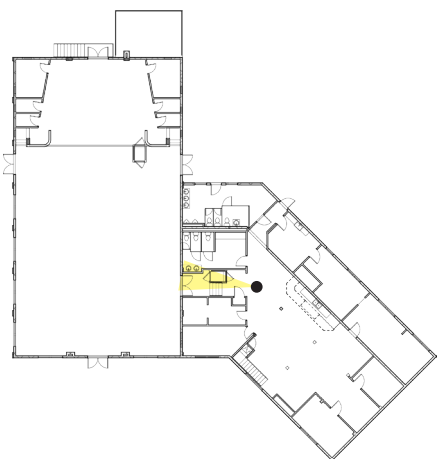
View into storage space



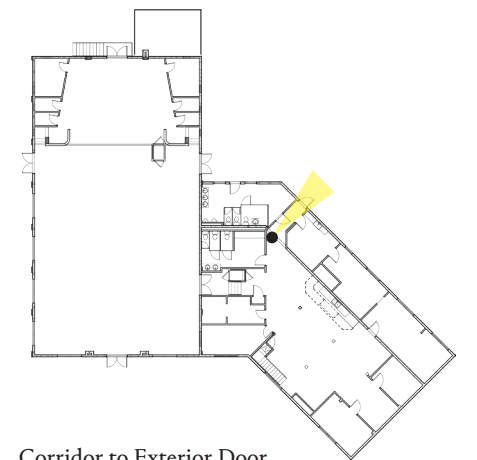
Storage within Kitchen



View through corridor from Dance Hall



View through corridor into Dance Hall



Corridor to Exterior Door Adjacent to Kitchen



## Utility Analysis

### Overview and Scope

Mitchell Gulledge Engineering (MG) was contracted by Walker Architects for the City of Gainesville to provide an assessment of the HVAC, Plumbing and Electrical Systems at the historic Thelma Boltin Center. The scope of work included meetings with the owner group, and an extensive field survey of the existing systems by four MG engineers.

The intent of the assessment and report is to provide an overview of the systems and identify existing issues. Recommendations for system upgrades will be made in a future report when the goals of the project have been made more clear. This report does not include an assessment of the existing indoor air quality or sizing calculations based on the cooling or ventilation needs of the building.

### Building Overview

The building is a historic building that appears to have been built of brick and block. The building does not have a fire sprinkler system installed, but will need one with any new renovation. The building is two stories and is divided into areas as follows:

- Main activity rooms: Main assembly space, lobby, offices
- Service areas: kitchen, restrooms, storage
- Building services: mechanical, electrical, ADA lift

### HVAC System

The main assembly space is served by two direct expansion (DW) cooling units. Both of the units were manufactured in 2000 and appear to be nearing the end of their useful life. These units are located in plain sight of the audience area which causes a noise nuisance and is aesthetically unpleasant. Users have reported that the stage area does not receive cooling. The units do not provide mechanical ventilation for the space, which is recommended for the number of people that use the area and for positive pressurization of the space.

The lobby area and adjoining spaces are served by a single packaged DX rooftop unit that appears to be beyond its useful life expectancy. No surviving unit data could be located during our field investigation. The unit serves the lobby, A/V spaces, offices, and kitchen. The unit appears to be in poor condition, although

it did operate while MG personnel were on site. The building users reported that the interior spaces become very hot in the summer and that the HVAC system cannot cool them sufficiently.

The upstairs storage spaces are intended to be heated and cooled by a wall mounted package through-wall unit. The unit was inoperable at the time of our field investigation.

The toilet rooms are not heated or cooled, but they are served by dedicated exhaust fans. The exhaust fans are incorrectly labeled above a second floor ventilation chase. The fan serving the women's restroom was not operable at the time of our investigation.

Overall, all of the HVAC systems in the building should be replaced and redesigned to provide operability that is suited for the use of the building and its spaces.

### Plumbing System

The building has a domestic water service, sanitary sewer service and natural gas service connected to the municipal systems. The exact routing of the services from the connection at the site could not be located during our visit. An electric water heater is located below the vanity in the women's restroom. One roof drain is located centrally above the lobby and the remainder of the building is drained with a gutter and exterior downspout system. The plumbing systems are currently serving the following locations:

- Toilet rooms: domestic cold and hot water, waste and vent
- Kitchen: Domestic cold and hot water, waste and vent
- Lobby: Domestic cold water, waste and vent
- Main stage area: Abandoned gas, cold water and abandoned waste

The existing sanitary waste and vent system is a cast-iron hub and spigot system that will need to be replaced with any new renovation to the building. The piping material will fail in select areas and is unlikely to be suited for a new configuration.

The existing domestic water main may be reused if found to be serviceable upon inspection. The interior piping is mainly underground and is very old. It will need to be replaced for a new configuration of the building.

The existing natural gas system is not in use and existing piping is abandoned in place. As a measure of good practice, the abandoned piping should be removed from the building.

The existing interior storm drain system is very small and is likely to need to be replaced. Any new work will dictate the extent to which the storm system will be revised.

### Electrical System

The characteristics of the building electrical system are as follows:

- Service voltage: 208Y/120V
- Service amp rating: 800A
- Service Equipment: Siemens S5

Most of the existing electrical system consists of wire in conduit. However, there are some abandoned conductors which were not demolished, and some new work which was performed with inferior methods. We recommend demolition of abandoned wiring, and re-work of any undesirable installations. Additionally the owner should consider replacing surface mounted conduits where installed in finished spaces. Particularly in spaces receiving finish upgrades, it may be possible to better conceal conduit.

The existing wiring system includes some non-standard wire colors, as well as incorrectly color-coded circuits. MG strongly recommends adjusting and replacing existing wires to maintain uniform per-phase color coding. Existing mis-colored circuits can be re-ordered to place each circuit on an appropriate phase. Care should be taken to keep panel loads balanced.

MG recommends an electrician review terminations in panelboards and at major pieces of equipment to assure all terminations are properly tightened.

The existing electrical system is made up of one distribution panelboard, and three branch circuit panelboards:

- MD - 800A MCB. Service equipment and distribution panelboard. Feeds panels 'L1', 'L2', and 'L#', as well as various larger equipment.
- L1 - 200A MLO. Branch circuit panelboard with mixed loads. Panel 'L1' is immediately adjacent to panel 'MD' and panel 'L2'.
- L2 - 100A MLO. Branch circuit panelboard with mixed loads.

- Panel 'L2' is immediately adjacent to panel 'L1'.
- L3 - 100A MLO. Branch circuit panelboard with mixed loads. Panel 'L3' is located on the stage.

The electrical panels appear to be in good condition. MG recommends having an electrician trace all circuits, verify directory, and replace hand written directories with corrected type-written directories.

Almost all circuit breaker space in panelboards 'L1' and 'L2' appear to be in use. MG recommends adding a new panelboard for additional branch circuits. Such a panelboard could be installed on the second floor, or in the kitchen. Nearby existing loads could be re-fed from new panelboard, which would free up space in existing panelboards.

Wiring devices throughout the building are relatively new and appear to be in good condition.

Existing receptacles could be replaced with tamper resistant (TR) devices to improve child safety. Any new devices should be TR-type.

There does not appear to be any surge suppression on any of the electrical panels in the facility. MG strongly recommends adding surge protection to panelboard 'MD' at a minimum. MG additionally recommends surge protection be added to each panelboard with exterior loads.

The fire alarm control panel (FACP) does not appear to have surge protection. Such protection is code required. MG strongly recommends surge protection be added to the FACP.

Existing lighting is predominantly linear fluorescent type. Fixtures vary, from 2'x4' troffers, to linear pendants, to strip lights. The second story is predominantly lit by ceramic base fixtures. MG recommends upgrading lighting to LED sources.

Additional theatrical and ambient lighting could be provided.

Emergency lighting in some areas is not on area lighting circuit. MG strongly recommends re-wiring all emergency lighting to be on same circuit as area lighting, to ensure proper functioning in the event of a circuit failure.



Existing lighting is primary controlled by manual switches. This does not meet current energy code, and likely leads to wasted electricity. MG recommends cost-effective lighting controls be added to smaller, less busy spaces. Larger spaces would require more complex lighting controls. If sufficient funds are available, these spaces could have lighting controls added. Significant renovations of these spaces may cause lighting controls to be required.

Existing exterior lighting is limited. There are lights at exits, there are a few pole-mounted flood lights to light the parking area, drive, and front walk. The remainder of the site appears to be unlit. If night uses are desired, MG recommends additional lighting to existing walkways.

Exterior lighting appears to be controlled by a mechanical time clock MG recommends upgrading exterior lighting controls to meet current FBC and ASHRAE 90.1 requirements. This would require the lighting contactor would be controlled by both a photocell and an astronomical time clock.

The existing electrical system appears to have been grounded. MG recommends review and testing the existing grounding electrode system and equipment grounding system to confirm system is properly installed and functional. No remediation is anticipated, but the proper functioning of the grounding system is critical to human safety.

No lighting protection system is present on the building. A Class I lighting protection system could be added to the building, if desired. There is an existing fire alarm system, but it does not meet modern code for assembly spaces. MG recommends upgrading the fire alarm system to voice-evacuation-type system to meet current code requirements.

Existing IT equipment is installed on a small backboard beside panel 'MD'. A rack in the electrical room would allow for additional equipment. A rack near the stage could serve AV equipment. The owner should consider IT and AV goals and determine what space is required.

No existing electronic access controls were noted. Such a system could be useful to control rental access, automatically unlock doors, etc.

# Code Compliance Preliminary Study

Data included in this code study originates from the Florida Building Code (6th Edition, 2017) unless otherwise noted.

## Project Basics:

Overall Use / Occupancy Classification: A-3  
 Renovation of Existing Footprint: 8010 Level 1 + 1160 Level 2; 8170 SF total  
 Minor Addition: 8535 Level 1 + 500 Level 2; 9035 SF total  
 Addition for General Use: 4260 Level 1 & Level 2; 8520 SF total

## Occupancy Calculations

### EXISTING CONDITIONS

Use	Area	FBC Designation	FBC Load Factor	NFPA (if different)	NFPA Load Factor	Occupant Load
• Stage	899	Stages and Platforms	15 net			60
• Dance hall	3025	Assembly Unconcentrated	15 net			202
• Lobby	1418	Assembly Unconcentrated	15 net			95
• Kitchen	154	Kitchen	200 gross	Kitchen	100	1
• Break	236	Assembly Unconcentrated	15 net			16
• AV Studio	313	Shops/Vocation Area	50 gross			7
• Office	283	Business	100 gross			3
• Storage	1402		300 gross		Storage other than Mercantile 300	1
						Total: 389

### RENOVATION OF EXISTING FOOTPRINT

Use	Area	FBC Designation	FBC Load Factor	NFPA (if different)	NFPA Load Factor	Occupant Load
• Stage	1245	Stages and Platforms	15 net			83
• Dance hall	3025	Assembly Unconcentrated	15 net			202
• Lobby	2145	Assembly Unconcentrated	15 net			143
• Kitchen	221	Kitchen	200 gross	Kitchen	100	2
• Black Box	1179	Assembly Unconcentrated	15 net			79
• Storage			300 gross		Storage other than Mercantile 300	1
						Total: 509*

\* Note: Per FBS Existing section 810.1: Renovation of Existing increases occupant load by 30%, requiring fixture counts to be provided in quantities specified in FBC, Plumbing.

### ADDITION for GENERAL USE - Level 1

Use	Area	FBC Designation	FBC Load Factor	NFPA (if different)	NFPA Load Factor	Occupant Load
• Multipurpose	1283	Assembly Unconcentrated	15 net			89
• Storage	178	Storage	300 gross		Storage other than Mercantile 300	1
• Dressing	510	Locker	50 gross			11
• Waiting/Prefunction	812	Assembly Unconcentrated	15 net	Kitchen	100	54
• Kitchen	1179	Kitchen	200 gross			1
• AV Studio	134	Shops/Vocation Area	50 gross			3
						Total: 159

### ADDITION for GENERAL USE - Level 2

Use	Area	FBC Designation	FBC Load Factor	NFPA (if different)	NFPA Load Factor	Occupant Load
• Meeting	1412	Assembly Unconcentrated	15 net			95
• Storage	110	Storage	300 gross		Storage other than Mercantile 300	1
• Offices	272	Business	100 gross			3
• Board	675	Assembly Unconcentrated	15 net			45
• Prefunction	340	Assembly Unconcentrated	15 net			23
						Total: 167

## Fixture Requirements

	WC (M)	WC (W)	Lav.	Service Sinks
Renovation of Existing Footprint	3	4	2	1
Addition for General Use (Level 1)	1	2	1	n/a
Addition for General Use (Level 2)	1	2	1	n/a

## Means of Egress

Number of Exits (1006.2)

- All spaces with occupancy load greater than 49 will require two exits (T 1006.2.1)
- Outdoor areas: outdoor areas used exclusively for service of the building need only have one means of egress (1004.5.1)

Exit configuration

- Where two exits are required from a space, they shall be placed a distance apart equal to not less than 1/3 of the length of the maximum overall diagonal dimension of the building or area to be served measured in a straight line between them. If not sprinklered, the distance is 1/2 the length. (1007.1.1.2)

Exit Stairways

- If stairways are required as part of the means of egress from a space, two or more protected stairways shall be provided. Not less than two separate exits shall be provided on every story (NFPA 38.2.4.1)

Ramps

- Ramps part of the means of egress: slope no steeper than 1:12 (8% slope). (1012.2)
- Pedestrian ramps not part of the means of egress: slope no greater than 1:8 (12.5% slope) (1012.2)
- Ramp rise shall be 30" maximum (1012.4)
- Handrails: required on both sides for ramps with a rise greater than 6" (1012.8)
- See accessibility section below for accessible ramp requirements.

Exit access travel distance

- A-3 occupancies: 250' max (T1017.2)
- B occupancy: 200' max (T1017.2)

## Accessibility

### TOILET FACILITIES:

- Where toilet rooms are provided, each toilet room shall be accessible, except for in the case when multiple single user toilet rooms are clustered in a single location, in which case no more than 50 percent of the single user toilet rooms shall be required to be accessible. (213.2)
- Toilet compartments: where provided, at least one shall be an accessible toilet compartment. (213.3.1)
- WCs: where water closets are provided, at least one shall be accessible. (213.3.2)
- Urinals: where more than one urinal is provided, at least one shall be accessible. (213.3.3)
- Lavatories: where lavatories are provided, at least one shall be accessible and shall not be located in a toilet compartment. (213.3.4)

### RAMPS AND PARKING:

- Parking: See T208.2 for detailed information regarding minimum numbers of accessible spaces. Generally, the requirements are 1 per 25 for the first 100 spaces, 1 per 50 for the next 100 spaces, and 1 per 100 spaces from 200 to 500 spaces. Accessible parking space dimensional information can be found in Chapter 5, section 502.
- Ramps: should not have a slope greater than 1:12. (405.2). In existing sites, ramps are permitted to have running slopes steeper than 1:12 where such slopes are necessary due to space limitations (see table 405.2 for rise requirements for this exception). Clear width of handrails shall be no less than 36". (405.5) Landings shall be provided at the top and bottom of each ramp and shall be no narrower than the ramp run and no less than 60" in length. (405.7)

**Existing Floor Plans &  
Proposed Renovation Options**



# Conclusions



Thelma Boltin Center Southeastern Entrance

The primary goals of the Thelma Boltin Concept Study are to investigate the feasibility of revitalizing the facility on three levels, ranging from general building upgrades to creating the City's preeminent cultural center. These goals are the direct result of discussions with City of Gainesville representatives during February-April 2019.

1. **IDENTITY** - Express the unique identity of Gainesville's cultural core, historic heritage, and natural attributes.
2. **OUTREACH** - Provide a welcoming platform for collaboration and outreach among the Gainesville community.
3. **A GOOD NEIGHBOR** - Acknowledge and address the cultural and natural features inherent to the vicinity and ensure that the spirit of the site is preserved and enhanced.

### A Successful Project:

- Is flexible, shared with multiple city groups, connected with the community.
- Employs forward-thinking design strategies in providing an improved and more accessible community space.
- Maintains and celebrates historic context of the City of Gainesville and the core vision and mission of the core vision for the facility at the Thelma Boltin center.

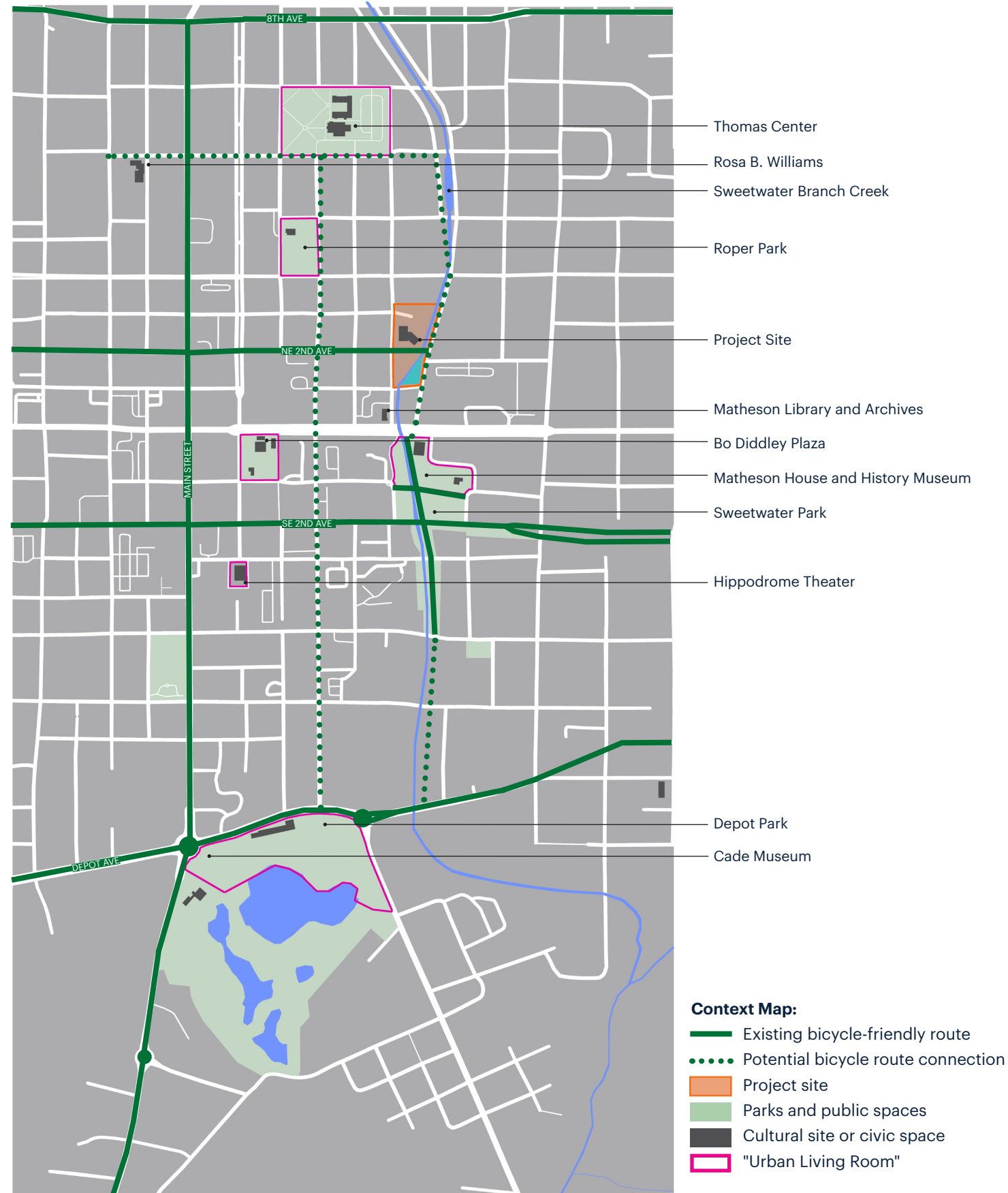
### Project Goals:

- Acoustic and lighting upgrades
- Accessibility and circulation upgrades
- HVAC upgrades
- Site design that creates functional exterior spaces
- Providing a clear and accessible entry into the facility
- Establishing the Thelma Boltin Center as an anchor to the City of Gainesville Cultural District
- Provide an achievable plan for expansion

### Architectural Opportunities

The architecture will satisfy the vision of the project by responding to these project goals:

- Maintain and celebrate the existing historic structure, potentially adding to it to provide expanded, up-to-date facilities and a sensitive and innovative architectural strategy.
- Promote circulation through the space.
- Create functional and park-like exterior spaces.
- Create a clear and welcoming entry into the facility.
- Enhance the natural beauty of the creek
- Improve the adjacent site and parking lot(s)
- Provide accessible and VIP parking and a drop-off space.
- Provide more functional acoustics and lighting in the performance space.
- Provide support spaces such as dressing rooms and a green room.



## A Path which Creates Place

The stretch of Sweetwater Branch located on the Thelma Boltin Center site is located centrally amidst of the web of cultural and civic life in Gainesville. It has great potential for meaningful utilitarian use and enhancement of quality of life.

At the largest scale, this branch represents an important component of Gainesville's ecology. Once a spring-fed stream, the trickling waters now emerge from a pipe a few blocks north of the Thelma Boltin site, travel 6 miles to the Sweetwater Wetlands Park, where the waters are filtered naturally before passing through the Alachua Sink and into the Florida aquifer.

Highlighting the Sweetwater Branch is an opportunity to view this ecological cycle—bubbling springwaters, sifting streams, and eventual sinking down into the aquifer—and live parallel to its processes.

The path of this creek is also significant from a cultural perspective, tying together a network of "urban living rooms." Its journey takes the creek southward through the historic Duckpond neighborhood, continuing on just minutes east of Downtown, where it approaches Depot Park before turning westward towards Sweetwater Wetlands Park. Numerous cultural buildings and civic spaces appear along its path, including the Matheson Archive, Thomas Center, Cotton Club, Depot Park, and Downtown.

Strengthening cyclist and pedestrian traffic adjacent to the project site could aid in providing a continuous public corridor for ecological and cultural engagement. This could be achieved by enhanced accessible sidewalks, crossings, street lights, and bike sharrows.

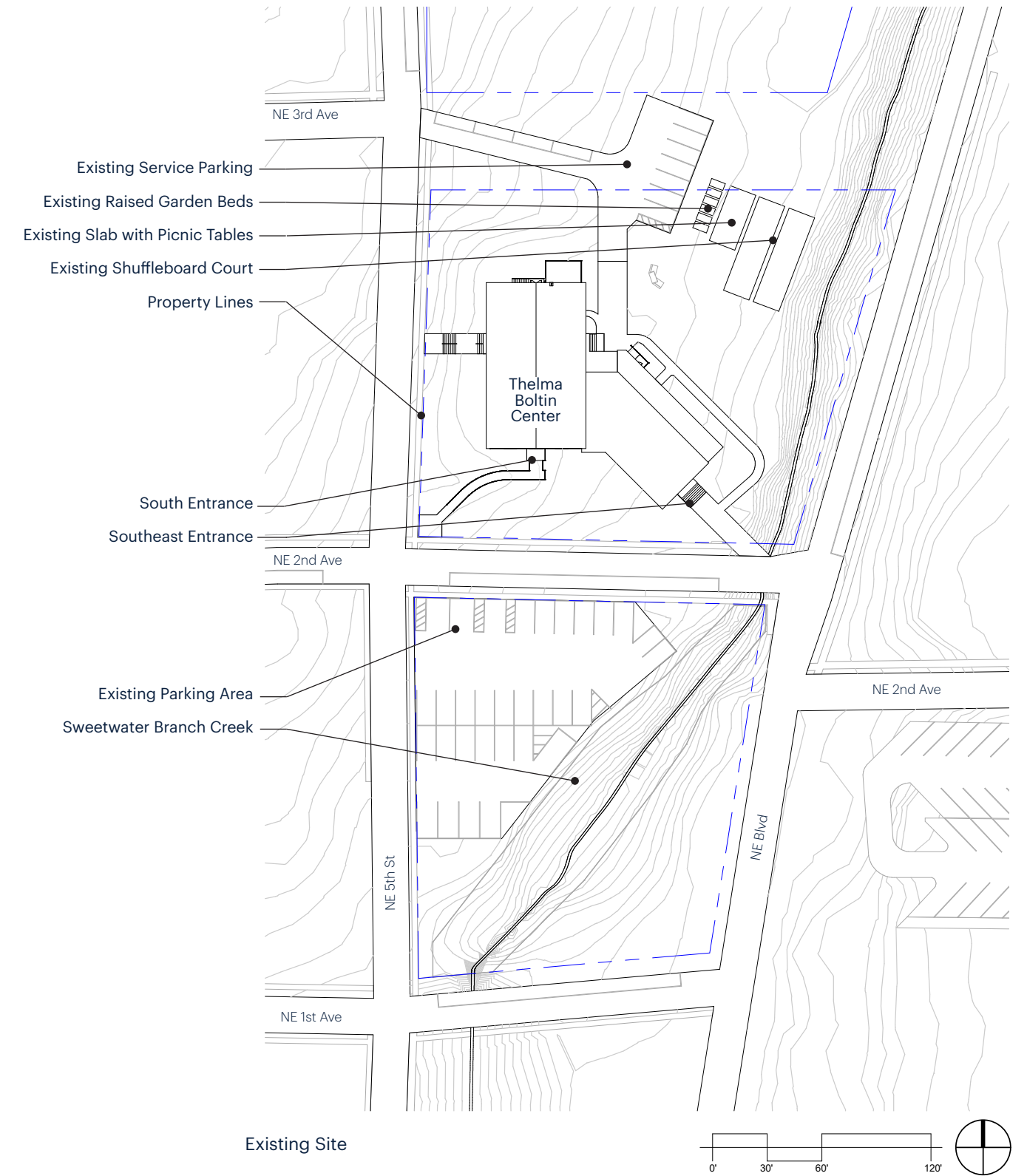
# Site Visuals



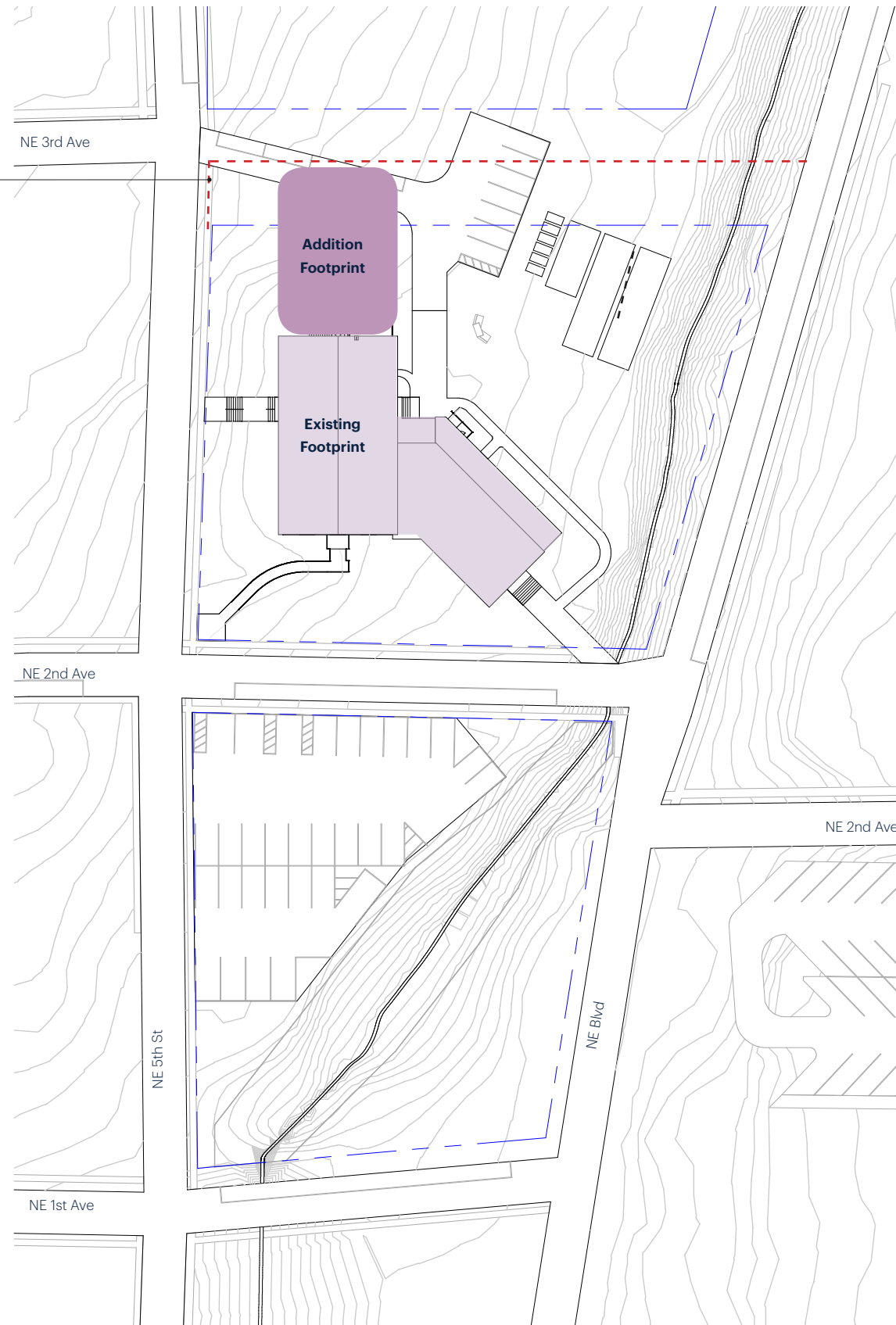
South Entrance



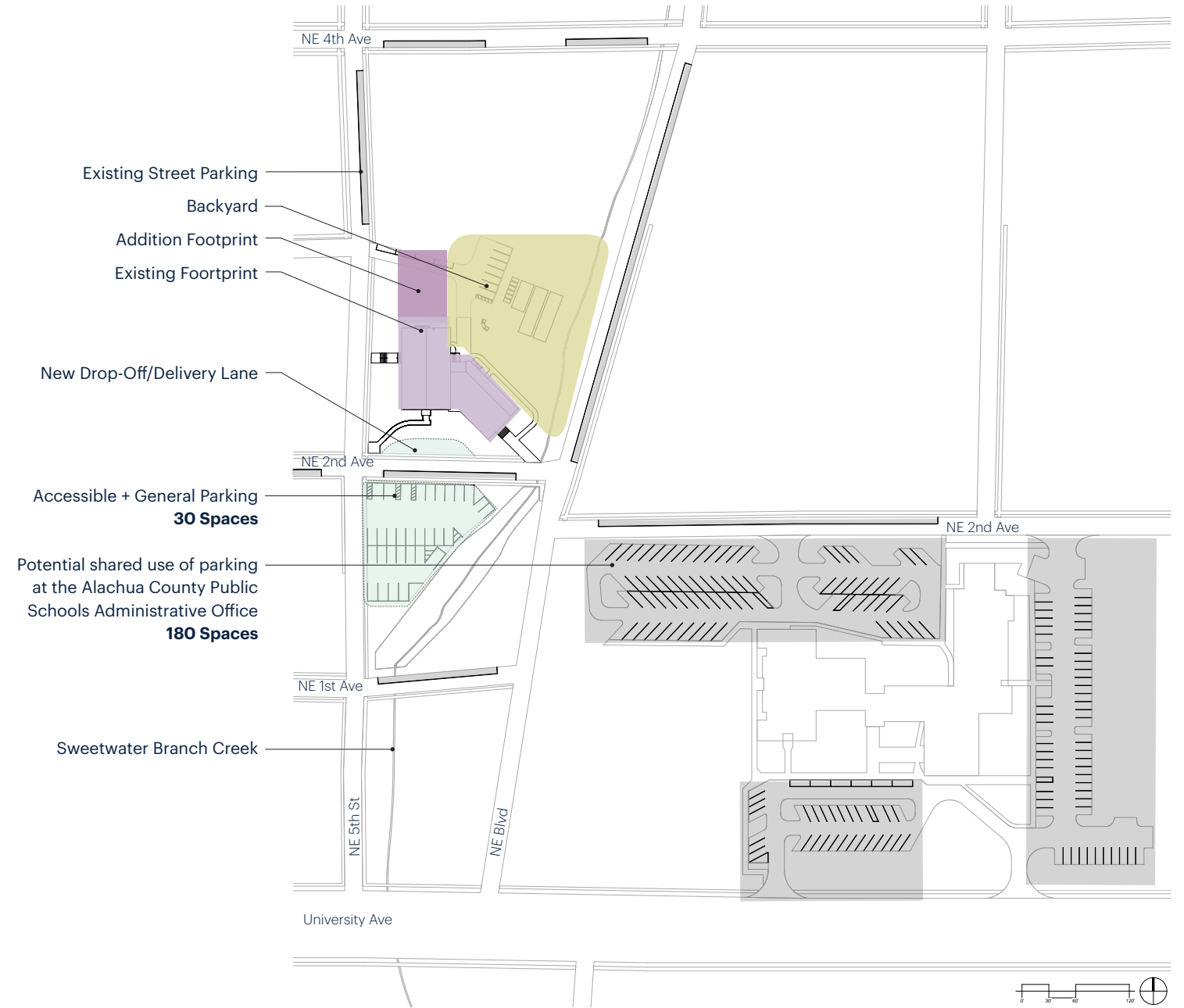
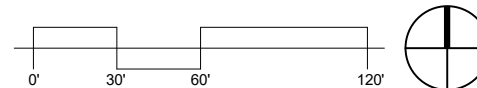
Southeastern Entrance



Addition assumes NE 3rd Ave Street Vocation between NE 5th Street and NE Boulevard, and adjusted northern property line, allowing for a larger addition footprint without crossing the flood plain. Service access will be modified to serve the north edge of the building.



Current Site Plan with Proposed New Footprints



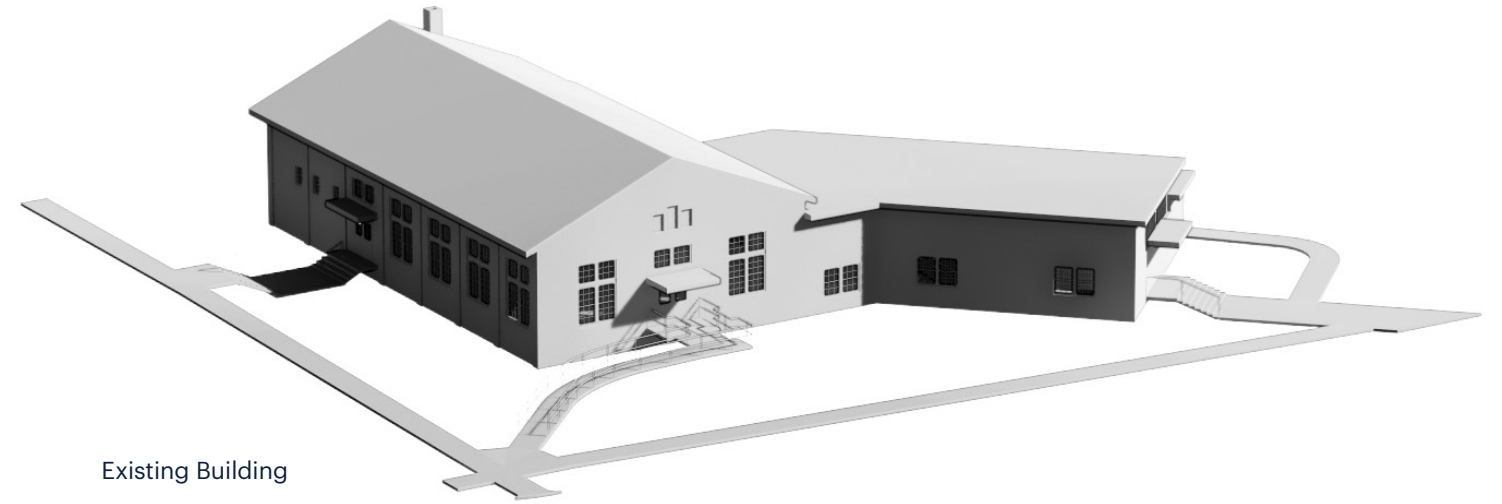
Parking Analysis



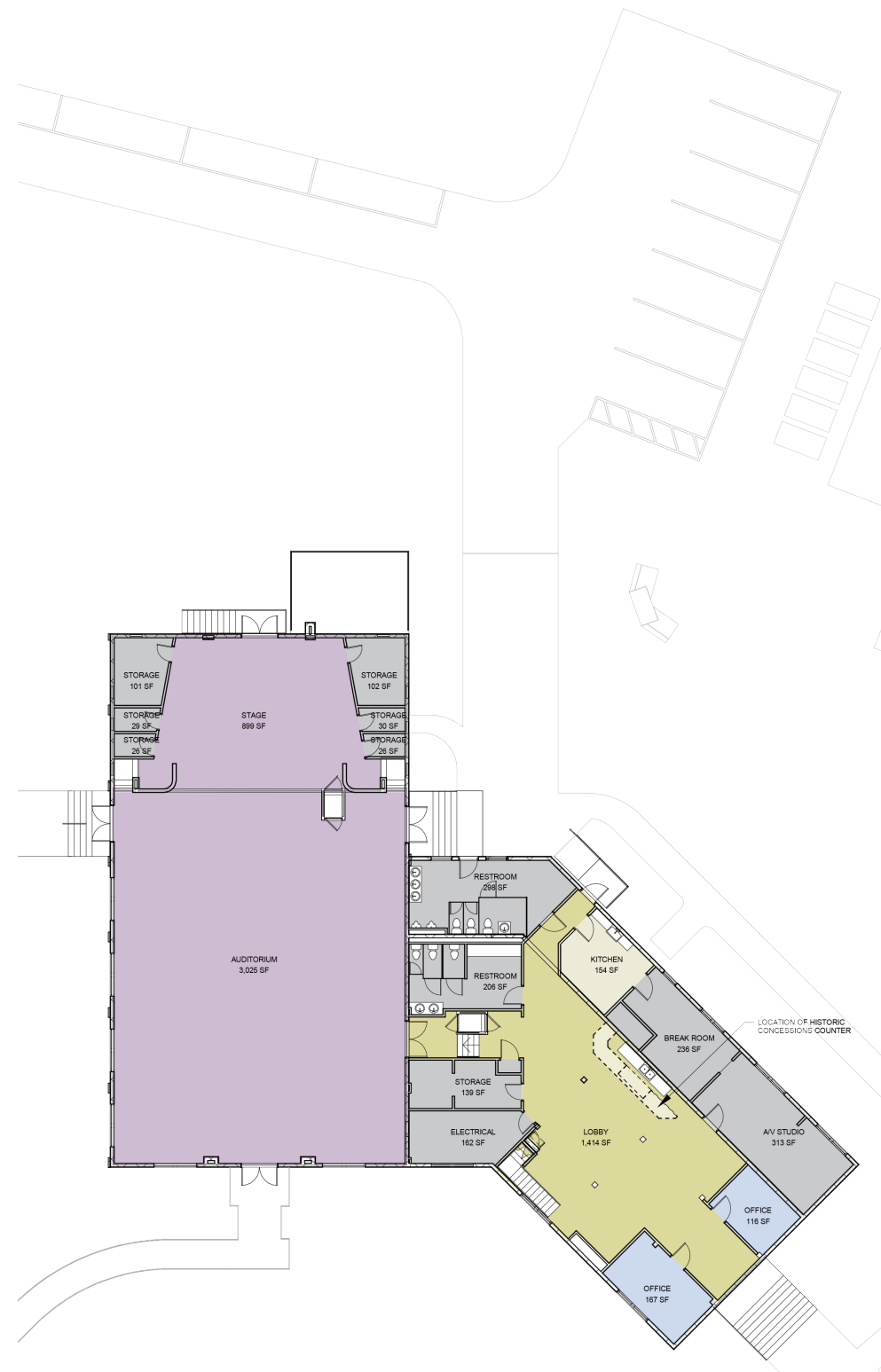


View from NE corner of property at the edge of Sweetwater Branch Creek

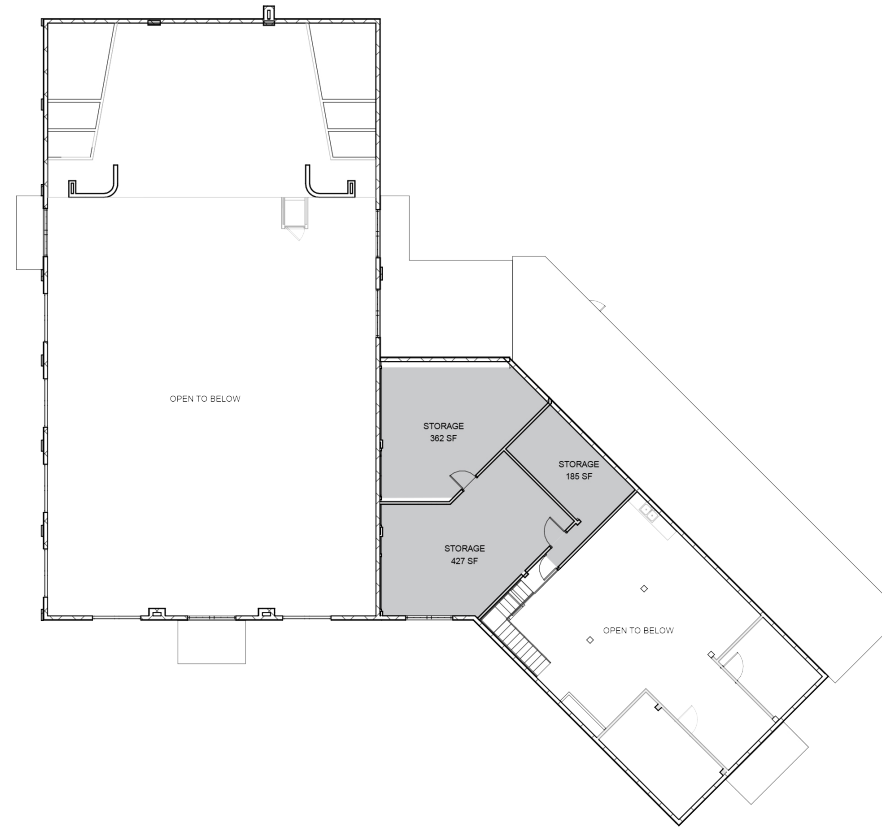
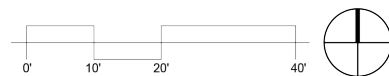
# Existing Floor Plans



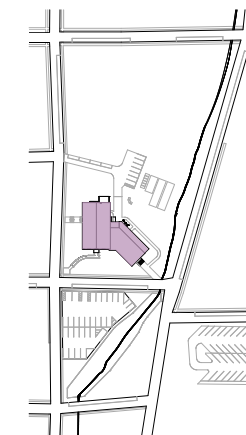
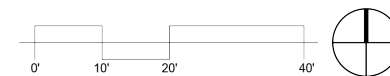
Existing Building



Existing Level 1 Floor Plan



Existing Level 2 Floor Plan



Key Plan

## Conceptual Floor Plans

# Program I: Renovation of Existing Footprint

Event space grows from a single activity hall to two multi-purpose halls plus outdoor garden space.

Updated building systems and interior design.

Revised circulation and orientation.

### Assumptions & Program

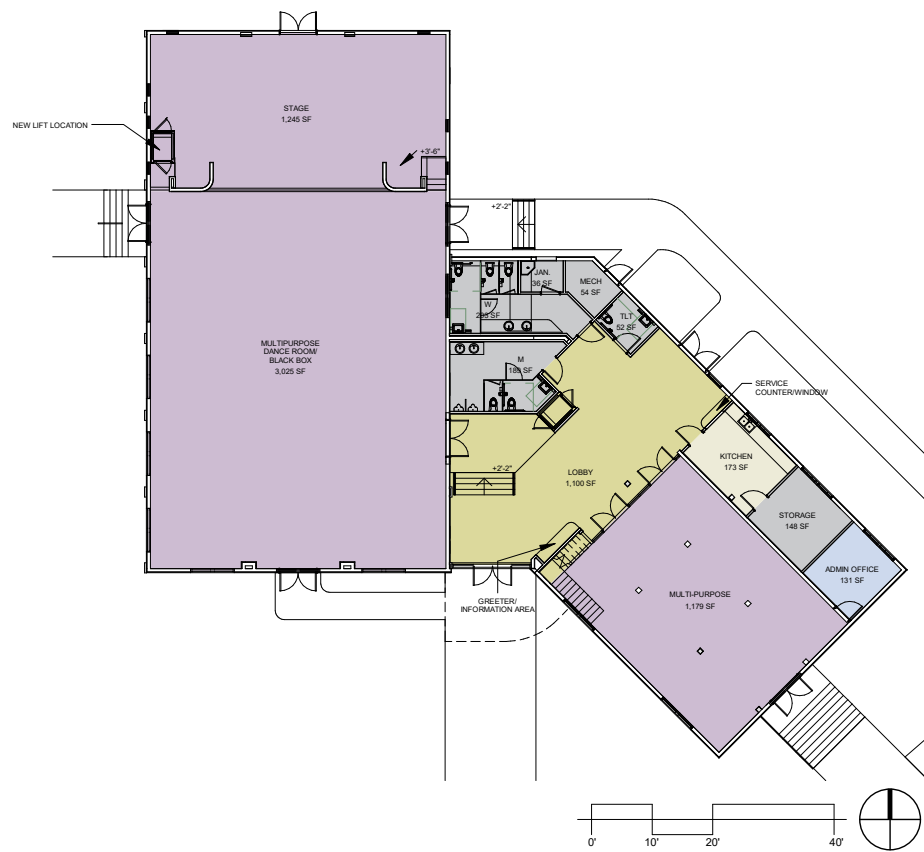
This option is a basic renovation of the existing building. It assumes updated HVAC, plumbing, and electric systems, as part of a renovation which updates the building to meet current building code requirements.

This option also assumes restoration of character-defining components of the historic structures, including the original ceiling and wood beams of the dance hall space, the glass block window over the east entry door, the fireplace and stair of the east gathering space.

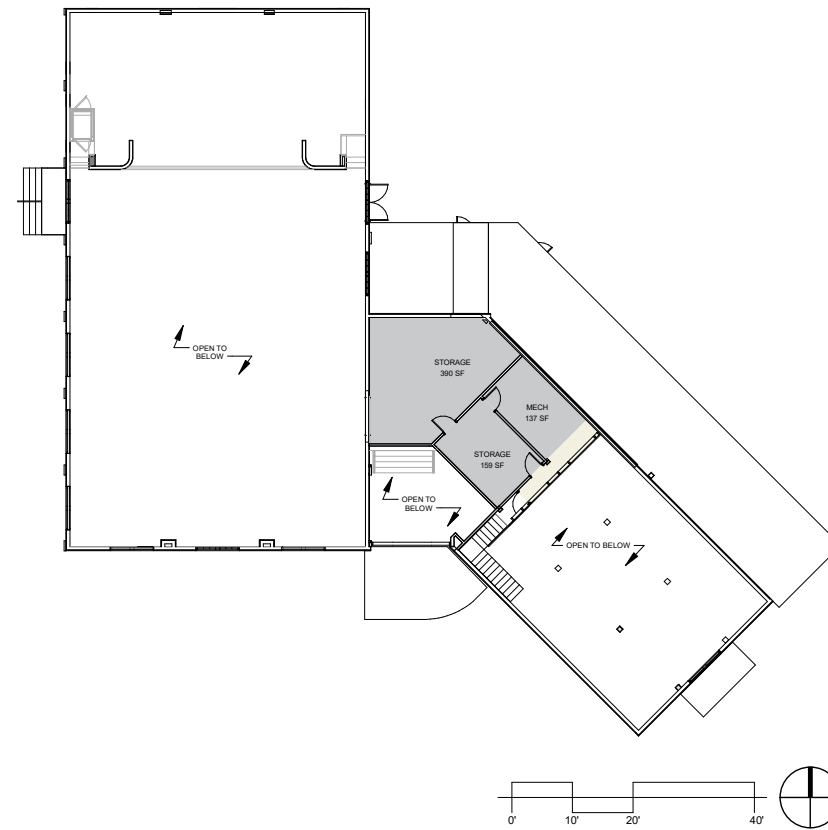
Basic configuration of current spaces is maintained, but accessory storage and office space, which were added contemporarily and conflict with the user experience of important primary spaces, are removed. This restores the stage, dance floor, and east gathering space to their full potential to host functions and events effectively.

This option also addresses the problems of current entry conditions. Two doors enter directly to the dance floor, and another into the east gathering space. While these doors are useful means of egress, and suggest connectivity to neighborhoods all around the building, there is no one clear entrance for those arriving at the site for an event. If a formal event were to occur in the gathering space or the dance hall, there is no door which allows for entry without interrupting said function.

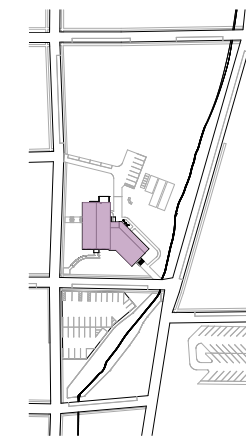
This design opens up a lobby space in between the two primary gathering spaces. This lobby space would be a bright, double-height space.



Level 1 Floor Plan - Renovation



Level 2 Floor Plan - Renovation



Key Plan

# Program II: Minor Addition

Event space grows from a single activity hall to two multi-purpose halls plus outdoor garden space.

Updated building systems and interior design.

Revised circulation and orientation.

Small addition greatly enhances the lobby, provides additional back-of-house spaces, and anticipates a future addition north of the stage.

## Assumptions & Program

This option is a renovation of the existing building which picks up on the lobby introduced in the base option but fully fleshes it out to host a larger pre-function crowd and anticipate an addition to the north of the existing stage.

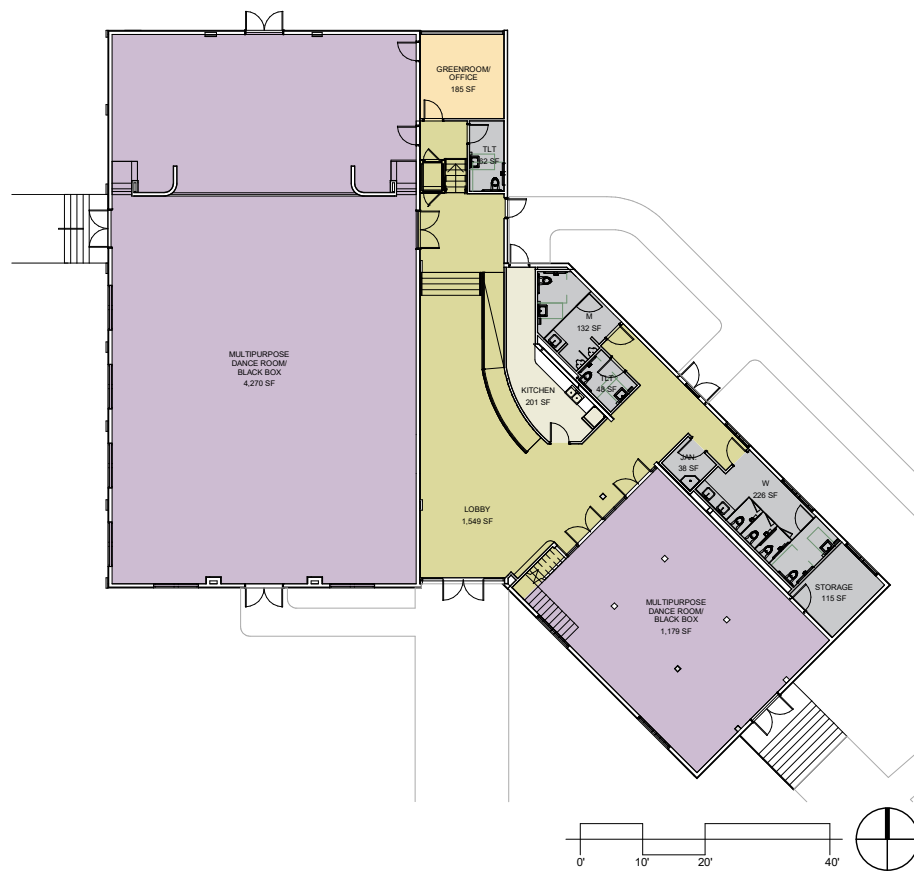
This lobby serves to connect the east gathering space and the dance floor, but also to further connect the user to the "backyard" space and Sweetwater Branch Creek.

This option also assumes restoration of character-defining components of the historic structures, including the original ceiling and wood beams of the dance hall space, the glass block window over the east entry door, the fireplace and stair of the east gathering space.

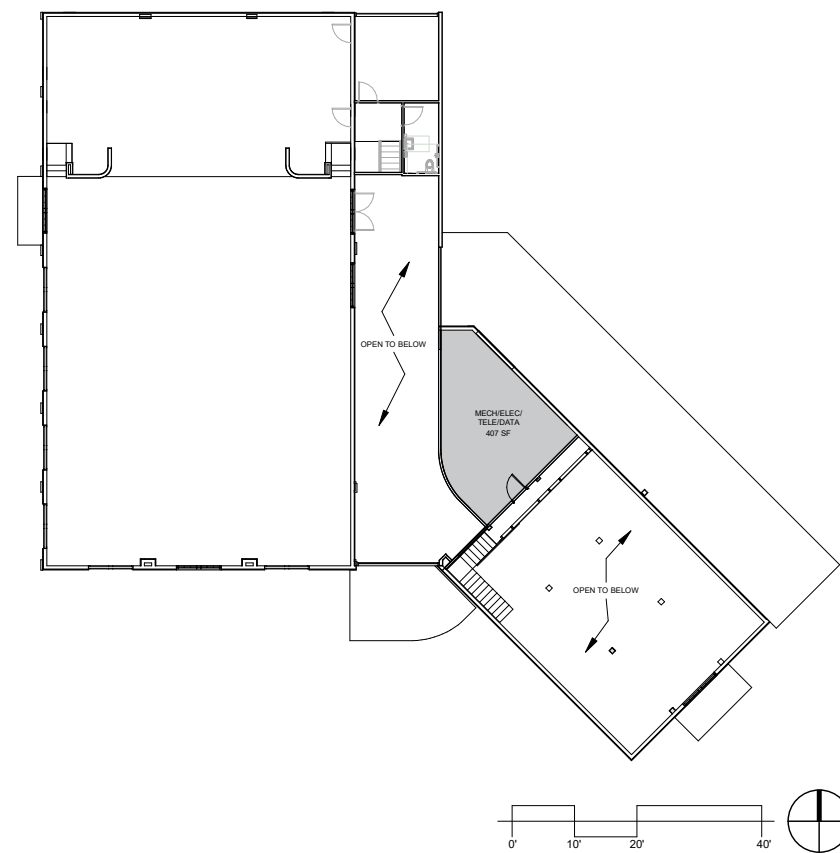
The new entry sequence is a bright, double-height space which provides a fluid connection between the dance floor, gathering space, "backyard," and addition.

This renovation assumes updating HVAC, plumbing, and electric systems, as part of a renovation which updates the building to meet current building code requirements.

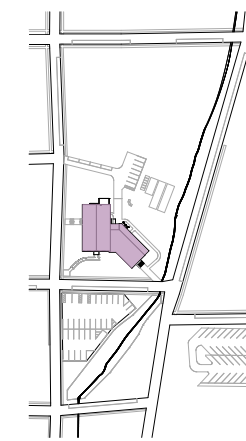
The configuration of current spaces is shifted; and the user experience of important primary spaces is enhanced.



Level 1 Floor Plan - Minor Addition



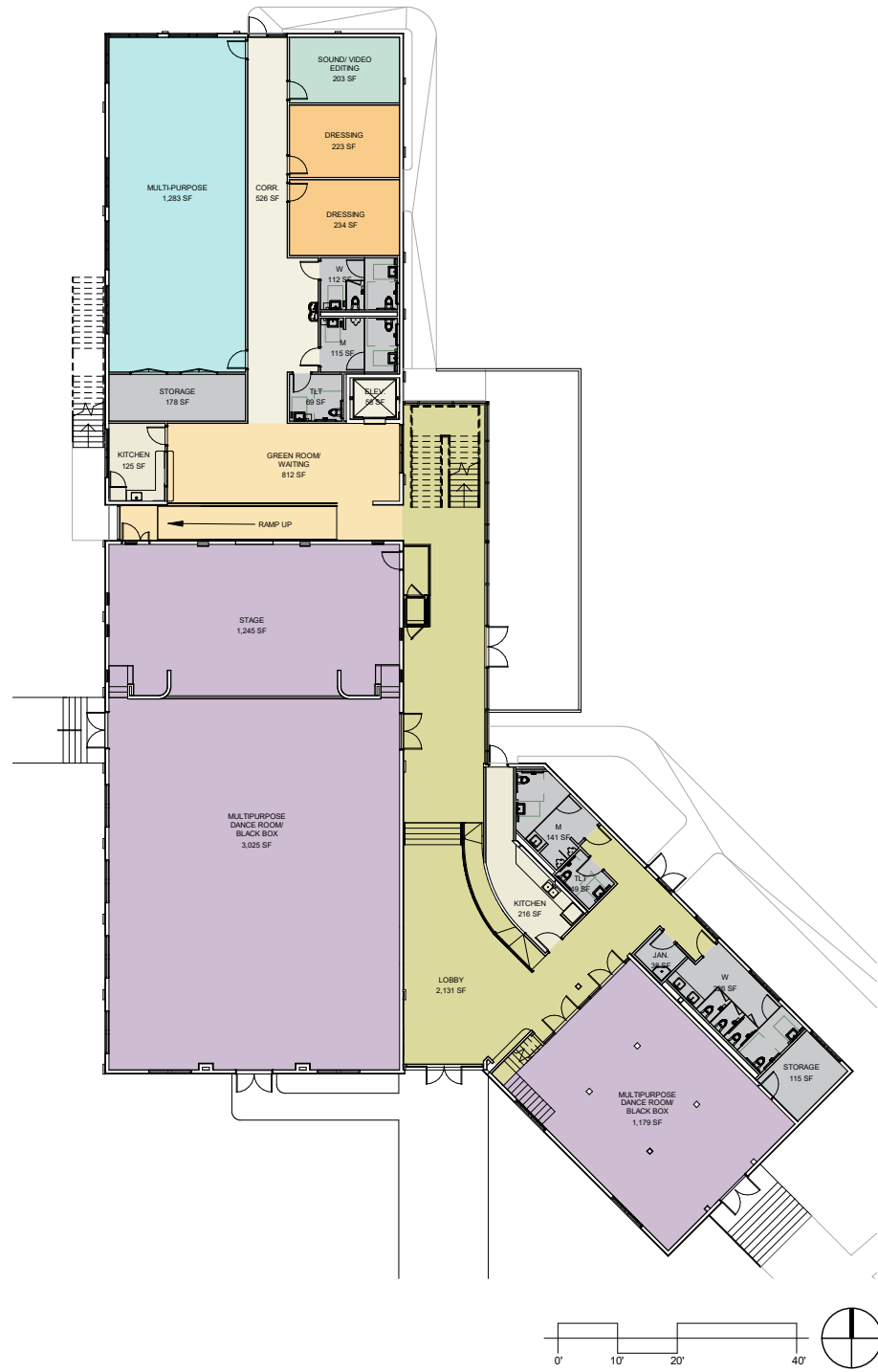
Level 2 Floor Plan - Minor Addition



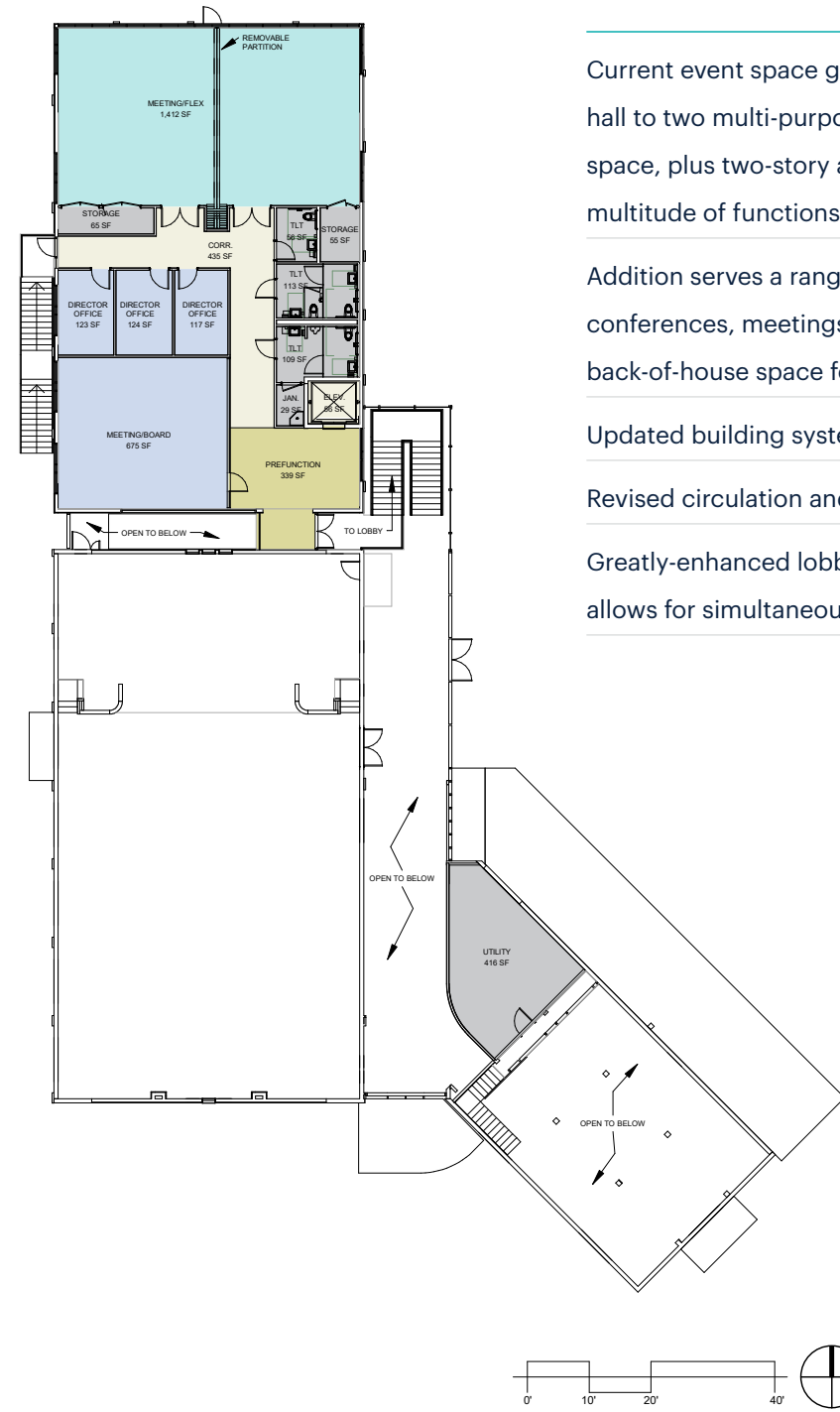
Key Plan

# Conceptual Floor Plans

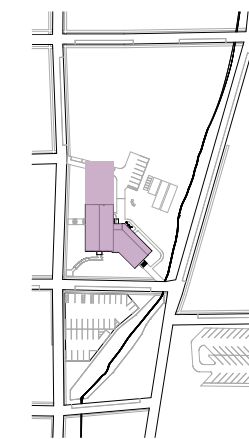
## Program III: Flexible Community Use Addition



Level 1 Floor Plan - Major Addition



Level 2 Floor Plan - Major Addition



Key Plan

Current event space grows from a single activity hall to two multi-purpose halls plus outdoor garden space, plus two-story addition capable of serving a multitude of functions.

Addition serves a range of functions, such as small conferences, meetings, classes, banquets, and as a back-of-house space for existing stage.

Updated building systems and interior design.

Revised circulation and orientation.

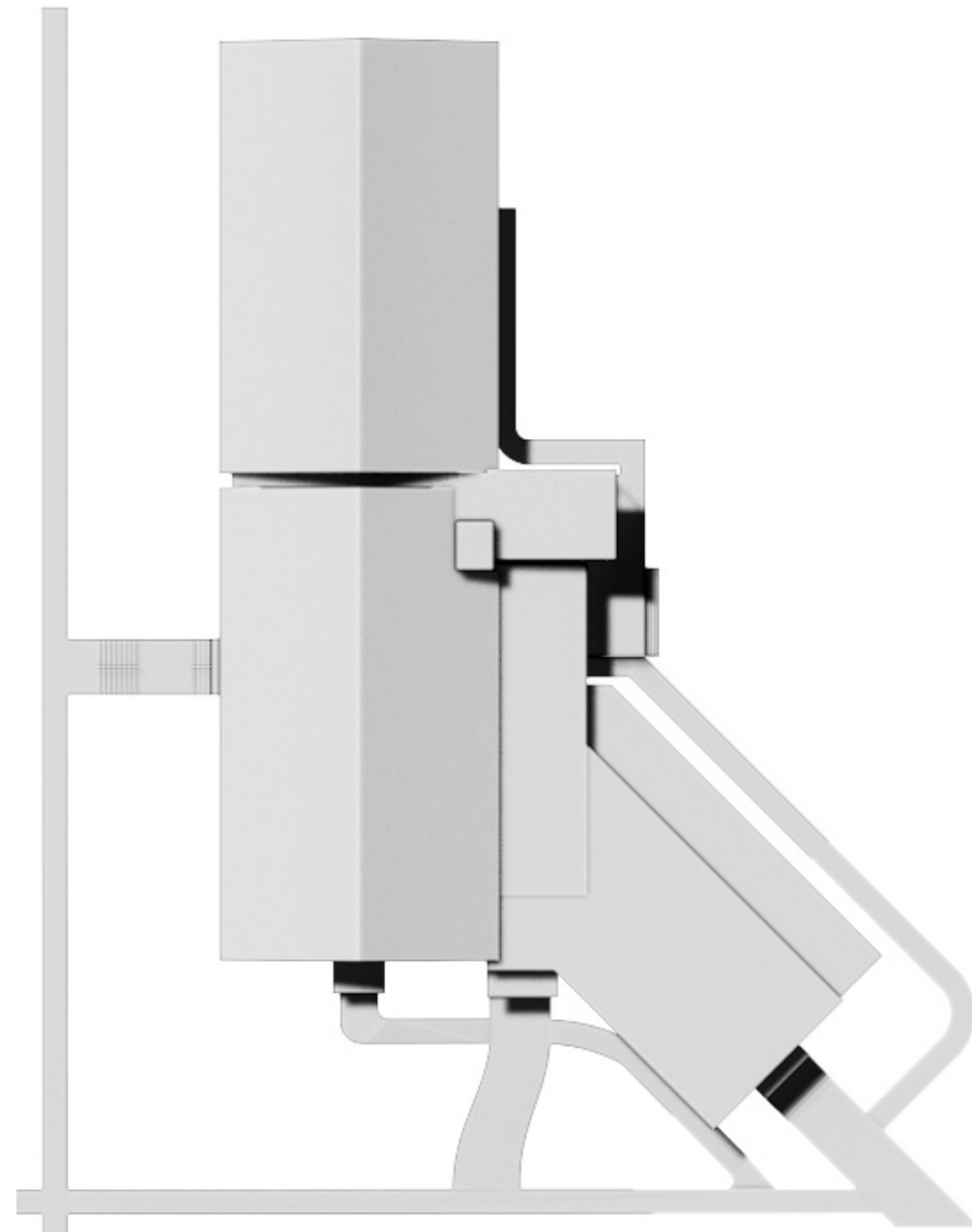
Greatly-enhanced lobby acts as building hub and allows for simultaneous functions in different spaces.

### Assumptions & Program

This plan shows a potential addition to the north of the current stage area, which caters to a general range of possible uses. It assumes a renovation and reconfiguration of the existing footprint as described in the previous options.

The program includes flexible, rentable space on the first floor, and a more formal, banquet- or dance-oriented use on the second floor.

The second floor of the addition incorporates administrative spaces, including offices and a board room. The first floor also houses spaces which serve the functions in the main "black box" theater, including set and costume production workshops and storage, and sound/AV work space.



Birds-eye View of Renovation with Addition

**DESIGN STRATEGY:**

**Clarify the Old and New**

How can new architecture celebrate the historic? Contemporary architectural actions on site can respect and uplift the historic character of the existing by establishing a clear relationship between the two.

Contemporary changes coexist as an architecture which is apart from but belonging to that which is already on the site.

The new architectural moves avoid facsimile through a strategic use of transparency in the building skin, contrasting with the historic masonry. An simplified separation between the existing footprint and an addition to the north, exaggerating the transition from historic to new.

The new architectural language can "follow the rules" established by what's there -- masonry construction, pairs of punched windows, the scale of construction, and the gable/flat roof geometries -- and also playfully break these rules.

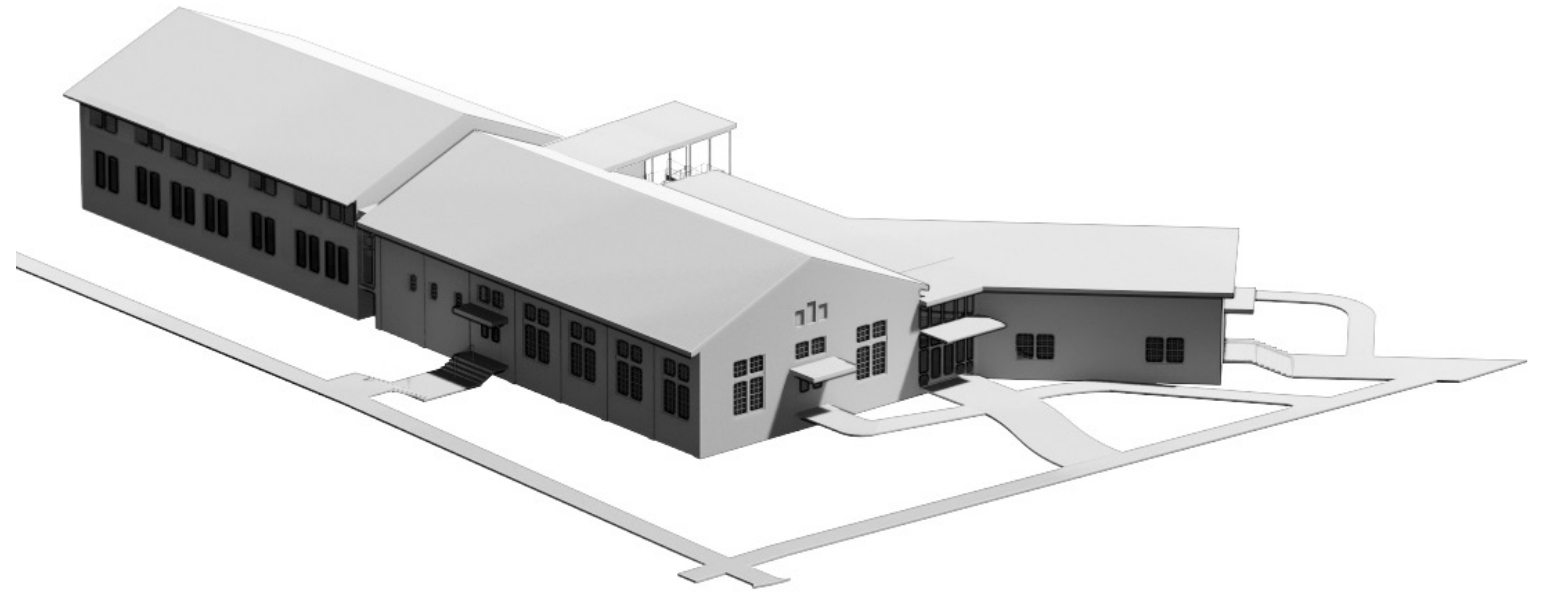
With these strategies, the design seeks to import value on what is pre-existing.



South Elevation with New Entry

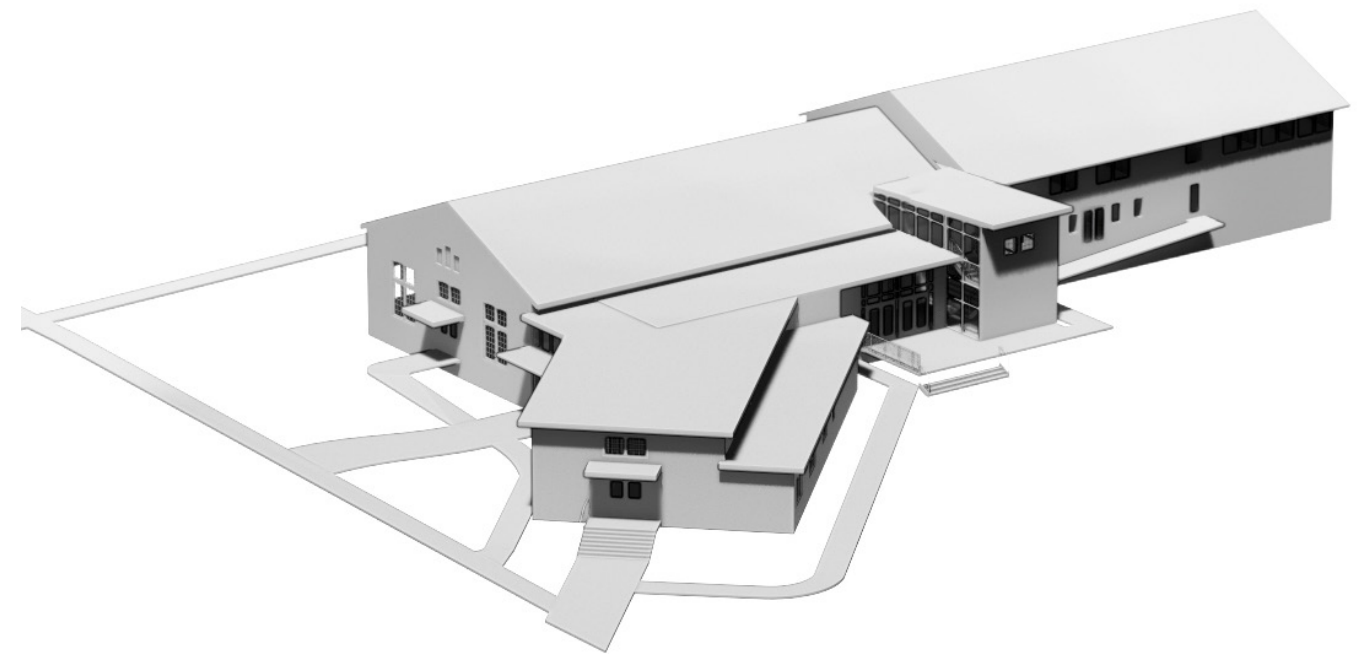


View from Northwest corner of property



Southeastern View of Renovation with Addition

The new architecture seeks to be a good host by presenting visitors with the story of the old.



Southwestern View of Renovation with Addition



Thelma Boltin Center Existing South Entrance



# Conceptual Renderings



Proposed South Entrance

# Conceptual Renderings



Proposed Lobby - View from New South Entrance



**Appendix**



# Program III: Addition Case Study

## Dance Alive! National Ballet or Other Performing Arts Partner

### Assumptions & Program

Current event space grows from a single activity hall to two multi-purpose halls plus outdoor garden space, plus two-story addition which caters directly to the needs of a performing arts partner, such as the Dance Alive! National Ballet.

Updated building systems and interior design.

Revised circulation and orientation.

Greatly-enhanced lobby acts as building hub and allows for simultaneous functions in different spaces.

An addition northward has potential to adapt its focus towards specific programmatic needs. This case study examines how the Addition could be fine-tuned to meet the needs of a performing arts partner such as the Dance Alive! National Ballet.

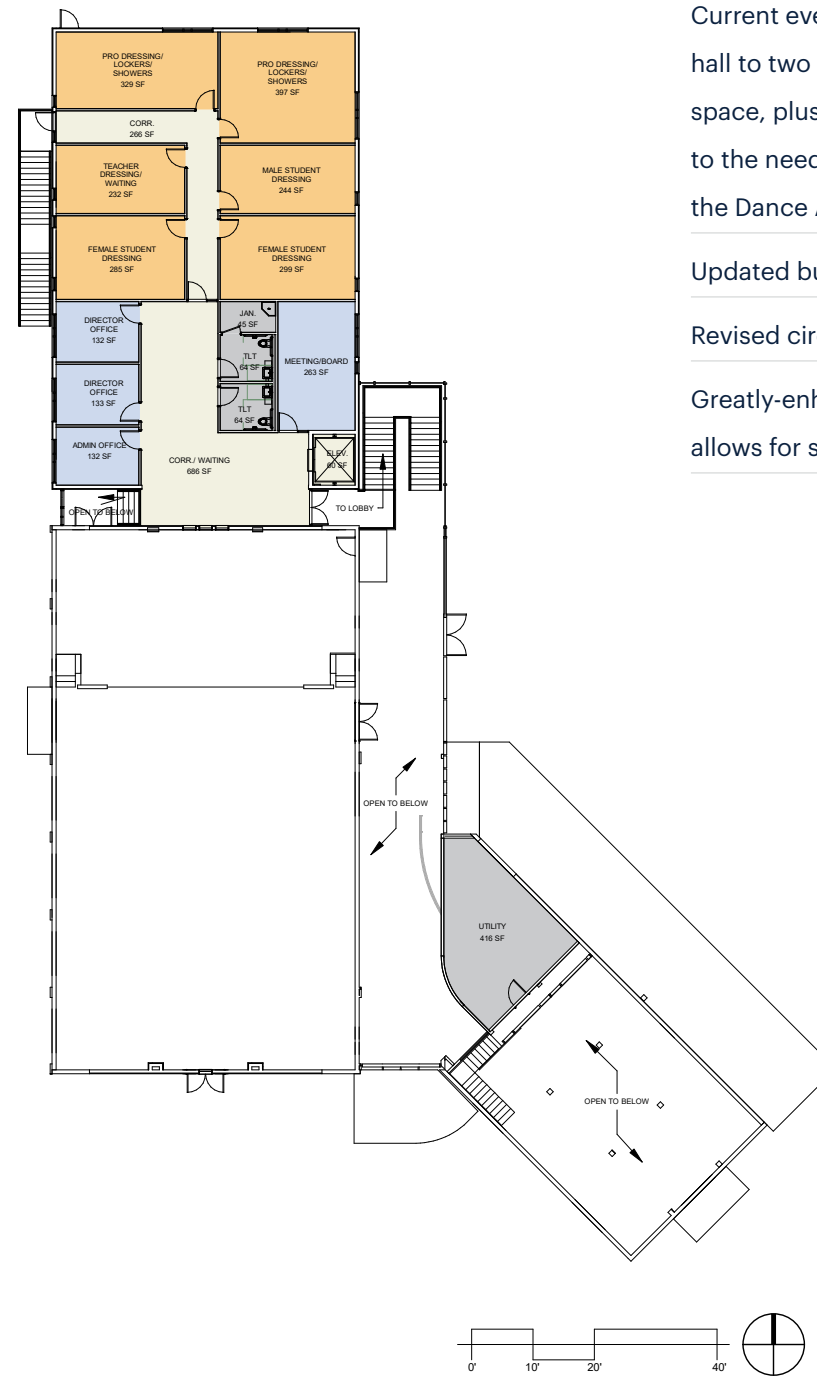
The program includes three large dance spaces: a new practice space in the addition, plus two spaces in the existing footprint.

The second floor of the addition is devoted to administration and dancer service spaces including dressing rooms, sound and video editing, and a conference room. The first floor serves the functions in the main "black box" theater, including set and costume production workshops and storage, a greenroom, and physical therapy space.

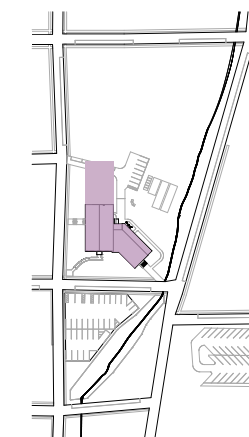
The design team recommends the retention of the existing stage, both out of recognition of the stage's role as part of the character-defining spaces within the historic building; and avoiding constructability complications resultant from removing the stage and re-grading beneath the space.



Level 1 Floor Plan - Case Study

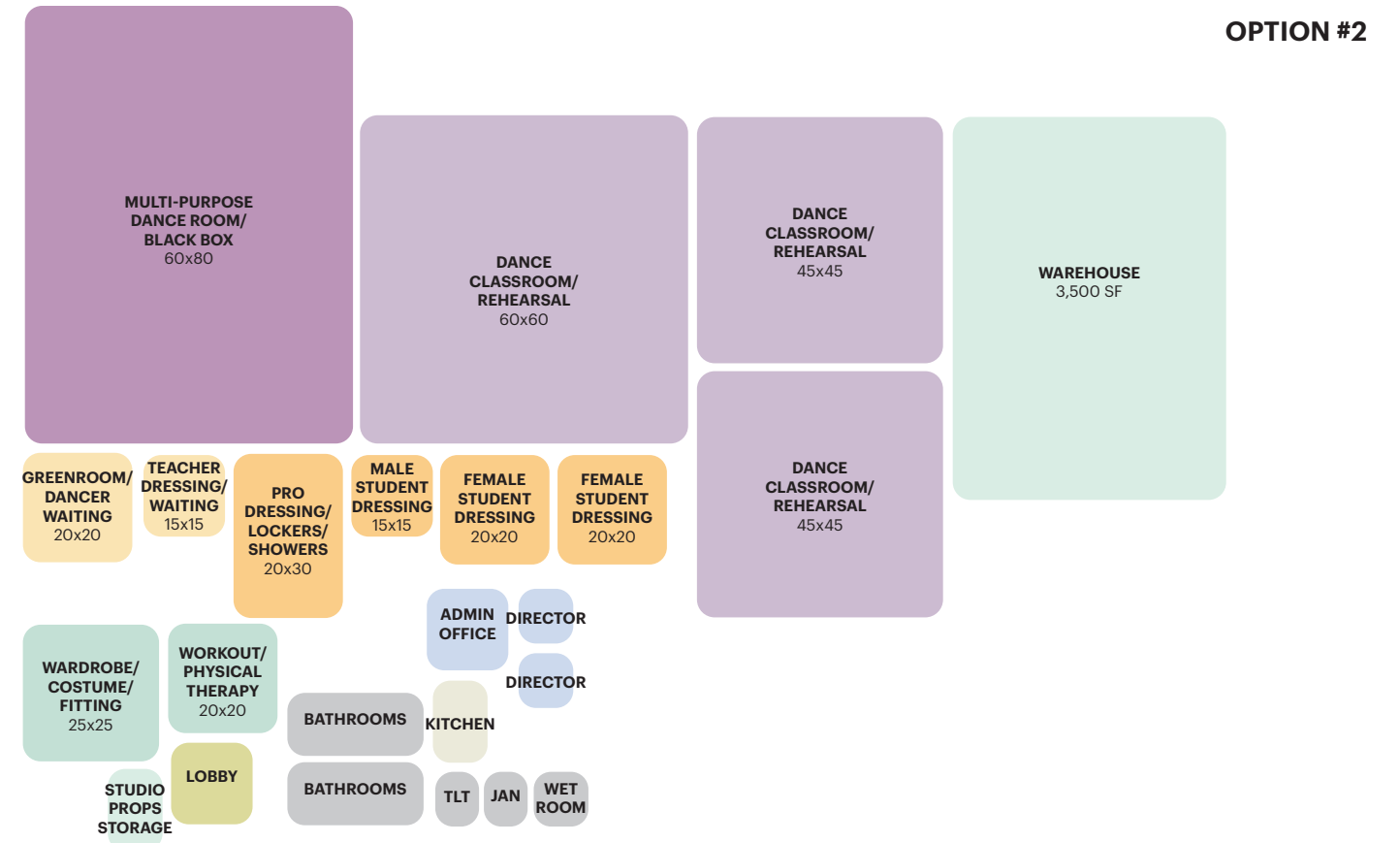
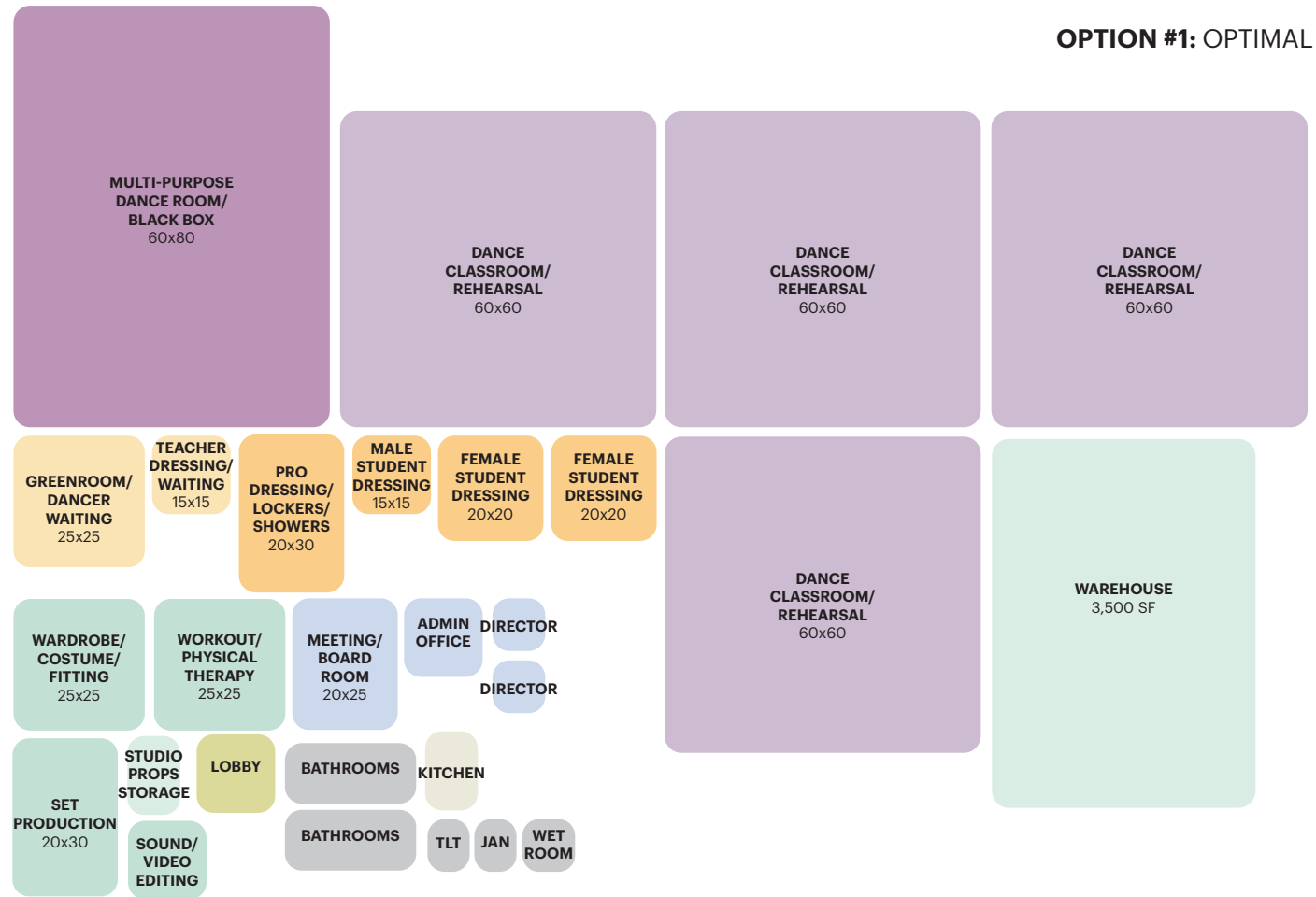


Level 2 Floor Plan - Case Study



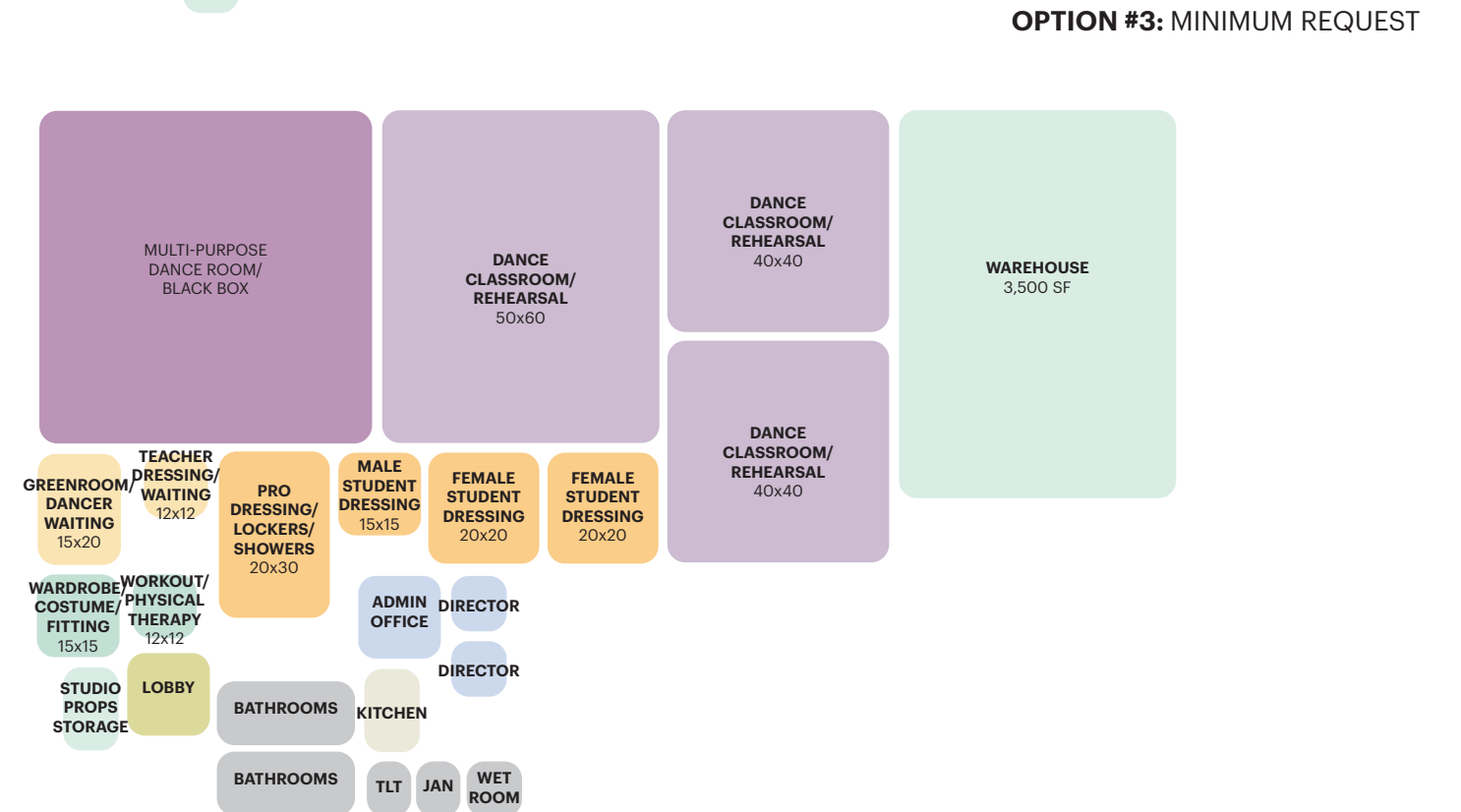
Key Plan

# Program Options

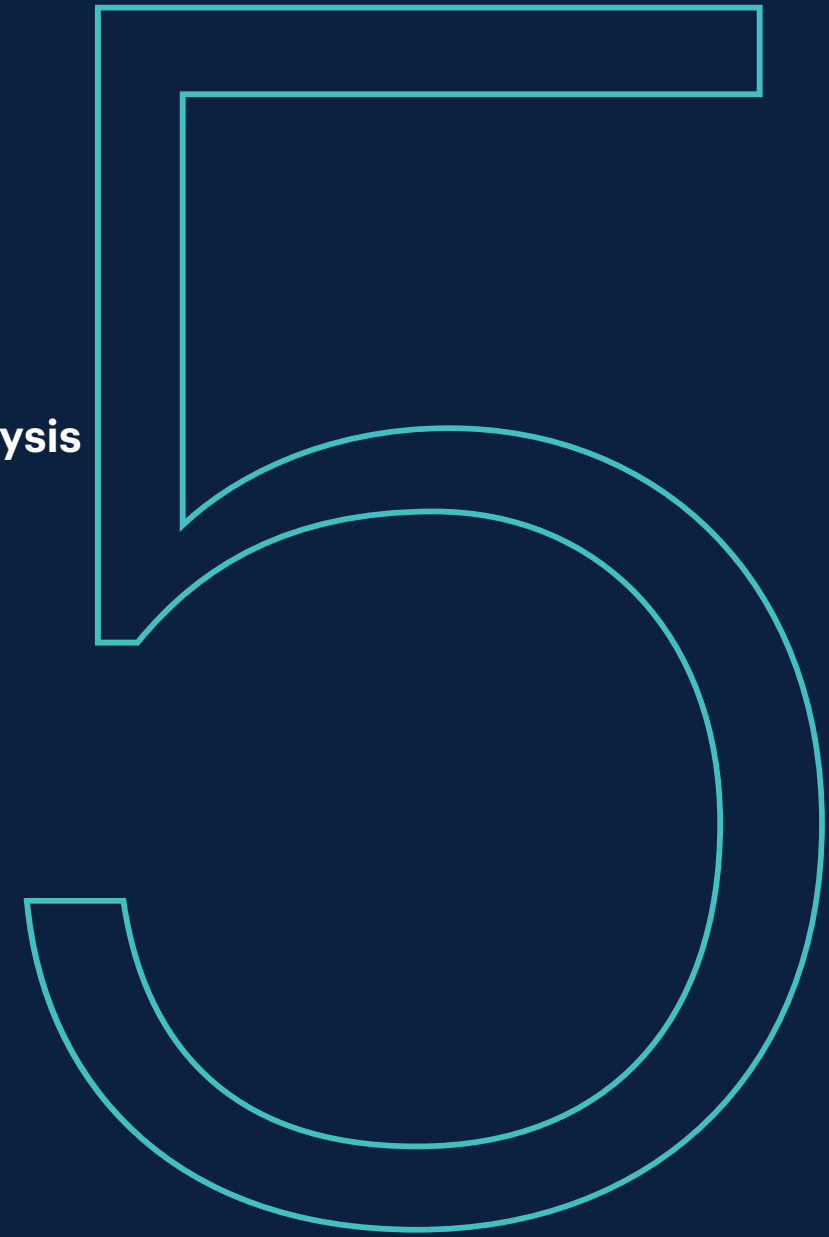


## Assumptions & Program

These program diagrams were discussed early on in user meetings to visualize differing scope and adjacency possibilities, particularly with the needs of the Dance Alive! National Ballet in mind.



**Cost Analysis**



# Cost Analysis

## WA 18126: Thelma Boltin Center - Renovation

8,000 GSF (Conditioned) GSF (Unconditioned)  
5/15/2019 **8,000 Total GSF**

Division	Division Number	Division Title	Number	Units	Cost/Unit	Cost
<b>Division 02 Demolition and Sitework</b>						
2	02 05 00	Demolition	8000	SF	\$10.00	\$80,000.00
		MEP Demolition (complete)	1	ls	\$25,000.00	\$25,000.00
		<b>Division 2 Subtotal</b>			<b>\$25,010.00</b>	<b>\$105,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 03 Concrete</b>						
3	03 30 00	Cast-In-Place Concrete Slab	1,000	SF	\$20.00	\$20,000.00
						Includes interior concrete stair and level.
		<b>Division 03 Subtotal</b>			<b>\$45.00</b>	<b>\$20,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 04 Masonry</b>						
4	04 20 00	Unit Masonry (Cmu Only)	0	SF	\$20.00	\$0.00
4	04 20 28	Masonry Patch and Repair	150	SF	\$40.00	\$6,000.00
		<b>Division 04 Subtotal</b>			<b>\$60.00</b>	<b>\$6,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 05 Metals</b>						
5	05 52 00	Metal Railings	130	SF	\$150.00	\$19,500.00
		<b>Division 05 Subtotal</b>			<b>\$174.00</b>	<b>\$19,500.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 06 Wood and Plastics</b>						
6	06 13 00	Wood Framing	40	SF	\$40.00	\$1,600.00
						Modification of existing stage for new wheelchair lift location.
6	06 41 04	Plastic Laminate Cabentry	35	LF	\$300.00	\$10,500.00
6	06 61 18	Solid Surface Fabrications	40	SF	\$50.00	\$2,000.00
		<b>Division 06 Subtotal</b>			<b>\$844.00</b>	<b>\$14,100.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 07 Thermal and Moisture Protection</b>						
7	07 52 00	Modified Bitumen Membrane Roofing	3900	SF	\$10.00	\$39,000.00
						Assumes patching flat roofing.
7	07 92 00	Joint Sealants	1	LS	\$8,000.00	\$8,000.00
		<b>Division 07 Subtotal</b>			<b>\$8,043.00</b>	<b>\$47,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 08 Doors and Windows</b>						
8	08 11 13	Hollow Metal Doors And Frames	10	ea	\$1,500.00	\$15,000.00
8	08 12 20	Aluminum Doors Frames	8		\$2,500.00	\$20,000.00
8	08 41 13	Aluminum-Framed Entrances & Storefronts	410	SF	\$55.00	\$22,550.00
		<b>Division 08 Subtotal</b>			<b>\$4,055.00</b>	<b>\$57,550.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 09 Finishes</b>						
9	09 21 16	Gypsum Board Assemblies	1,300	SF	\$20.00	\$26,000.00
9	09 30 00	Tiling	2185	SF	\$15.00	\$32,775.00
						535 SF flooring + 1650 wall tile
9	09 51 13	Acoustical Panel Ceilings	1700	SF	\$15.00	\$25,500.00
						Assumes APC in toilet rooms, kitchen, storage, admin office.
9	09 51 14	Acoustical Wall Panels (Whisper Walls)	2500	SF	\$30.00	\$75,000.00
						Assumes new wood floor in multi-purpose room. Assumes existing wood floor in dance hall is not to be replaced.
9	09 64 00	Wood Flooring	1200	SF	\$17.50	\$21,000.00
9	09 66 23	Resinous Matrix Terrazzo Flooring	1100	SF	\$20.00	\$22,000.00
9	09 68 13	Tile Carpeting	130	SF	\$4.50	\$585.00
9	09 90 00	Painting And Coating	15000	SF	\$2.00	\$30,000.00
						4250 SF stage, dance hall: repair existing wood flooring, expose and restore existing wood beams, repaint walls and ceiling.
9	09 99 00	Repair Existing Walls, Ceilings, Floors	1	ls	\$21,250.00	\$21,250.00
		<b>Division 09 Subtotal</b>			<b>\$21,384.00</b>	<b>\$254,110.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 10 Specialties</b>						
10	10 21 15	Plastic Toilet Compartments	8	ea	\$1,500.00	\$12,000.00
10	10 26 00	Wall And Corner Guards	1	LS	\$5,000.00	\$5,000.00
10	10 28 00	Toilet Accessories	1	LS	\$5,000.00	\$5,000.00
10	10 28 14	Baby Changing Stations	1	ea	\$1,000.00	\$1,000.00
10	10 44 00	Fire Extinguishers, Cabinets & Accessories	3	ea	\$250.00	\$750.00
		<b>Division 10 Subtotal</b>			<b>\$20,250.00</b>	<b>\$23,750.00</b>
					Cost/Unit Subtotal	Subtotal

Division	Division Number	Division Title	Number	Units	Cost/Unit	Cost
<b>Division 11 Equipment</b>						
11	11 31 00	Residential Appliances	3	ea	\$1,000.00	\$3,000.00
11	11 52 13	Projection Screens	2	ea	\$1,500.00	\$3,000.00
11	11 61 00	Theater and Stage Equipment	0	LS	\$0.00	\$0.00
						refridgerator, ice maker, dishwasher
						By Owner
		<b>Division 11 Subtotal</b>			<b>\$2,500.00</b>	<b>\$6,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 12 Furnishings</b>						
12	12 21 13	Blinds And Shades (Hunter Douglas)	7	ea	\$750.00	\$5,250.00
						Motorized Shades in Dance Room
		<b>Division 12 Subtotal</b>			<b>\$750.00</b>	<b>\$5,250.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 13 Subtotal</b>						
					<b>\$0.00</b>	<b>\$0.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 14 Conveying Systems (NOT USED)</b>						
14	14 42 00	Wheelchair Lifts	2	ea	\$2,000.00	\$4,000.00
						Assumes relocation. \$12000 each if new.
		<b>Division 14 Subtotal</b>			<b>\$2,000.00</b>	<b>\$4,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 31 Earthwork</b>						
31		Water Connection	1	LS	\$15,000.00	\$15,000.00
31		Septic System	1	LS	\$10,000.00	\$10,000.00
31		Stormwater System	1	LS	\$10,000.00	\$10,000.00
		<b>Division 31 Subtotal</b>			<b>\$35,000.00</b>	<b>\$35,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>Division 32 Landscape</b>						
32	32 90 00	Planting	1	LS	\$25,000.00	\$25,000.00
		Sidewalks	2100	SF	\$10.00	\$21,000.00
		<b>Division 32 Subtotal</b>			<b>\$25,010.00</b>	<b>\$46,000.00</b>
					Cost/Unit Subtotal	Subtotal
<b>MEPF SYSTEMS</b>						
<b>Division 21 Fire Protection</b>						
21	21 20 00	Sprinklers	8227	SF	\$3.00	\$24,681.00
		Backflow Preventer	1	ea	\$6,000.00	\$6,000.00
21	21 20 00	Sprinkler Site Piping	125	LS	\$75.00	\$9,375.00
		<b>Fire Protection Total:</b>			<b>\$6,078.00</b>	<b>\$34,056.00</b>
<b>Division 22 Plumbing</b>						
22		Water Heating System	1	LS	\$5,500.00	\$5,500.00
22	22 42 10	Plumbing Fixtures	19	ea	\$2,700.00	\$51,300.00
22		Storage/Mechanical drainage	1	LS	\$2,500.00	\$2,500.00
22		Sanitary System	1	LS	\$12,000.00	\$12,000.00
22	22 47 00	DCW distribution	1	ea	\$8,000.00	\$8,000.00
		<b>Plumbing Total:</b>			<b>\$30,700.00</b>	<b>\$79,300.00</b>
<b>Division 23 Heating, Ventilation, and Air Condition</b>						
23	23 00 00	Assembly area HVAC	4276	SF	\$25.00	\$106,900.00
23		Lobby/Amenity HVAC	2731	SF	\$30.00	\$81,930.00
23		Toilet Room HVAC	534	SF	\$20.00	\$10,680.00
23		Storage/Mech Space	686	SF	\$18.00	\$12,348.00
23		Commissioning	1	LS	\$5,000.00	\$5,000.00
23	23 00 00	Test and Balance	1	LS	\$5,000.00	\$5,000.00
		<b>HVAC Total:</b>			<b>\$10,093.00</b>	<b>\$221,858.00</b>
<b>Division 26 Electrical</b>						
26	26 51 00	Utility Allowance (new transformer)	1	ea	\$15,000.00	\$15,000.00
26		Site Power	1	LS	\$8,500.00	\$8,500.00
26		Lighting	8227	SF	\$10.00	\$82,270.00
26		Power	8227	SF	\$15.00	\$123,405.00
8		Fire Alarm	8227	SF	\$4.00	\$32,908.00
8		Data Rough-In	8227	SF	\$2.00	\$16,454.00
26	26 56 10	Exterior Lighting	1	ea	\$15,000.00	\$15,000.00
		<b>Electrical Total:</b>			<b>\$38,531.00</b>	<b>\$293,537.00</b>
<b>IT &amp; A/V</b>						
		IT Allowance	1	LS	\$15,000.00	\$15,000.00
		A/V Allowance	1	LS	\$12,000.00	\$12,000.00
		<b>IT &amp; A/V Total:</b>			<b>\$27,000.00</b>	<b>\$27,000.00</b>
		<b>MEPF SUBTOTAL</b>			<b>\$112,402.00</b>	<b>\$655,751.00</b>
					Cost/Unit Subtotal	Subtotal

<b>Divisions 02-31 and MEPF SUBTOTAL:</b>		<b>\$257,527.00</b>	<b>\$1,299,011.00</b>
		Cost/Unit Subtotal	Subtotal
Contingency/ Escalation to 4th Quarter 2020	20%		\$259,802.20
Sub-Total w. Contingency Contractor's OH&P			\$1,558,813.20
Professional Design Fee	21%		\$327,350.77
	9%		\$169,754.76
<b>ESTIMATED TOTAL:</b>			<b>\$2,055,918.73</b>
<b>Rounded Value:</b>			<b>\$2,056,000.00</b>

\*Note: 1% escalation per month should be factored into total project costs beyond 4th Quarter 2020



Cost Analysis

WA 18126: Thelma Boltin Center - Renovation with small addition

8,540 GSF (Conditioned) 3,400 GSF (Unconditioned)
5/15/2019 11,940 Total GSF

Table listing construction items for Divisions 02 through 09. Includes columns for Division Number, Division Title, Number, Units, Cost/Unit, and Cost. Subtotals are provided for each division.

Table listing construction items for Divisions 10 through 23. Includes columns for Division Number, Division Title, Number, Units, Cost/Unit, and Cost. Subtotals are provided for each division. Includes a sub-total for Divisions 02-14, 31, 32.

Table listing construction items for Division 26 (Electrical) and IT & AV. Includes columns for Division Number, Division Title, Number, Units, Cost/Unit, and Cost. Subtotals are provided.

Summary table showing MEPF Subtotal and Divisions 02-31 and MEPF Subtotal with their respective costs.

Table listing contingency and other fees, including Contingency/Escalation, Contractor's OH&P, and Professional Design Fee.

Summary table showing ESTIMATED TOTAL and Rounded Value.

\*Note: 1% escalation per month should be factored into total project costs beyond 4th Quarter 2020

# Cost Analysis

## WA 18126: Thelma Boltin Center - Addition

9,200 GSF (Conditioned) 0 GSF (Unconditioned)  
6/7/2019 9,200 Total GSF

Division	Division Number	Division Title	Number	Units	Cost/Unit	Cost	
<b>Division 02 Demolition and Sitework</b>							
2	02 05 00	Demolition	70	SF	\$10.00	\$700.00	
2	02 20 00	Earthwork For Buildings	4500	SF	\$5.00	\$22,500.00	
2	02 91 80	Root Barriers	0	SF	\$0.00	\$0.00	
		<b>Division 2 Subtotal</b>			<b>\$15.00</b>	<b>\$23,200.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 03 Concrete</b>							
3	03 30 00	Cast-in-Place Concrete Slab	4,600	SF	\$20.00	\$92,000.00	
		Cast-in-place concrete slab (2nd level floor)	4,600		\$15.00	\$69,000.00	
		<b>Division 3 Subtotal</b>			<b>\$60.00</b>	<b>\$161,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 04 Masonry</b>							
4	04 20 18	Unit Masonry Assemblies (Reinforced CMU & Brick)	5500	SF	\$30.00	\$165,000.00	
4	04 20 28	Masonry Patch and Repair	50	SF	\$40.00	\$2,000.00	
		<b>Division 4 Subtotal</b>			<b>\$90.00</b>	<b>\$167,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 05 Metals</b>							
5	05 12 00	Structural Steel Framing	4500	SF	\$20.00	\$90,000.00	1 row of columns and beam; Level 02 floor joists.
5	05 40 00	Cold-Formed Metal Framing	4500	SF	\$15.00	\$67,500.00	CFMF Trusses for roof.
5	05 51 00	Metal Stairs (Exterior)	1	LS	\$10,000.00	\$10,000.00	
5	05 51 00	Metal Stairs	1	LS	\$15,000.00	\$15,000.00	
5	05 52 00	Metal Railings	100	SF	\$150.00	\$15,000.00	
		<b>Division 5 Subtotal</b>			<b>\$25,189.00</b>	<b>\$197,500.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 06 Wood and Plastics</b>							
6	06 41 00	Architectural Wood Casework	28	LF	\$400.00	\$11,200.00	Conference Room Casework.
6	06 61 18	Solid Surface Fabrications	40	SF	\$50.00	\$2,000.00	
		<b>Division 6 Subtotal</b>			<b>\$804.00</b>	<b>\$13,200.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 07 Thermal and Moisture Protection</b>							
7	07 21 16	Blanket Insulation	9900	SF	\$1.50	\$14,850.00	Roof, perimeter walls
7	07 21 24	Extruded Polystyrene XPS	5400	SF	\$1.50	\$8,100.00	Perimeter walls
7	07 27 27	Fluid-Applied Membrane Air Barriers	5400	SF	\$4.29	\$23,166.00	Perimeter walls
7	07 71 20	Gutters and Downspouts	180	LF	\$3.00	\$540.00	
7	07 92 00	Joint Sealants	1	LS	\$8,000.00	\$8,000.00	
		<b>Division 7 Subtotal</b>			<b>\$8,043.29</b>	<b>\$141,656.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 08 Doors and Windows</b>							
8	08 11 13	Hollow Metal Doors And Frames	27	ea	\$1,500.00	\$40,500.00	
8	08 12 20	Aluminum Doors Frames	4		\$2,500.00	\$10,000.00	
8	08 41 13	Aluminum-Framed Entrances & Storefronts	1400	SF	\$55.00	\$77,000.00	
8	08 41 16	Aluminum-Framed Folding Panel System (Nana Wall)	30	LF	\$1,000.00	\$30,000.00	
8	08 51 13	Aluminum Windows	750	SF	\$55.00	\$41,250.00	
		<b>Division 8 Subtotal</b>			<b>\$5,110.00</b>	<b>\$198,750.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 09 Finishes</b>							
9	09 21 16	Gypsum Board Assemblies	16,000	SF	\$20.00	\$320,000.00	
9	09 30 00	Tiling	2800	SF	\$15.00	\$42,000.00	
9	09 51 13	Acoustical Panel Ceilings	2000	SF	\$15.00	\$30,000.00	Assumes APC in dressing rooms, toilet rooms, storage, admin offices, sound/video editing.
9	09 51 14	Acoustical Wall Panels (Whisper Walls)	80	SF	\$30.00	\$2,400.00	Acoustic treatment, Sound/Video Editing
9	09 64 00	Wood Flooring	6277	SF	\$17.50	\$109,847.50	Assumes new wood floor in multi-purpose room, corridor, greenroom on 1st level. Assumes existing wood floor in dance hall is not to be replaced.
9	09 66 23	Resinous Matrix Terrazzo Flooring	550	SF	\$20.00	\$11,000.00	New Lobby Space Terrazzo.
9	09 68 13	Tile Carpeting	3253	SF	\$4.50	\$14,638.50	Assumes tile carpeting in sound/video editing room on 1st level. Assumes tile carpeting in all second floor spaces besides traffic areas and utility/toilet rooms.
9	09 90 00	Painting And Coating	16000	SF	\$2.00	\$32,000.00	
9	09 99 00	Repair Existing Walls, Ceilings, Floors	1	SF	\$21,250.00	\$21,250.00	4250 SF stage, dance hall: repair existing wood flooring, expose and restore existing wood beams, repaint walls and ceiling.
		<b>Division 9 Subtotal</b>			<b>\$21,374.00</b>	<b>\$583,136.00</b>	

<b>Division 10 Specialties</b>							
10	10 21 15	Plastic Toilet Compartments	8	ea	\$1,500.00	\$12,000.00	
10	10 26 00	Wall And Corner Guards	1	LS	\$5,000.00	\$5,000.00	
10	10 28 00	Toilet Accessories	1	LS	\$5,000.00	\$5,000.00	
10	10 28 14	Baby Changing Stations	1	ea	\$1,000.00	\$1,000.00	
10	10 44 00	Fire Extinguishers, Cabinets & Accessories	3	ea	\$250.00	\$750.00	
		<b>Division 10 Subtotal</b>			<b>\$20,250.00</b>	<b>\$23,750.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 11 Equipment</b>							
11	11 31 00	Residential Appliances	2	ea	\$1,000.00	\$2,000.00	
11	11 52 13	Projection Screens	6	ea	\$1,500.00	\$9,000.00	
		<b>Division 11 Subtotal</b>			<b>\$2,500.00</b>	<b>\$11,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 12 Furnishings</b>							
12	12 21 13	Blinds And Shades (Hunter Douglas)	12	ea	\$750.00	\$9,000.00	Motorized Shades
		<b>Division 12 Subtotal</b>			<b>\$750.00</b>	<b>\$9,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 14 Conveying Systems</b>							
14	14 24 23	Hydraulic Passenger Elevators	1	ea	\$130,000.00	\$130,000.00	
		<b>Division 14 Subtotal</b>			<b>\$130,000.00</b>	<b>\$130,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 31 Earthwork</b>							
31	31 20 00	Clearing/Grading	1	LS	\$15,000.00	\$15,000.00	
31		Grading and Drainage	1	LS	\$15,000.00	\$15,000.00	
31		Water Connection	1	LS	\$0.00	\$0.00	
31		Septic System	1	LS	\$0.00	\$0.00	
31		Stormwater System	1	LS	\$0.00	\$0.00	
		<b>Division 31 Subtotal</b>			<b>\$30,000.00</b>	<b>\$30,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
<b>Division 32 Landscape</b>							
32	32 90 00	Planting	1	LS	\$15,000.00	\$15,000.00	
		<b>Division 32 Subtotal</b>			<b>\$15,000.00</b>	<b>\$15,000.00</b>	
					Cost/Unit Subtotal	Subtotal	
						<b>Division 02-14,31,32</b>	
						<b>Sub-total:</b> Cost/Unit Subtotal	
						<b>\$259,185.29</b> <b>\$1,704,192.00</b>	
<b>MEPF SYSTEMS</b>							
Division	Division Number	Division Title	Number	Units	Cost/Unit	Cost	
<b>Division 21 Fire Protection</b>							
21	21 20 00	Sprinklers	9200	SF	\$3.00	\$27,600.00	
		<b>Fire Protection Total:</b>			<b>\$3.00</b>	<b>\$27,600.00</b>	
<b>Division 22 Plumbing</b>							
22		Water Heating System	1	LS	\$3,000.00	\$3,000.00	
22	22 42 10	Plumbing Fixtures	23	ea	\$2,700.00	\$62,100.00	
22		Storage/Mechanical Drainage	1	LS	\$1,000.00	\$1,000.00	
22	22 47 00	Sanitary System	1	LS	\$5,000.00	\$5,000.00	
		<b>Plumbing Total:</b>			<b>\$11,700.00</b>	<b>\$71,100.00</b>	
<b>Division 23 Heating, Ventilation, and Air Condition</b>							
23	23 00 00	Assembly area HVAC	2800	SF	\$25.00	\$70,000.00	
23		Lobby/Amenity HVAC	5780	SF	\$30.00	\$173,400.00	
23		Toilet Room HVAC	370	SF	\$20.00	\$7,400.00	
23		Storage/Mech Space	50	SF	\$18.00	\$900.00	
23		Commissioning	1	LS	\$5,000.00	\$5,000.00	
23		Test and Balance	1	LS	\$5,000.00	\$5,000.00	
		<b>HVAC Total:</b>			<b>\$10,093.00</b>	<b>\$261,700.00</b>	
<b>Division 26 Electrical</b>							
26	26 51 00	Lighting	9200	SF	\$10.00	\$92,000.00	
26		Power	9200	SF	\$15.00	\$138,000.00	
26		Fire Alarm	9200	SF	\$4.00	\$36,800.00	
26		Data Rough-In	9200	SF	\$2.00	\$18,400.00	
26	26 56 10	Exterior Lighting	1	ea	\$7,000.00	\$7,000.00	
		<b>Electrical Total:</b>			<b>\$7,031.00</b>	<b>\$292,200.00</b>	
						<b>MEPF SUBTOTAL</b> Cost/Unit Subtotal	
						<b>\$28,827.00</b> <b>\$652,600.00</b>	

<b>MEPF SUBTOTAL</b>			<b>\$28,827.00</b>	<b>\$652,600.00</b>
			Cost/Unit Subtotal	Subtotal
<b>Divisions 02-31 and MEPF SUBTOTAL:</b>				
			<b>\$288,012.29</b>	<b>\$2,356,792.00</b>
			Cost/Unit Subtotal	Subtotal
Contingency/ Escalation to 4th Quarter 2020	20%			\$471,358.40
				<b>\$471,358.40</b>
Sub-Total w. Contingency				\$2,828,150.40
Contractor's OH&P				\$593,911.58
Professional Design Fee				\$307,985.58
<b>ESTIMATED TOTAL:</b>				<b>\$3,730,047.56</b>
<b>Rounded Value:</b>				<b>\$3,731,000.00</b>

\*Note: 1% escalation per month should be factored into total project costs beyond 4th Quarter 2020