

# THELMA A BOLTIN CENTER / HISTORIC GAINESVILLE

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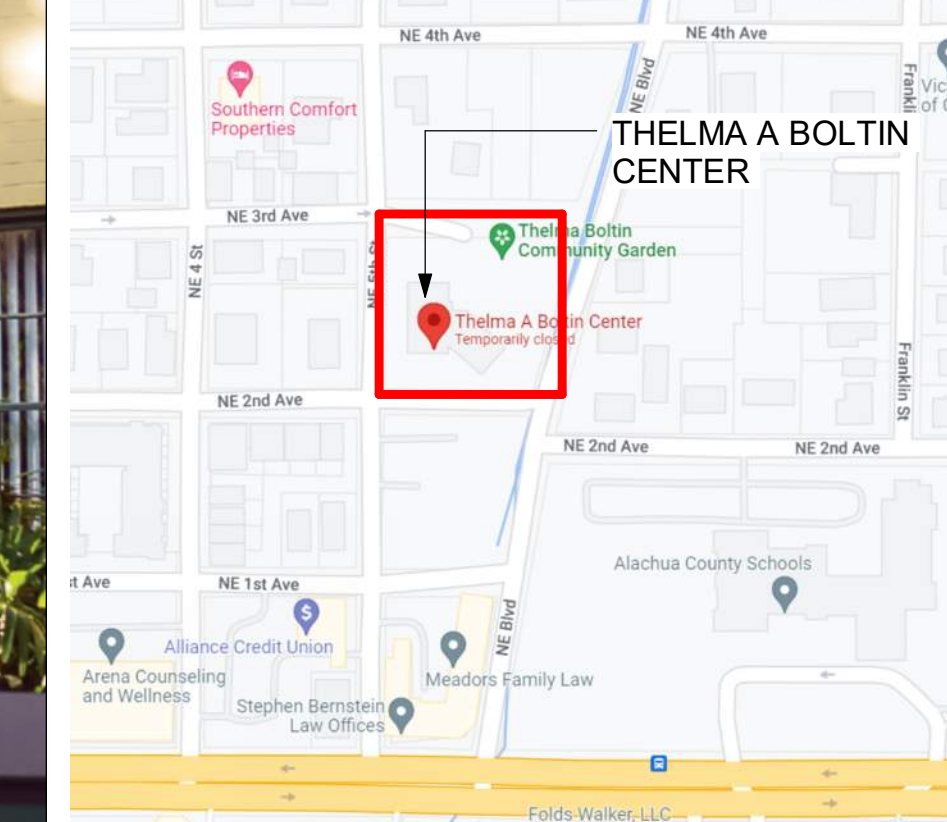
**STRUCTURAL ENGINEER**

**ONM & J STRUCTURAL ENGINEERS**  
JOE MINCUZZI,  
1655 PALM BEACH LAKES BLVD., SUITE 204  
WEST PALM BEACH, FL 33401

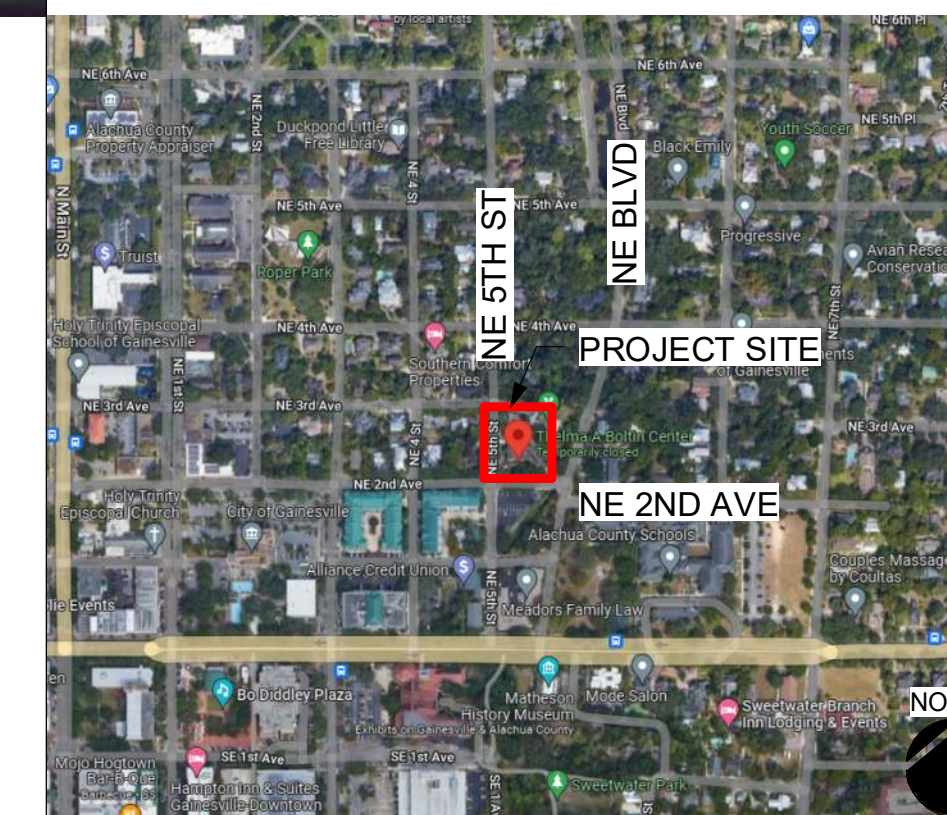
**SCOPE OF WORK**

EXISTING CONDITIONS PLANS /  
CONCEPTUAL - ADA ACCESSIBILITY/  
STRUCTURAL ANALYSIS / CIVIL ANALYSIS  
HISTORIC PRESERVATION

**LOCATION MAP**



**MACRO - LOCATION**



**516 NE 2ND AVE, GAINESVILLE, FL 32601**

VIEW N. W. CORNER

**Sheet List**

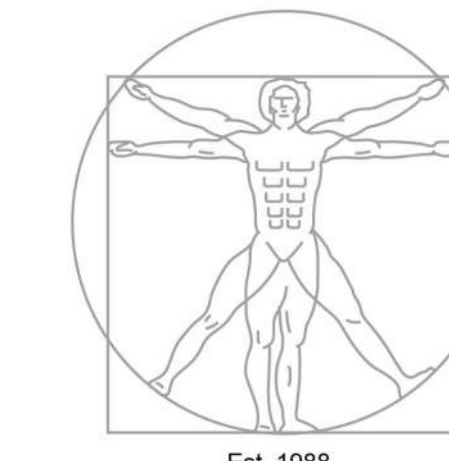
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SPECIAL THANKS TO THE STATE OF FLORIDA DEPARTMENT OF STATE HISTORIC RESOURCES GRANT & CITY OF GAINESVILLE, FLORIDA

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Architects  
Interiors  
Planners



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**THELMA A BOLTIN CENTER /  
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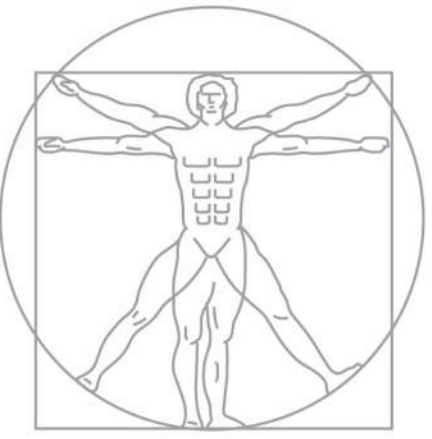
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COVER SHEET



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HISTORICAL SIGNIFICANCE



VIEW FROM THE STAGE DURING A DANCE. EXISTING WOOD BEAMS VISIBLE ABOVE HEIGHT OF CURRENT INSTALLED ACOUSTIC CEILING TILES.

VIEW FROM SOUTH ENTRANCE TOWARDS STAGE DURING A SERVICEMEN'S DANCE.



THELMA A BOLTIN SIGNAGE



SIGNAGE HISTORICAL PRESERVATION SIGNIFICANCE, 2008

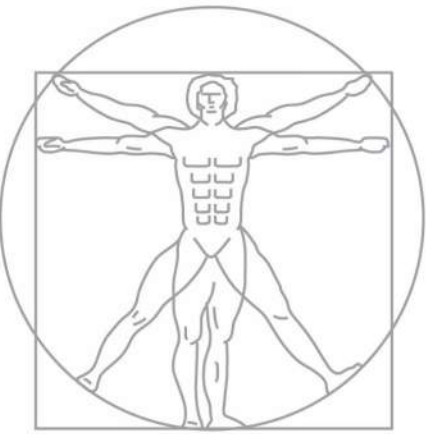


VIEW FROM THE SOUTH MAIN ENTRANCE

## HISTORIC SIGNIFICANCE OF GAINESVILLE HISTORIC / THELMA A BOLTIN CENTER

The Thelma Boltin Center is an active City of Gainesville Parks, Recreations and Culture Affairs recreation amenity. It is a historic building located on a 2-acre site in the Gainesville North-East Historic District at 516 NE 2nd Ave. Originally built in 1942 to serve as a USO for service man and women from bases around Gainesville, the city later converted the building into a multipurpose facility. The Center now serves a wide variety of events, including dance groups, music recitals, concerts, family and social events, and political debates.





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SURVEY

**BOUNDARY & TOPOGRAPHIC SURVEY**

SITUATED IN  
SECTION 4, TOWNSHIP 10 SOUTH, RANGE 20 EAST  
CITY OF GAINESVILLE  
ALACHUA COUNTY, FLORIDA

LEGAL DESCRIPTION: AS FURNISHED

BLOCK 8, RANGE 6, OF THE ORIGINAL SURVEY OF THE CITY OF GAINESVILLE, FLORIDA, AS PER PLAT RECORDED IN DEED BOOK "H", PAGE 383, OF THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

**NOTES**

• THIS SURVEY IS A GRAPHIC DEPICTION OF THE CURRENT BOUNDARY AND VISIBLE IMPROVEMENTS IN ACCORDANCE WITH THE LEGAL DESCRIPTION SHOWN HEREON AND MAY NOT REFLECT OWNERSHIP. NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS, OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.

• THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON THAT MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. THE UNDERSIGNED HAS NOT PERFORMED AN INDEPENDENT SEARCH FOR ADDITIONAL RECORDS.

• THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 20' OR SMALLER.

• THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS; THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.

• "CERTIFICATION" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR AND MAPPER BASED ON THE SURVEYOR AND MAPPER'S KNOWLEDGE AND INFORMATION, AND THAT IT IS NOT A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED.

• THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE F. YOUNG, INC. AND THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER.

• UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF GEORGE F. YOUNG, INC. AND THE UNDERSIGNED PROFESSIONAL SURVEYOR AND MAPPER.

• ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

• THIS SURVEY IS VALID AS TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE.

• THIS SURVEY MAP AND REPORT (IF APPLICABLE) OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

• BASIS OF BEARINGS: N88°36'18"E ASSUMED ALONG THE NORTH LINE OF BLOCK 8, RANGE 6 DEED BOOK "H", PAGE 383 AS RECORDED IN THE PUBLIC RECORDS OF ALACHUA COUNTY, FLORIDA.

• THIS SURVEY PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP, EASEMENTS OR RIGHTS OF WAY WERE FURNISHED TO THE UNDERSIGNED, UNLESS OTHERWISE SHOWN HEREON.

• GEORGE F. YOUNG, INC. AND THE UNDERSIGNED MAKE NO REPRESENTATIONS OR GUARANTEES PERTAINING TO EASEMENTS, RIGHT-OF-WAY, SET BACK LINES, RESERVATIONS AND AGREEMENTS.

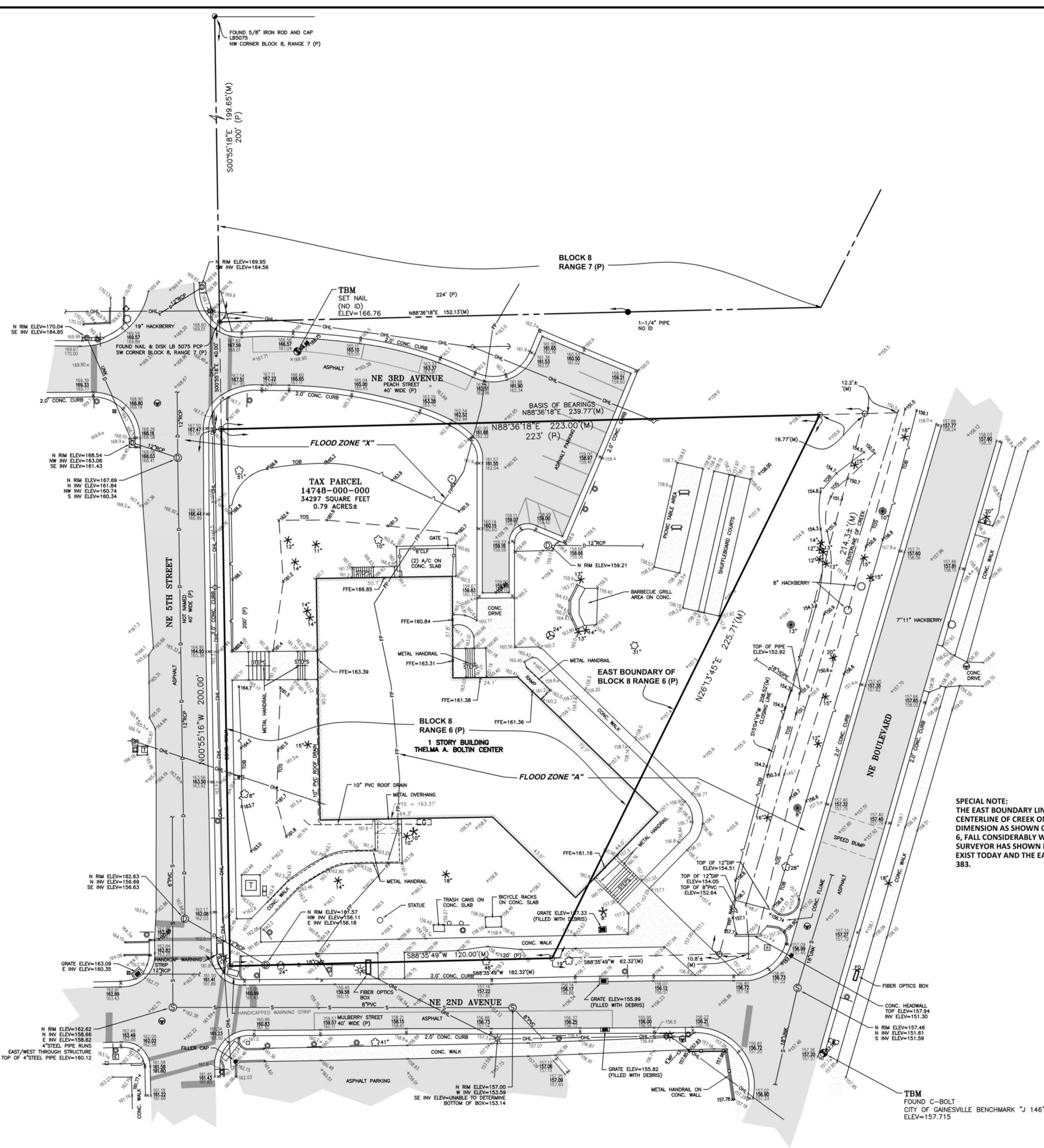
• NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.

• AS PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 220010314D, COMMUNITY NUMBER 125107, PANEL 0314, SUFFIX D, EFFECTIVE DATE OF JUNE 16, 2006, THE ABOVE-DESCRIBED PROPERTY APPEARS TO BE IN ZONE X. (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), AND ZONE "A" (AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD WITH NO BASE FLOOD ELEVATION DETERMINED).

• UNDERGROUND UTILITIES SHOWN ARE BASED ON ABOVE-GROUND EVIDENCE AND SURFACE MARKING FOUND DURING THIS SURVEY. THERE MAY BE OTHER UNDERGROUND INSTALLATIONS WITHIN OR NEAR THE SUBJECT PROPERTY WHICH WERE NOT LOCATED AND ARE NOT SHOWN. UTILITIES SHOWN HEREON ARE NOT TO BE USED FOR CONSTRUCTION AND DO NOT NECESSARILY INDICATE AVAILABILITY.

• FORTY-EIGHT (48) HOURS BEFORE DIGGING, BORING, PILE-DRIVING, PLANTING, ETC. NOTIFY SUNSHINE 811 BY CALLING 811 SO THAT UNDERGROUND UTILITIES MAY BE FIELD SPOTTED.

• ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK USED: CITY OF GAINESVILLE "J 146" HAVING A PUBLISHED, ADJUSTED ELEVATION OF 157.715 FEET (NAVD 88). INFORMATION OBTAINED FROM THE CITY OF GAINESVILLE.



**LEGEND**

○	BENCH
□	CABLE TV SERVICE BOX
○	CLEANOUT
□	ELECTRICAL SERVICE BOX
⊕	FIRE HYDRANT
⊕	LIGHT POLE - WOOD
⊕	MANHOLE, DRAINAGE
⊕	MANHOLE, SANITARY
⊕	METER, ELECTRIC
⊕	METER, WATER
⊕	MISC. POST
⊕	POWER POLE - WOOD
⊕	SIGN, DOUBLE SUPPORT
⊕	SIGN, SINGLE SUPPORT
⊕	TELEPHONE PEDESTAL
⊕	TRANSFORMER
⊕	VALVE COVER, SANITARY
⊕	VALVE COVER, WATER
⊕	WITNESS - FIBER OPTIC

**TREE LEGEND**

○	TREE ELM
○	TREE INCLUDES TYPE
○	TREE HOLLY
○	TREE MAPLE
○	TREE OAK
○	TREE PALM
○	TREE PECAN
○	TREE PINE

**ABBREVIATIONS**

A/C	AIR CONDITIONER
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
ELEV	ELEVATION
FFE	FLOOR ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE PIPE
ID	IDENTIFICATION
INV	INVERT
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
(M)	MEASURED
(P)	DEED BOOK "H" PAGE 383
PLS	PROFESSIONAL LAND SURVEYOR
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
TBM	TEMPORARY BENCH MARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
UNK	UNKNOWN
DIP	DUCTILE IRON PIPE
○	OVERHEAD UTILITY LINES
○	SANITARY SEWER PIPE
○	STORM DRAINAGE PIPE
○	FLOOD ZONE LINE

**SPECIAL NOTE:**  
THE EAST BOUNDARY LINE OF BLOCK 8, RANGE 6, IS INDICATED AS THE CENTERLINE OF CREEK ON DEED BOOK "H", PAGE 383, HOWEVER THE DIMENSION AS SHOWN ON THE NORTH AND SOUTH LINES OF BLOCK 8, RANGE 6, FALL CONSIDERABLY WEST OF THE CREEK AS IT EXISTS TODAY. THIS SURVEYOR HAS SHOWN BOTH THE CENTERLINE OF THE EXISTING CREEK AS IT EXISTS TODAY AND THE EAST LINE AS SHOWN ON THE DEED BOOK "H", PAGE 383.

NO.	BY	DATE	DESCRIPTION	NO.	BY	DATE	DESCRIPTION
1				1			
2				2			
3				3			
4				4			
5				5			

**George F. Young, Inc.**  
1905 SOUTH MAIN STREET GAINESVILLE, FLORIDA 32601-8429  
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**THELMA BOLTIN CENTER**  
BOUNDARY AND TOPOGRAPHIC SURVEY  
SECTION 4, TOWNSHIP 10 S., RANGE 20 E.

DATE: STACY A. HALL PSM LS 3784

JOB NO. 21001600GC  
SHEET NO. 1 OF 1



1 NORTH ENTRANCE



2 WEST ENTRANCE



3 WEST ENTRANCE



4 SOUTH (MAIN) ENTRANCE



5 SOUTH (MAIN) ENTRANCE



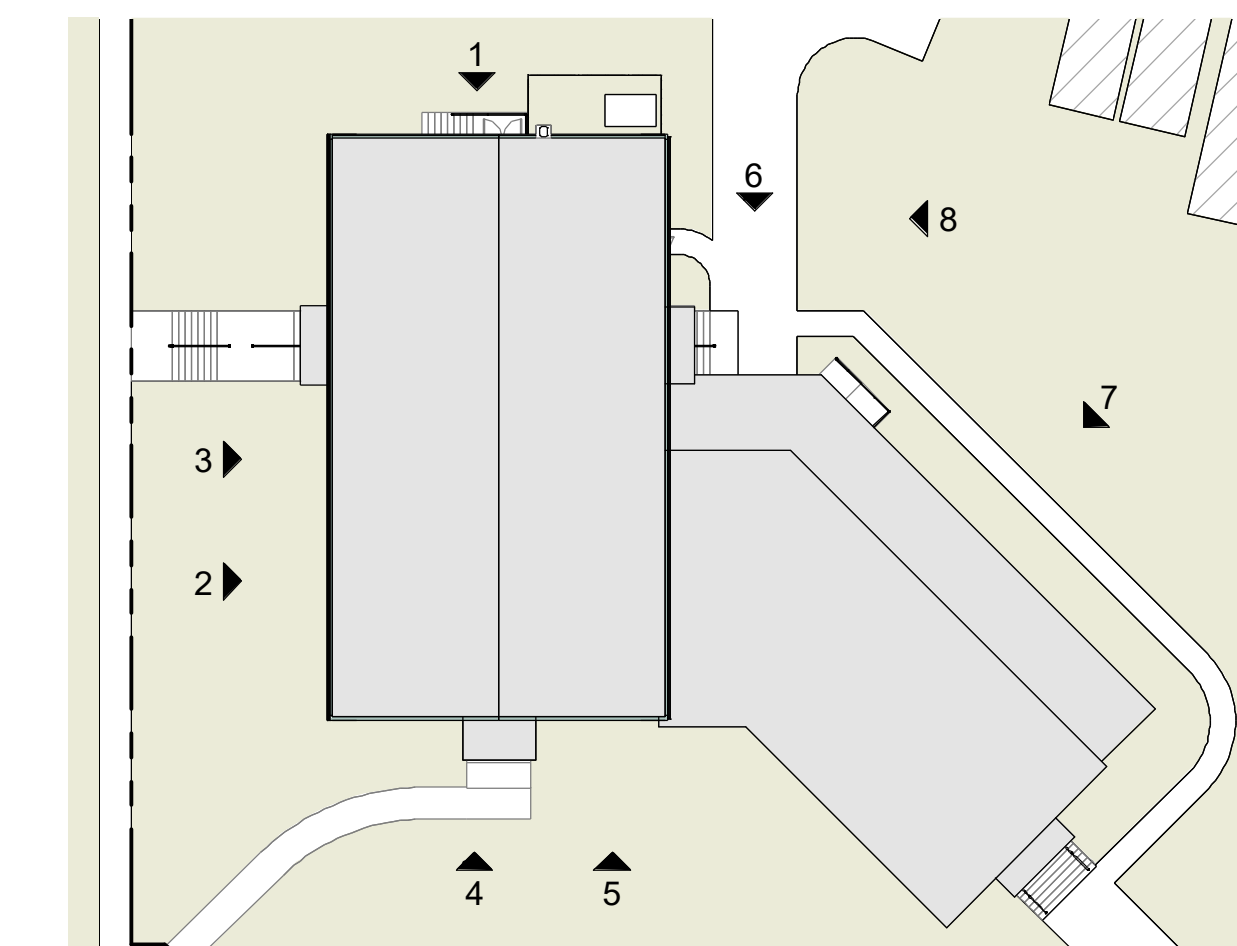
6 EAST FACADE ENTRANCE



7 EAST ENTRANCE



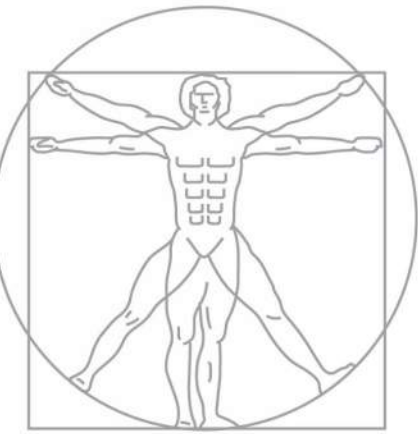
8 EAST ENTRANCE



KEY PLAN

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President

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EXTERIOR EXISTING  
CONDITIONS



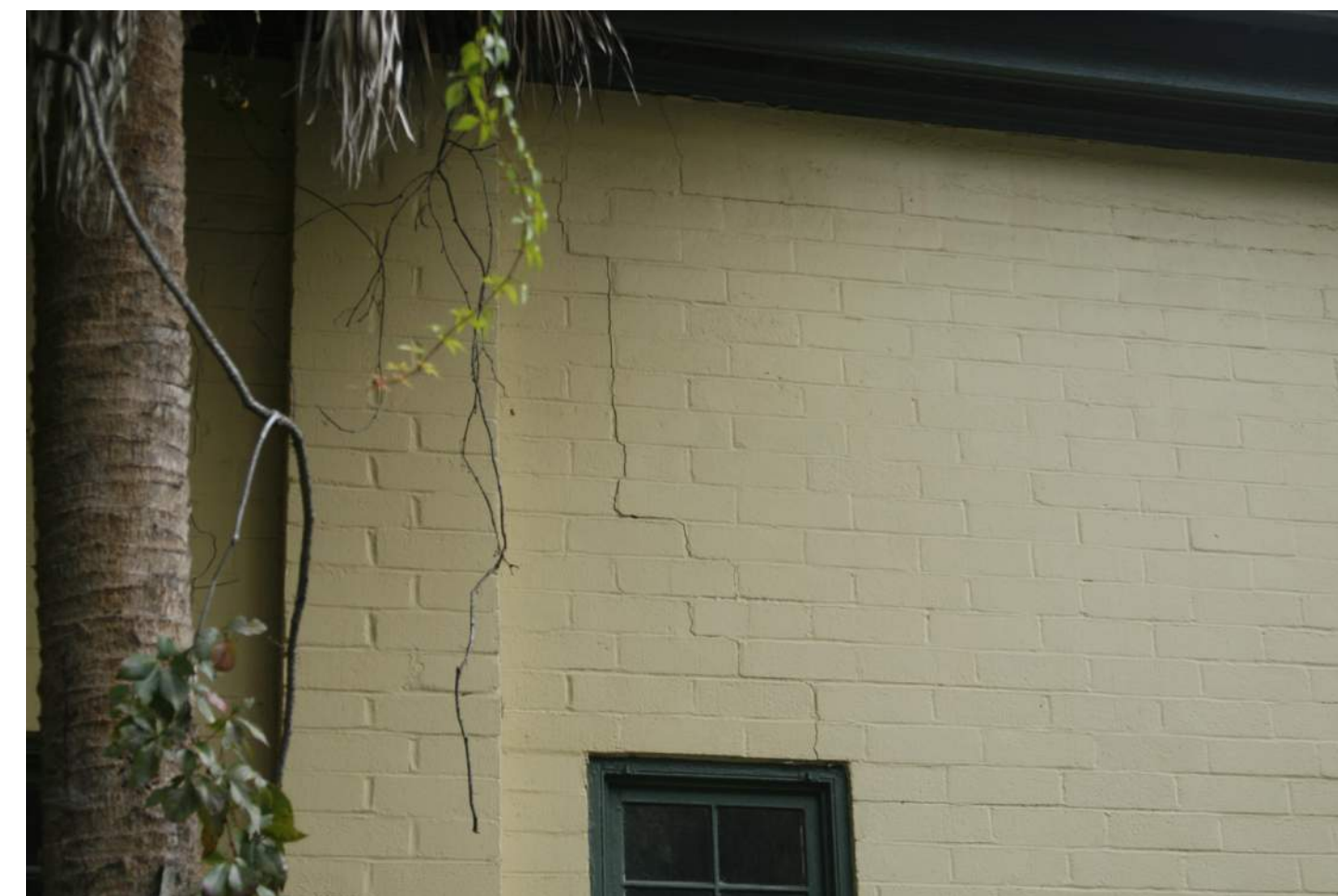
1 CHIMNEY AT NORTH



2 CHIMNEY AND ATTIC VENTS AT NORTH



3 GUTTER AND ROOF CONDITIONS AT WEST



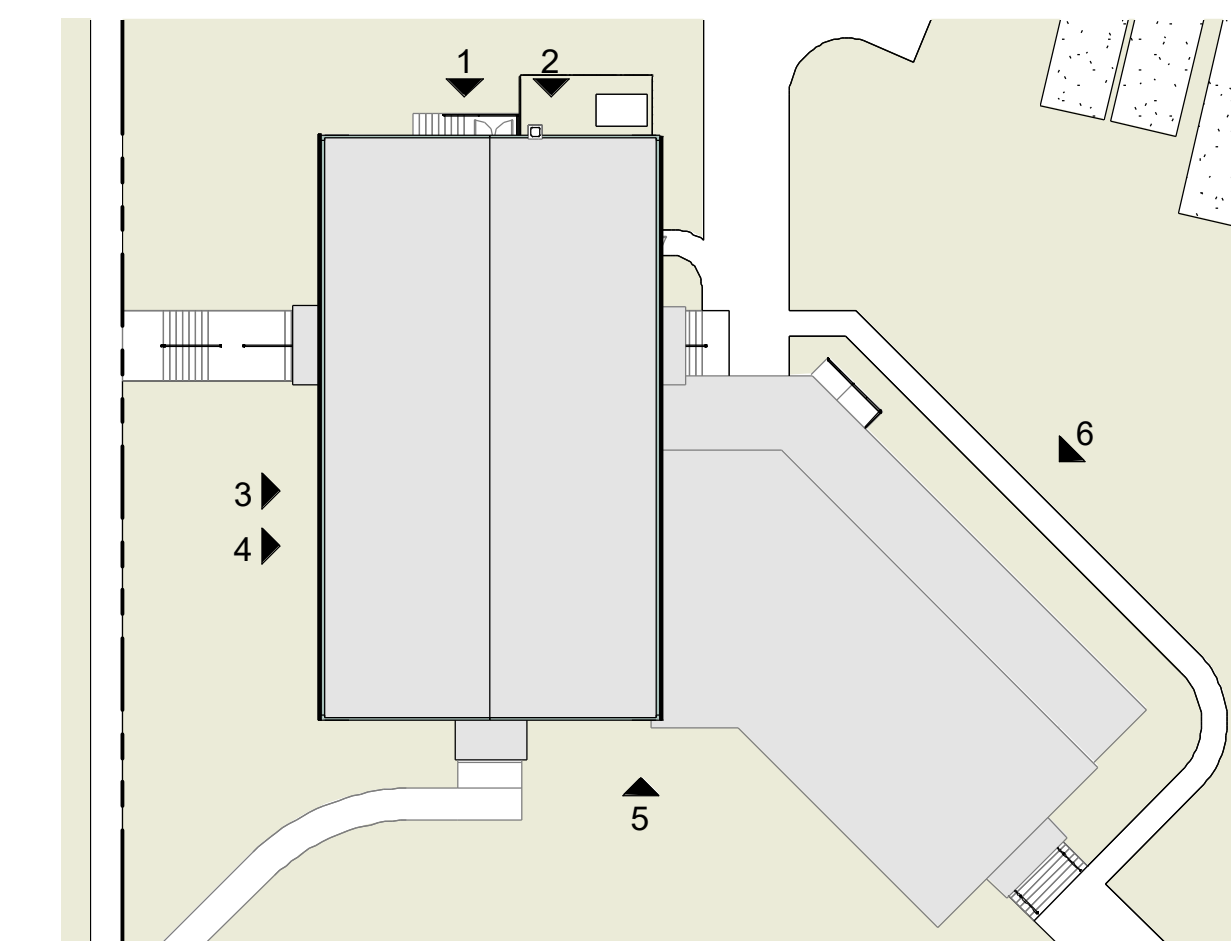
4 CRACK THROUGH BRICK AT WEST



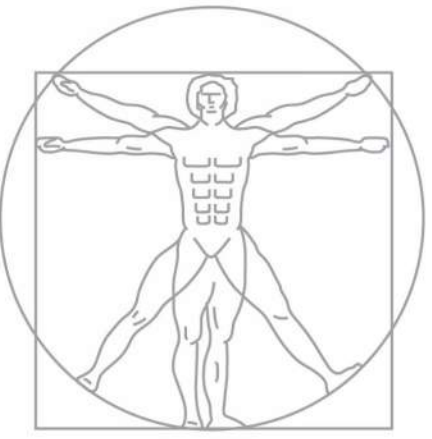
5 EAVE RETURN DETAIL AT SOUTH



6 WALL PATCH AT EAST



KEY PLAN



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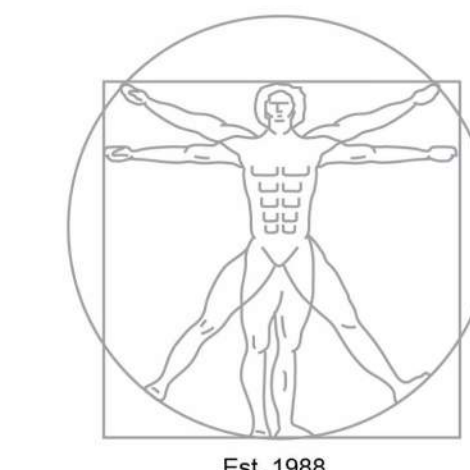
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EXTERIOR EXISTING  
CONDITIONS



AUDITORIUM  
DROP CEILING

DOOR OPENING  
LEADS TO THE  
STAGE



1 FIRST FLOOR AUDITORIUM

DOOR LEADS TO  
THE GROUP  
ROOM

WOOD FLOOR  
FINISH



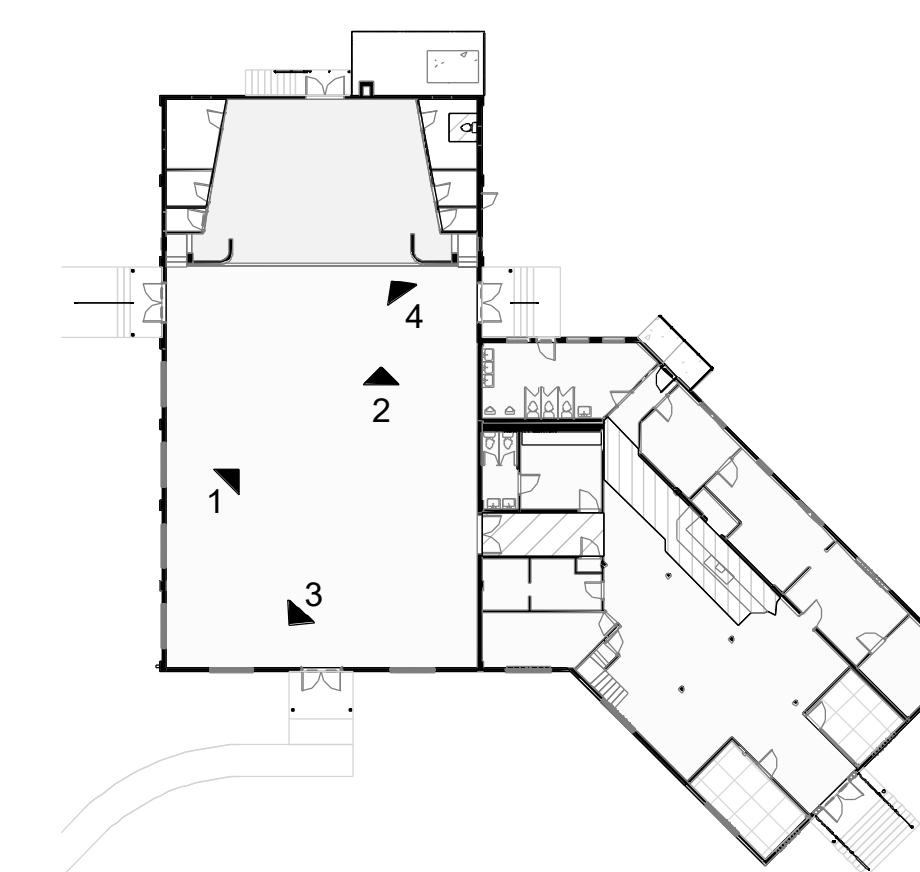
2 FIRST FLOOR AUDITORIUM



3 FIRST FLOOR AUDITORIUM CEILING



4 FIRST FLOOR, STAGE



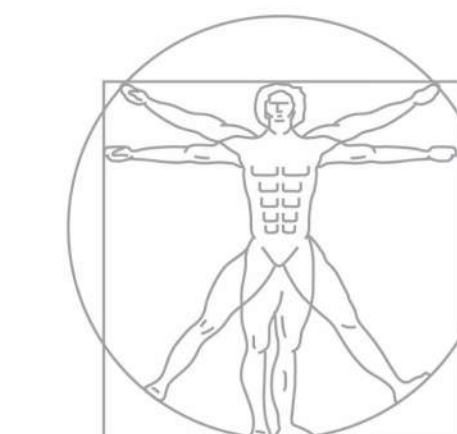
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INTERIOR EXISTING  
CONDITIONS



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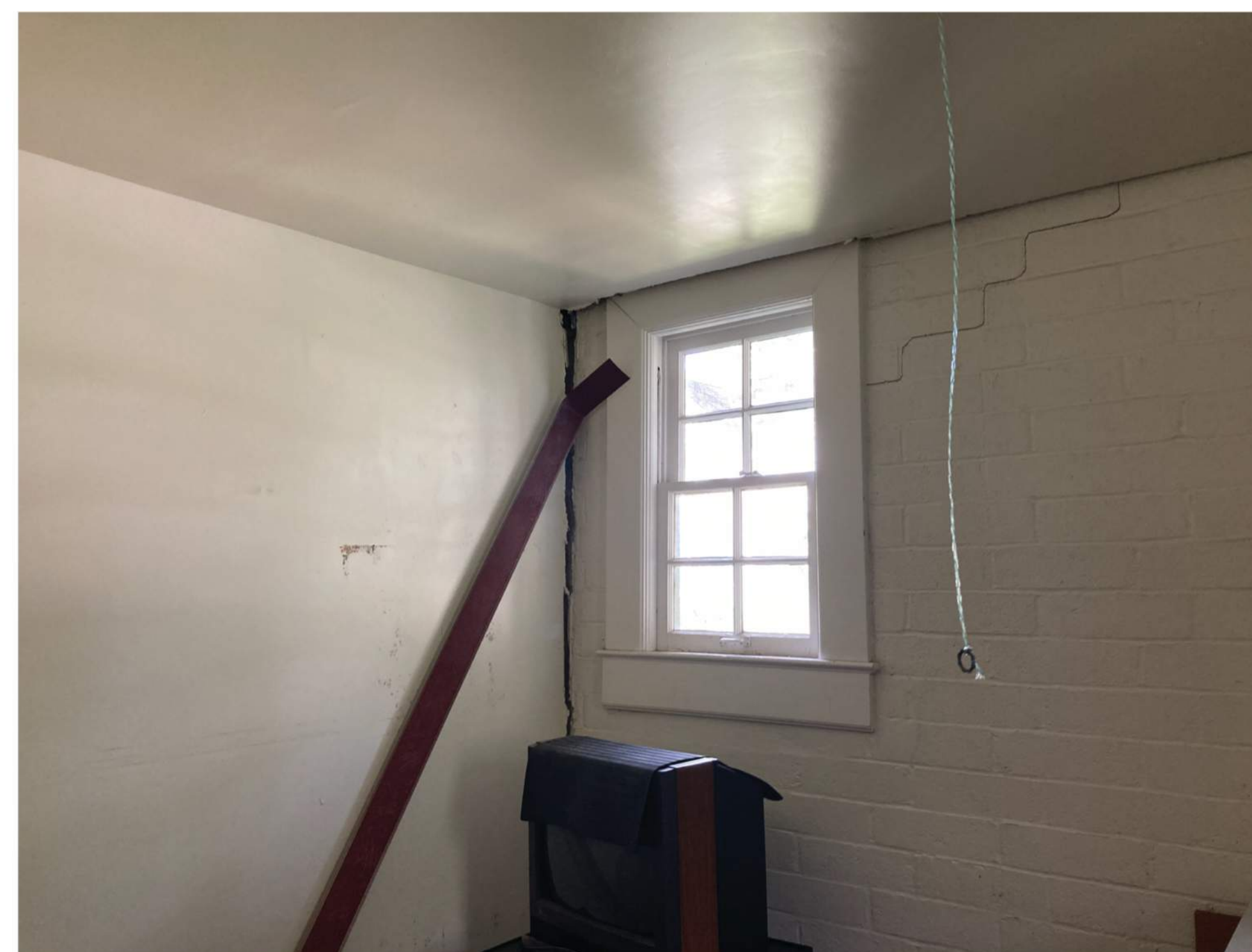
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1 CEILING ABOVE THE STAGE, FIRST FLOOR



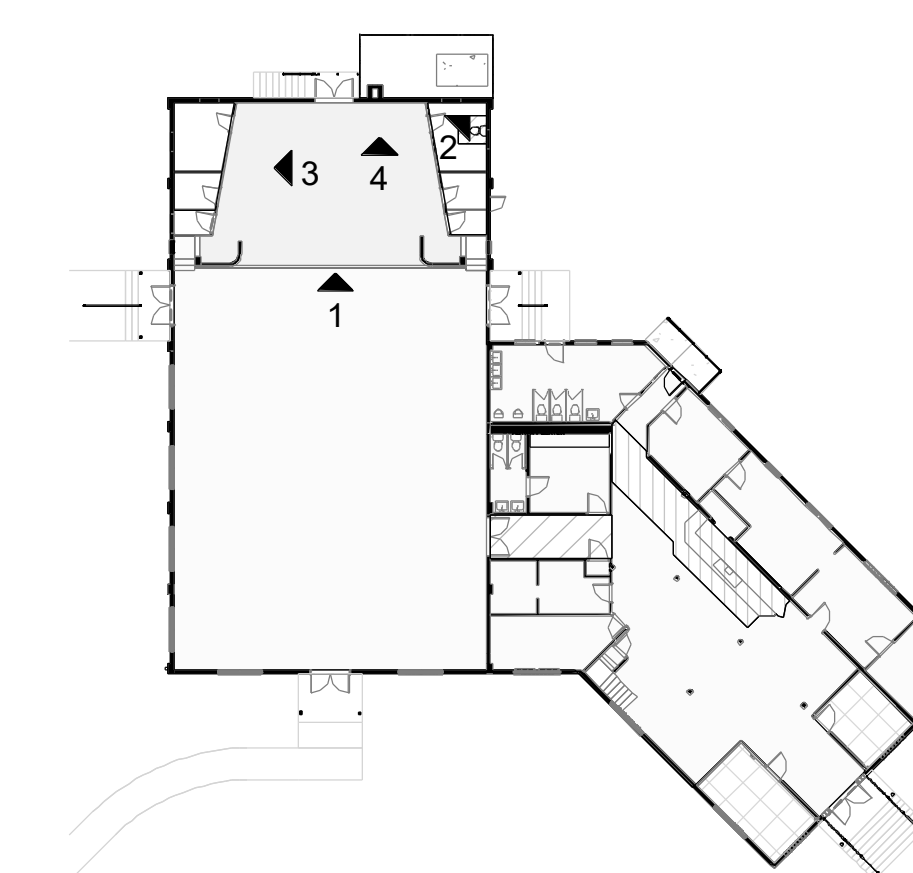
2 SUPPLY ROOM, FIRST FLOOR



3 STAGE, FIRST FLOOR



4 STAGE CEILING, FIRST FLOOR



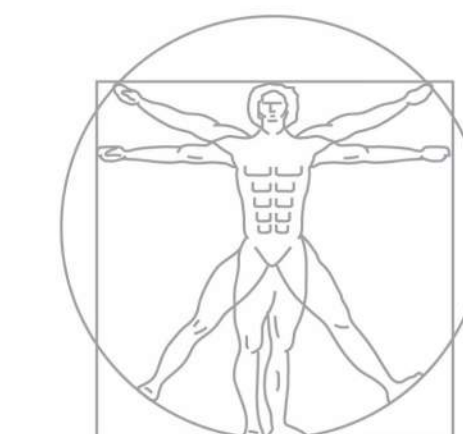
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STRUCTURAL  
COLUMN

DROP CEILING

1 SOUTH ENTRANCE DOOR LEADS TO THE EXIT



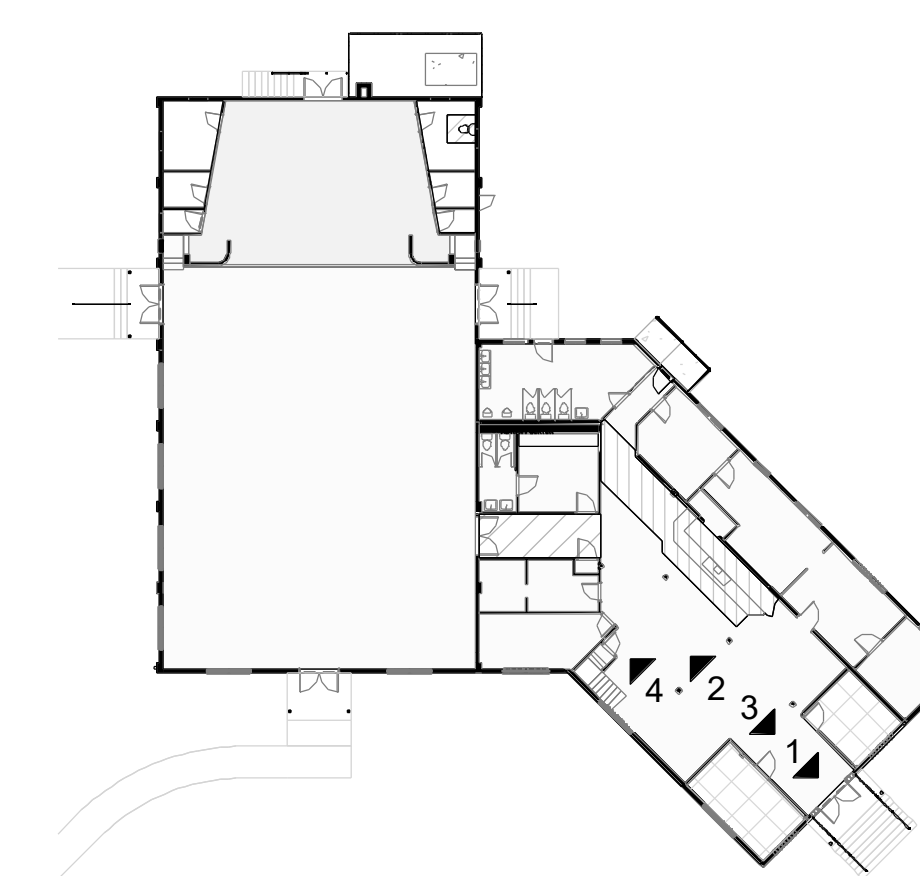
2 FIRST FLOOR GROUP ROOM



3 FIRST FLOOR GROUP ROOM CEILING



4 STAIRS LEAD TO THE SECOND FLOOR



KEY PLAN

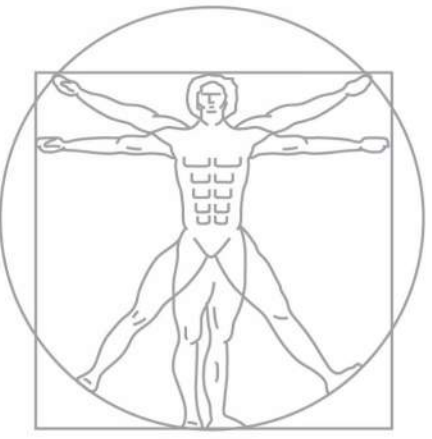
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HISTORIC GAINESVILLE**

516 NE 2ND AVE,  
GAINESVILLE, FL 32601

**NO. DATE DESCRIPTION**

NO.	DATE	DESCRIPTION

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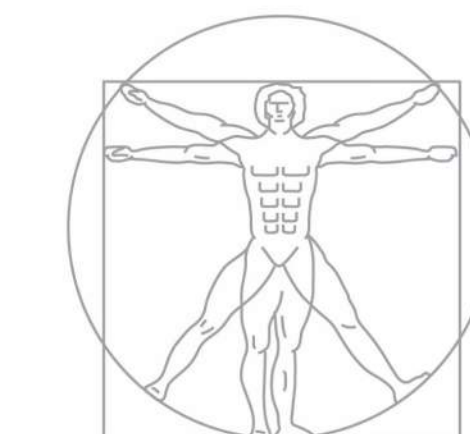
EXISTING SITE AERIAL



1 | EXISTING SITE AERIAL  
9 of 26

SCALE: 1" = 30'-0"  
NORTH

ARCHITECTURAL SITE PLAN FOR INFORMATIONAL  
PURPOSES ONLY; SEE SITE PLAN BY OTHERS.



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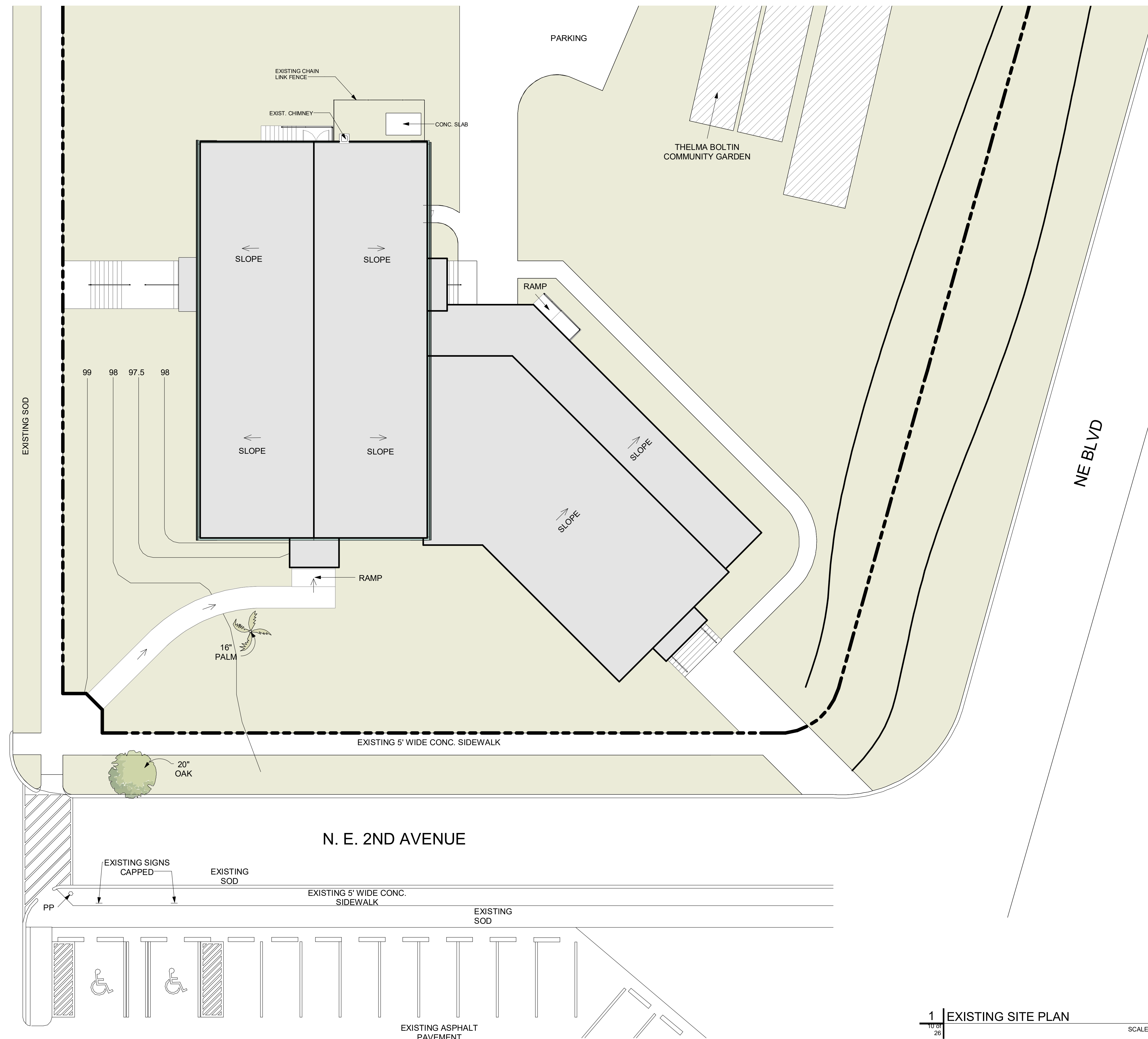
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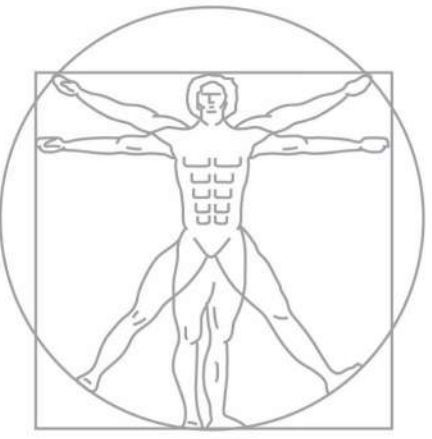
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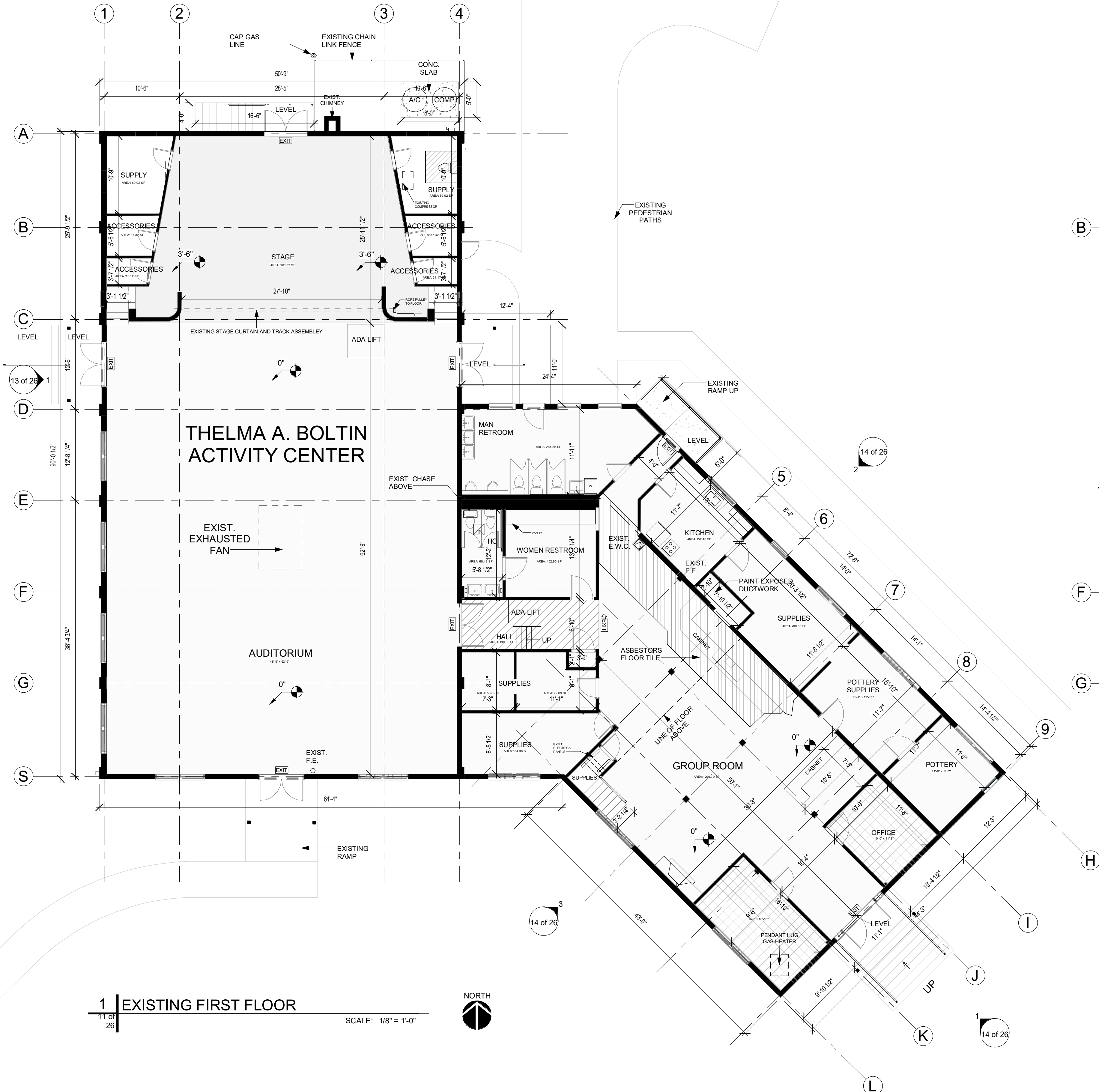
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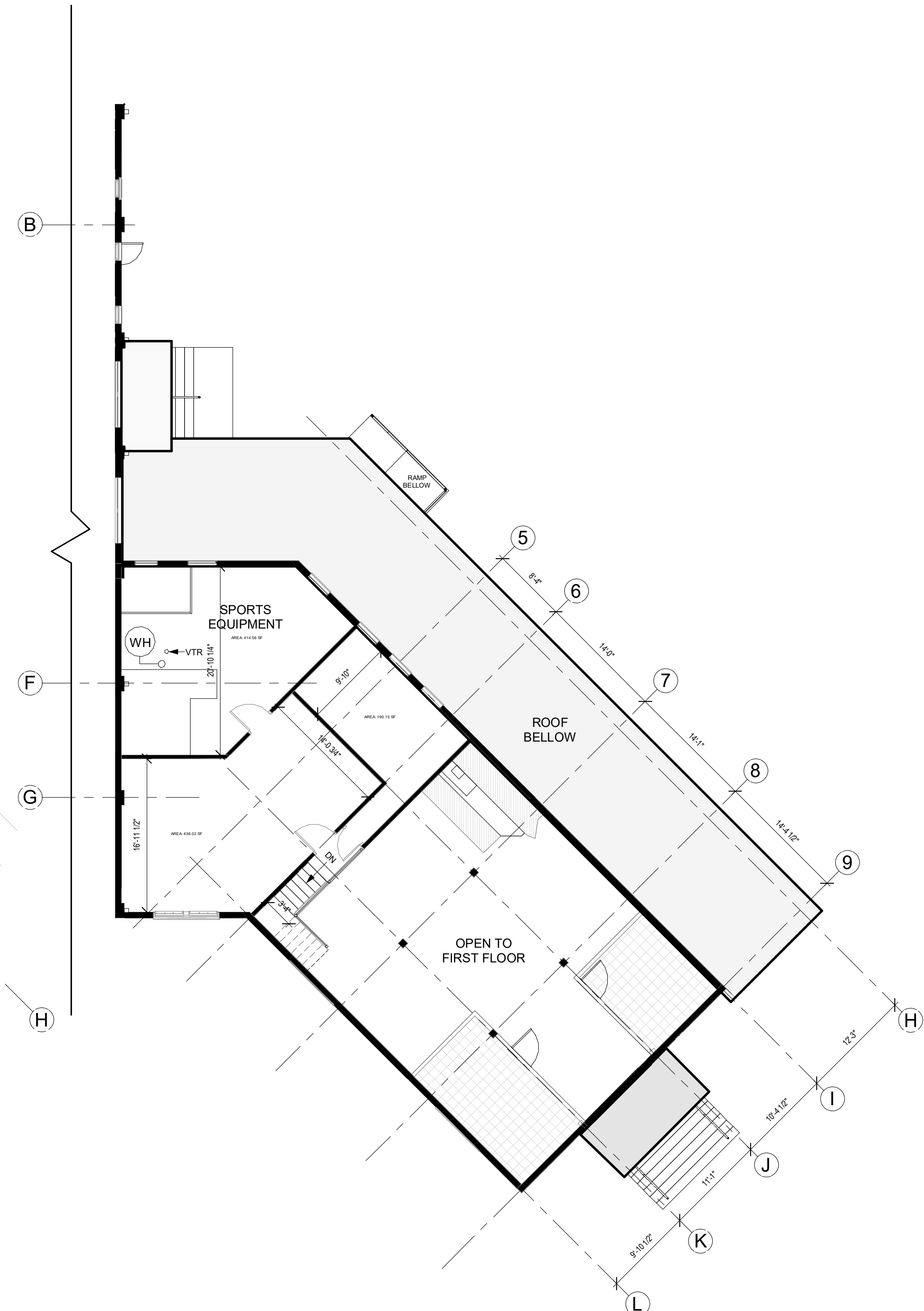
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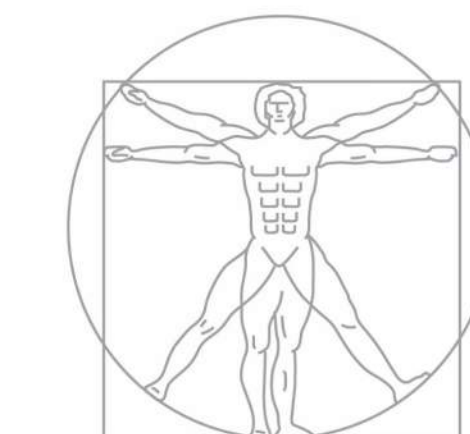
EXISTING FLOOR PLANS



**1 | EXISTING FIRST FLOOR**  
SCALE: 1/8" = 1'-0"



**2 | EXISTING SECOND FLOOR**  
SCALE: 1/8" = 1'-0"



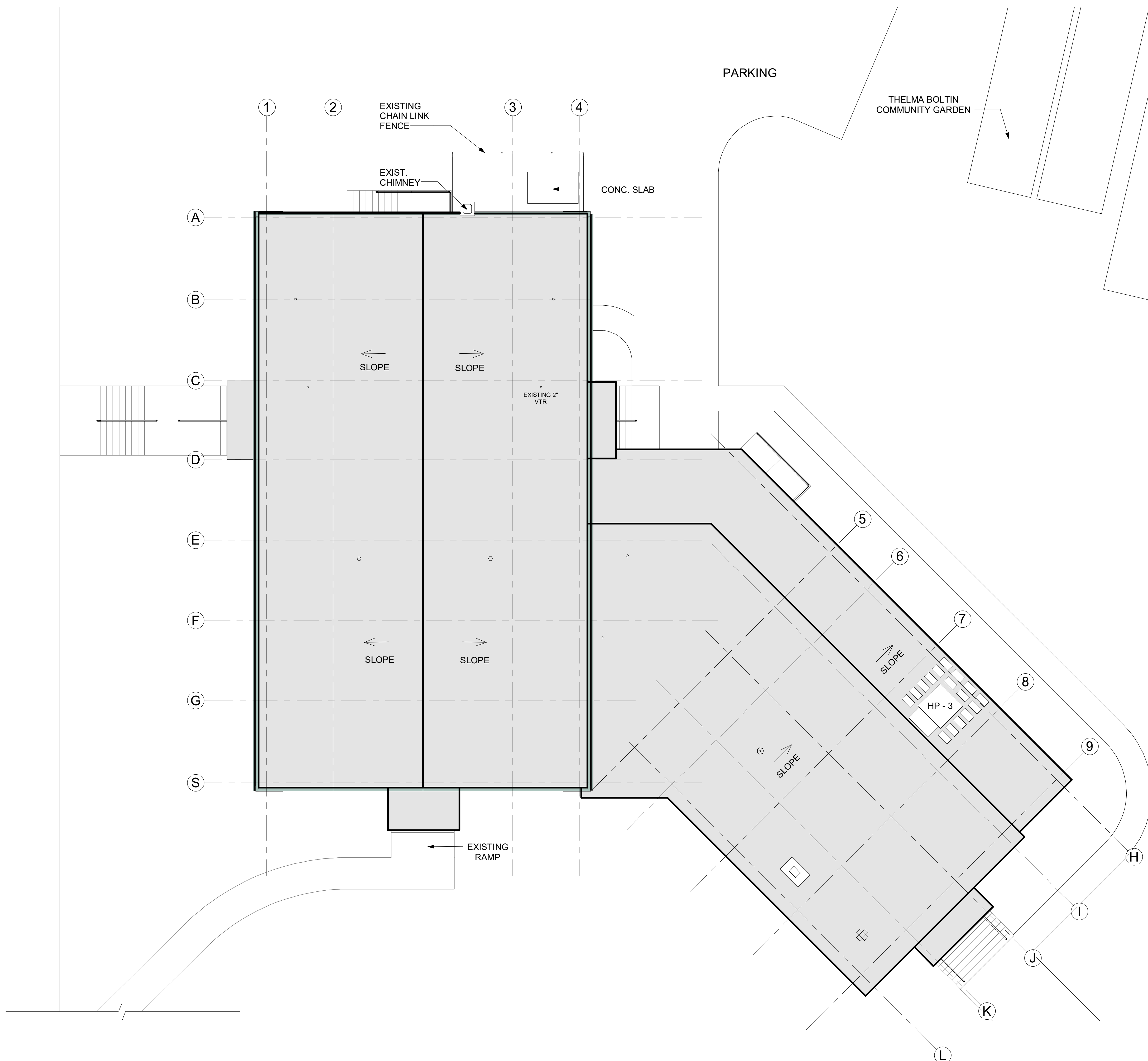
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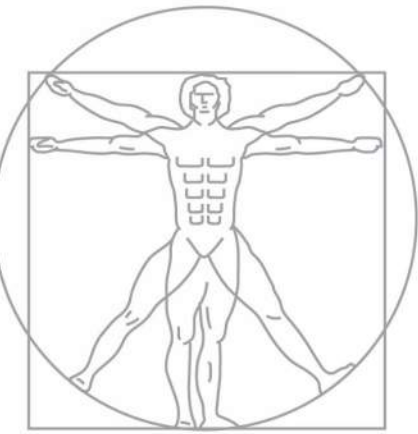
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EXISTING ROOF PLAN





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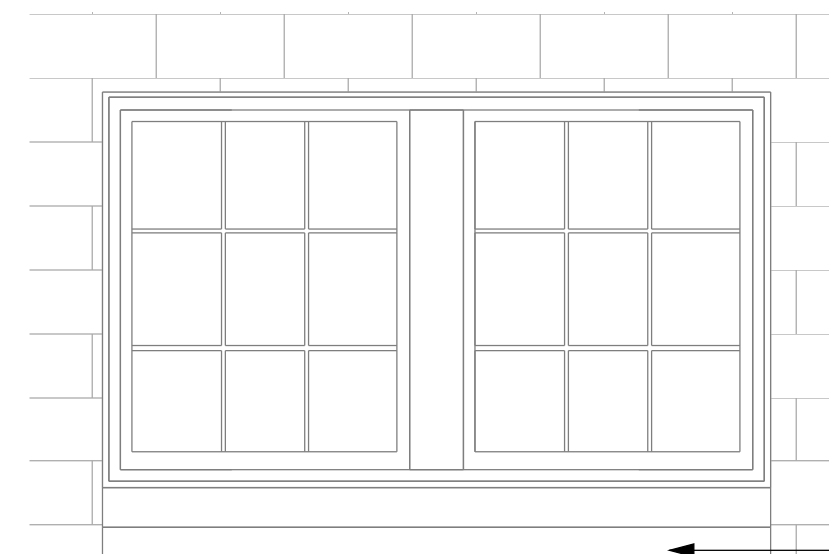
516 NE 2ND AVE.  
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- ROOF 3 33'-0"
- ROOF 2 17'-7"
- ROOF 1 10'-0"
- EXISTING SECOND FLOOR 10'-0"
- STAGE 5'-6"
- EXISTING FIRST FLOOR 2'-0"
- GROUND FLOOR 0"

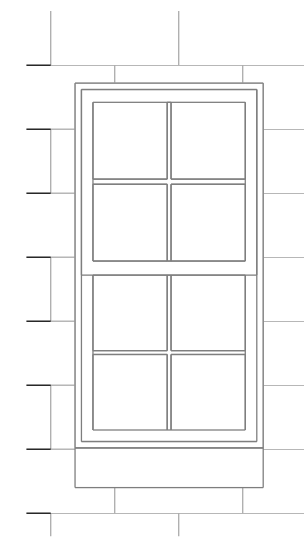
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SCALE: 1/4" = 1'-0"



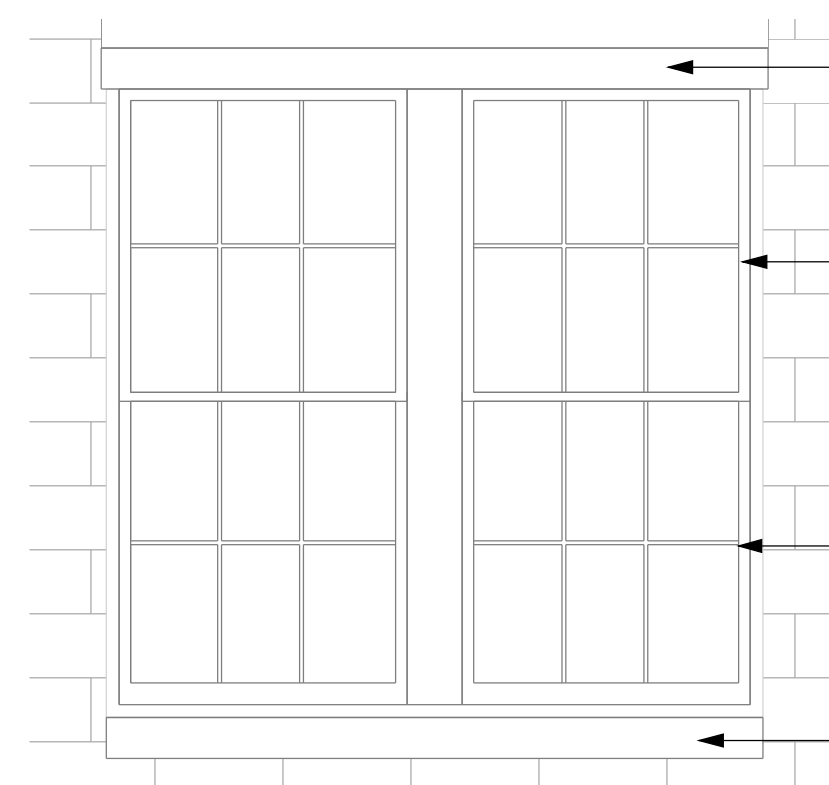
3 | TYPICAL TRANSOM WINDOW A

SCALE: 1/2" = 1'-0"



5 | TYPICAL SINGLE HUNG WINDOW A

SCALE: 1/2" = 1'-0"



4 | TYPICAL DOUBLE HUNG WINDOW A

SCALE: 1/2" = 1'-0"



2 | EXISTING SOUTH ELEVATIONS

SCALE: 1/4" = 1'-0"

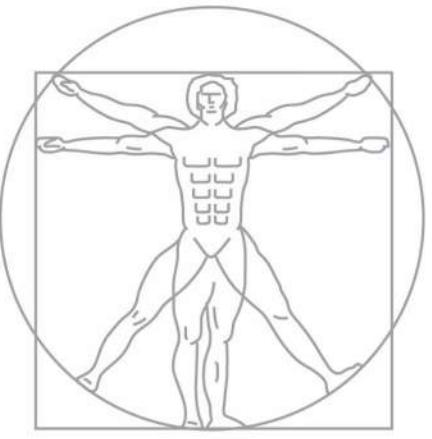
- ROOF 3 33'-0"
- ROOF 2 17'-7"
- EXISTING SECOND FLOOR 10'-0"
- STAGE 5'-6"
- EXISTING FIRST FLOOR 2'-0"
- GROUND FLOOR 0"

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EXISTING ELEVATIONS



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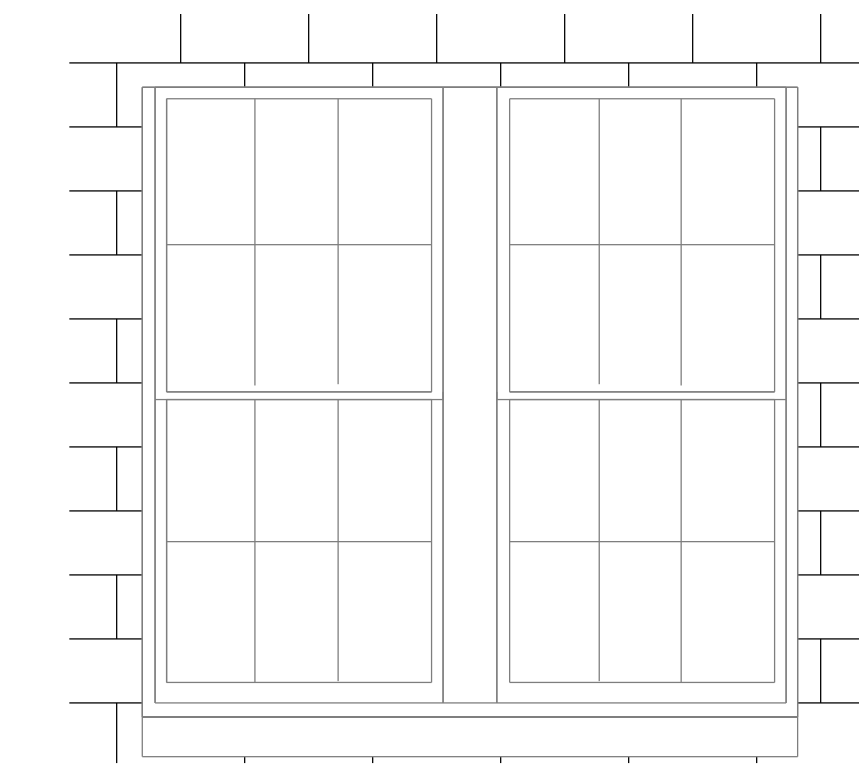
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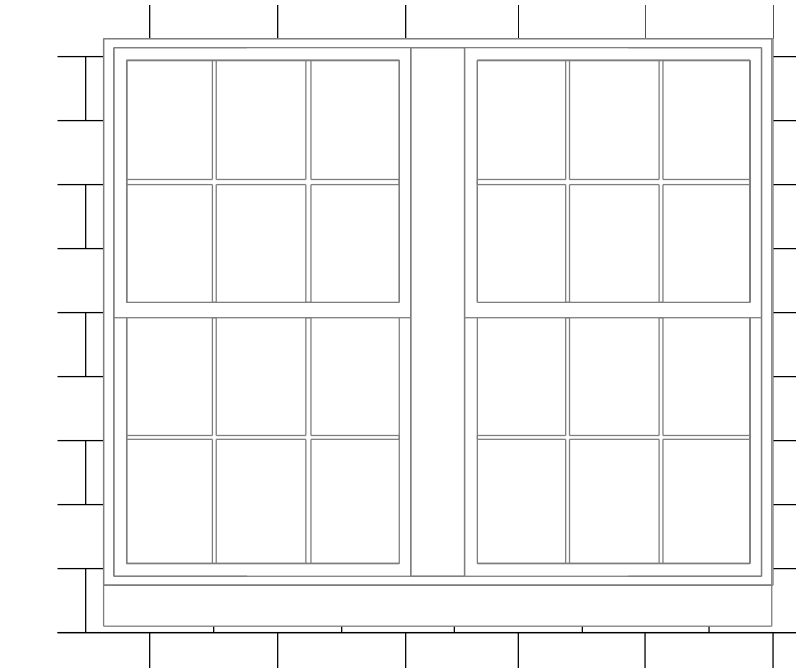
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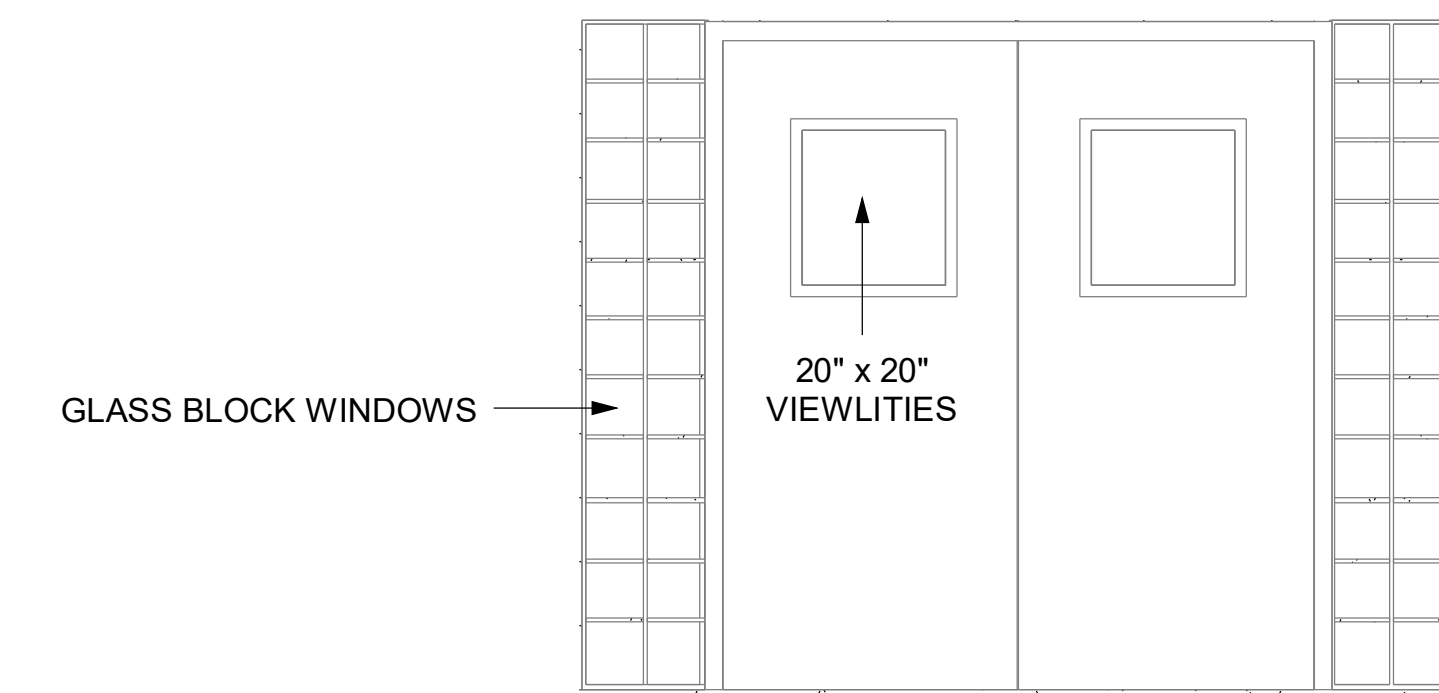
EXISTING ELEVATIONS



**5** TYPICAL DOUBLE HUNG WINDOW B  
SCALE: 1/2" = 1'-0"



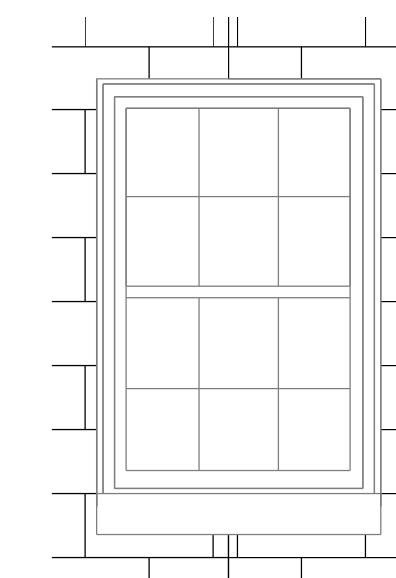
**4** TYPICAL DOUBLE HUNG WINDOW C  
SCALE: 1/2" = 1'-0"



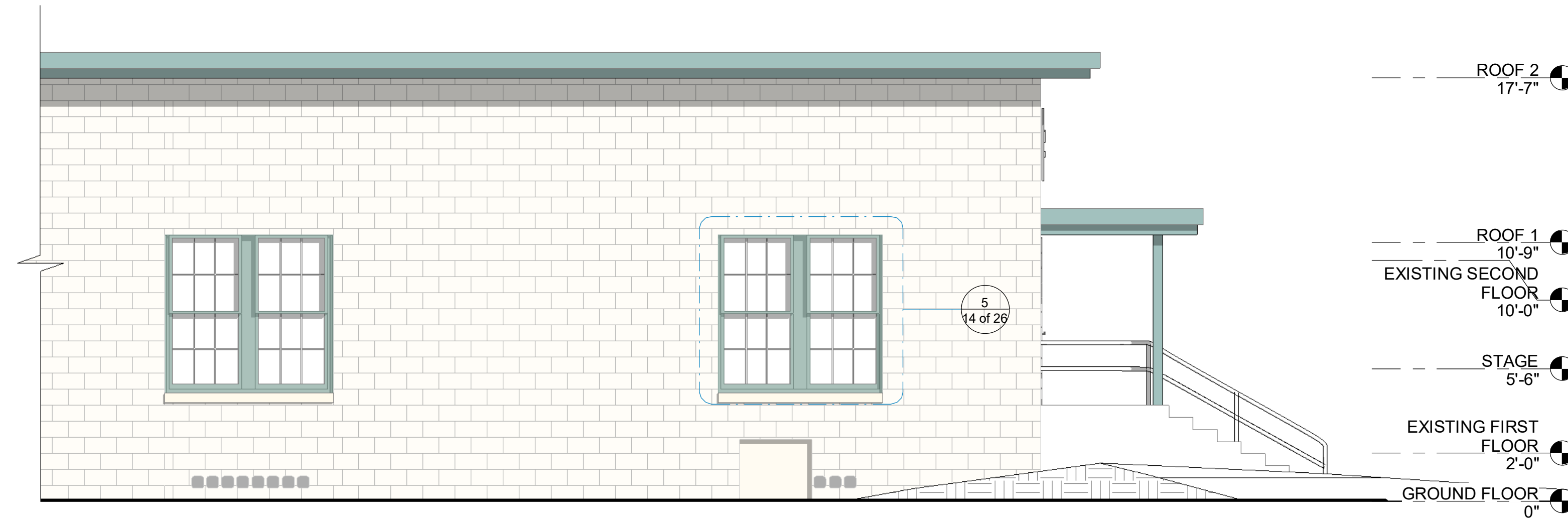
GLASS BLOCK WINDOWS

20" x 20" VIEWLITES

**6** TYPICAL WOODEN DOUBLE DOORS  
SCALE: 1/2" = 1'-0"



**7** TYPICAL SINGLE HUNG WINDOW B  
SCALE: 1/2" = 1'-0"



**3** EXISTING SOUTH - WEST ELEVATION  
SCALE: 1/4" = 1'-0"

ROOF 2  
17'-7"

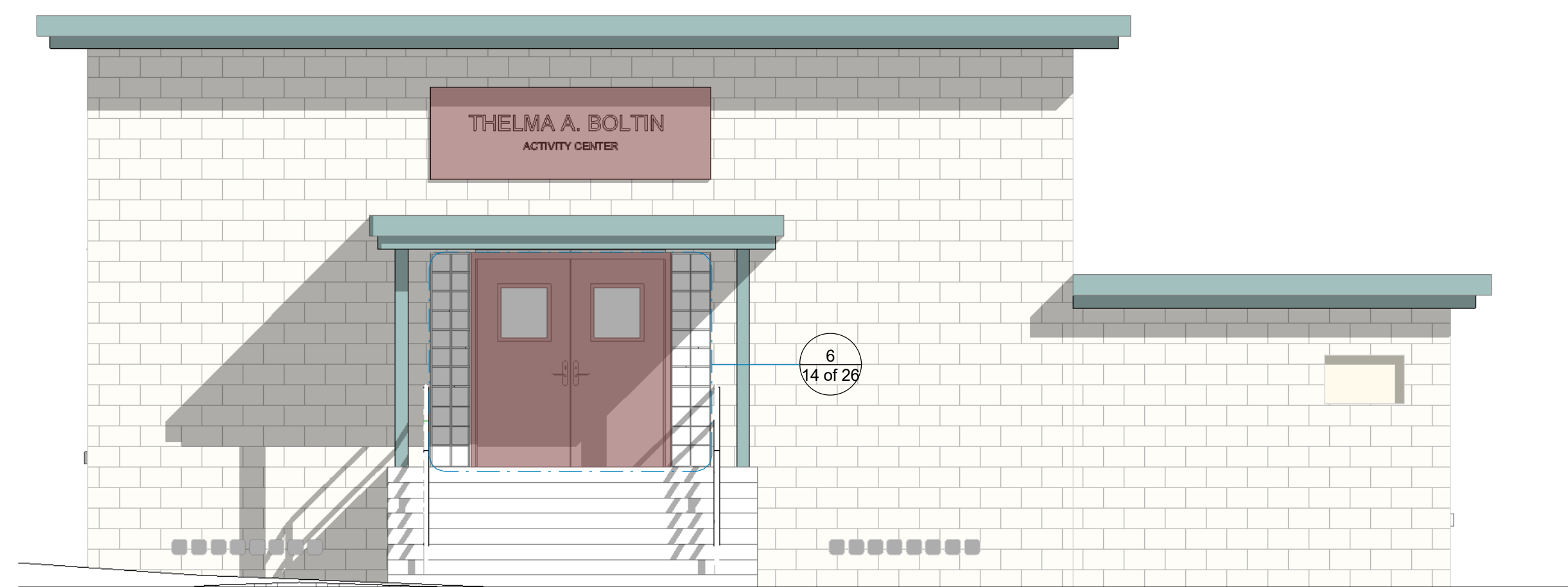
ROOF 1  
10'-9"

EXISTING SECOND FLOOR  
10'-0"

STAGE  
5'-6"

EXISTING FIRST FLOOR  
2'-0"

GROUND FLOOR  
0"



**1** EXISTING SOUTH - EAST ELEVATION  
SCALE: 1/4" = 1'-0"

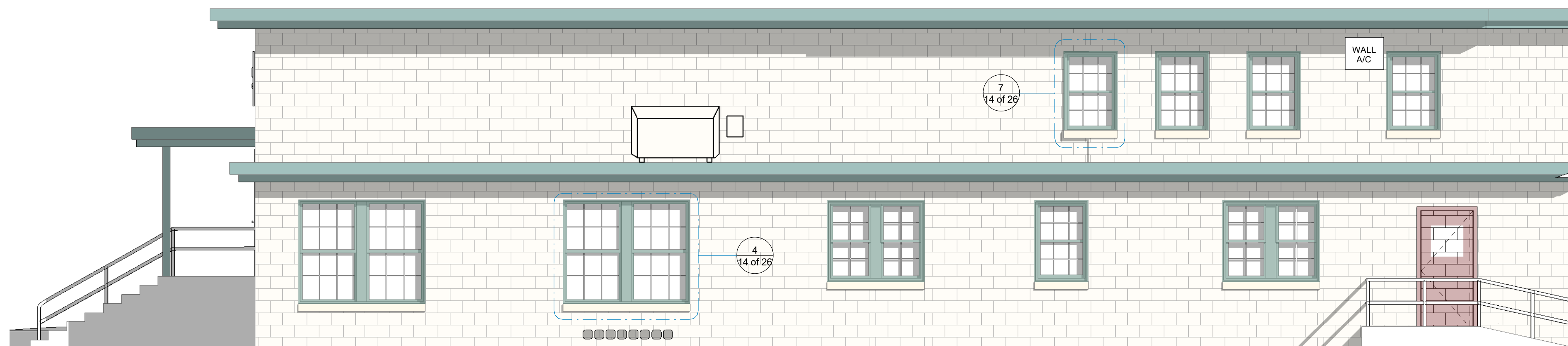
ROOF 2  
17'-7"

EXISTING SECOND FLOOR  
10'-0"

STAGE  
5'-6"

EXISTING FIRST FLOOR  
2'-0"

GROUND FLOOR  
0"



**2** EXISTING NORTH - EAST ELEVATION  
SCALE: 1/4" = 1'-0"

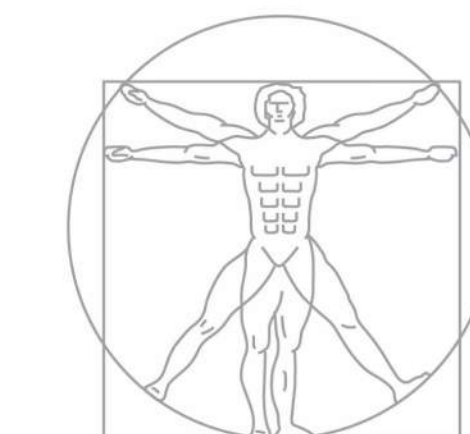
ROOF 2  
17'-7"

EXISTING SECOND FLOOR  
10'-0"

STAGE  
5'-6"

EXISTING FIRST FLOOR  
2'-0"

GROUND FLOOR  
0"



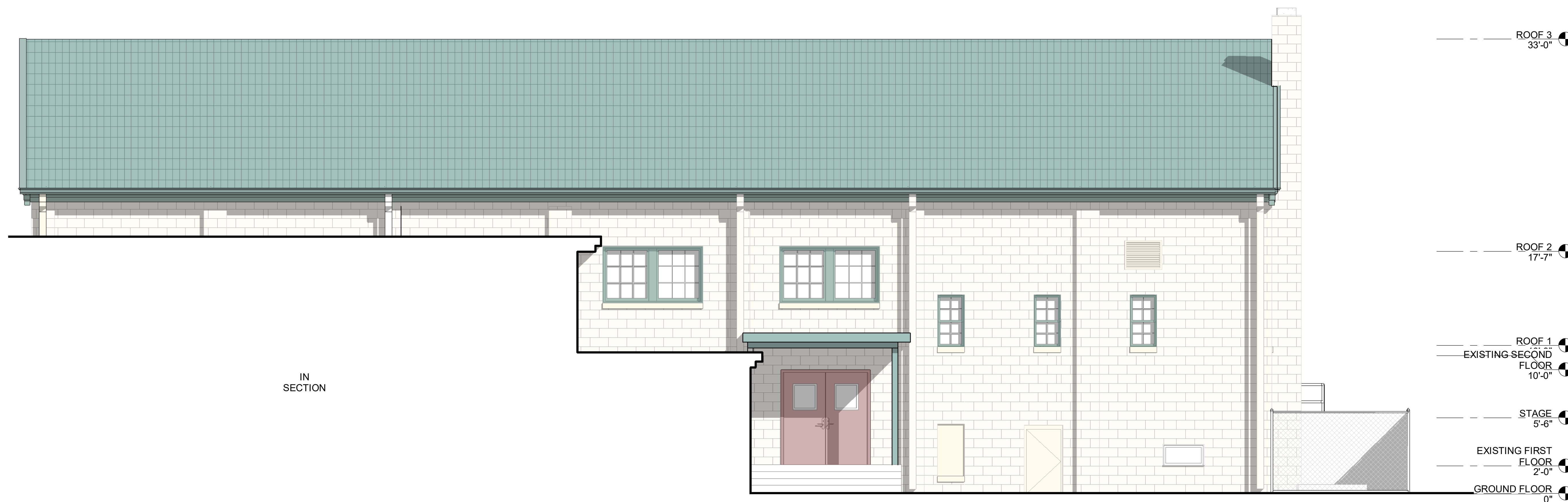
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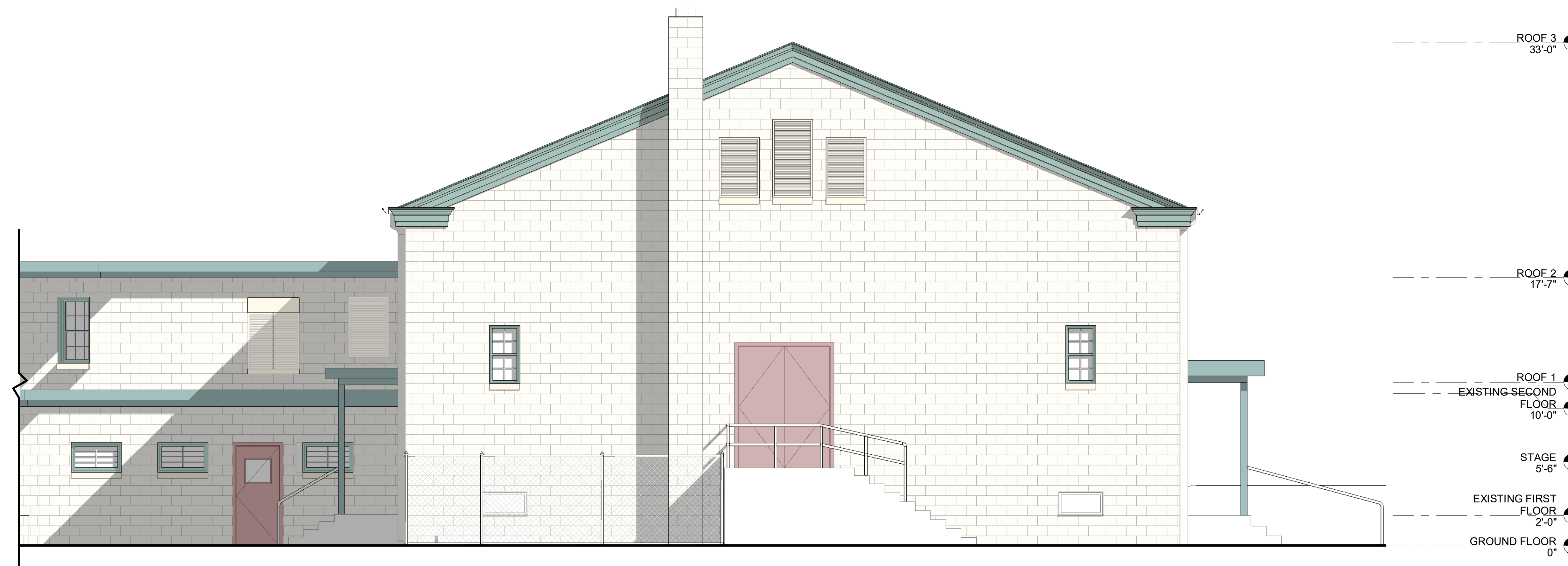
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**2 | EXISTING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 | EXISTING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

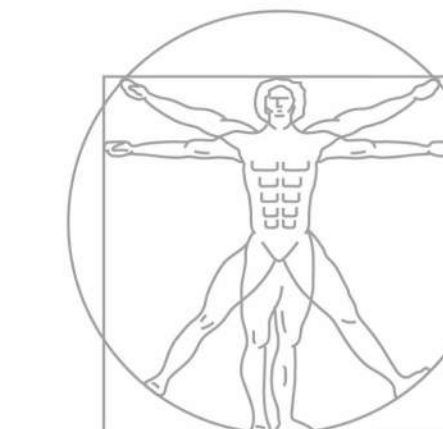
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**EXISTING ELEVATIONS**



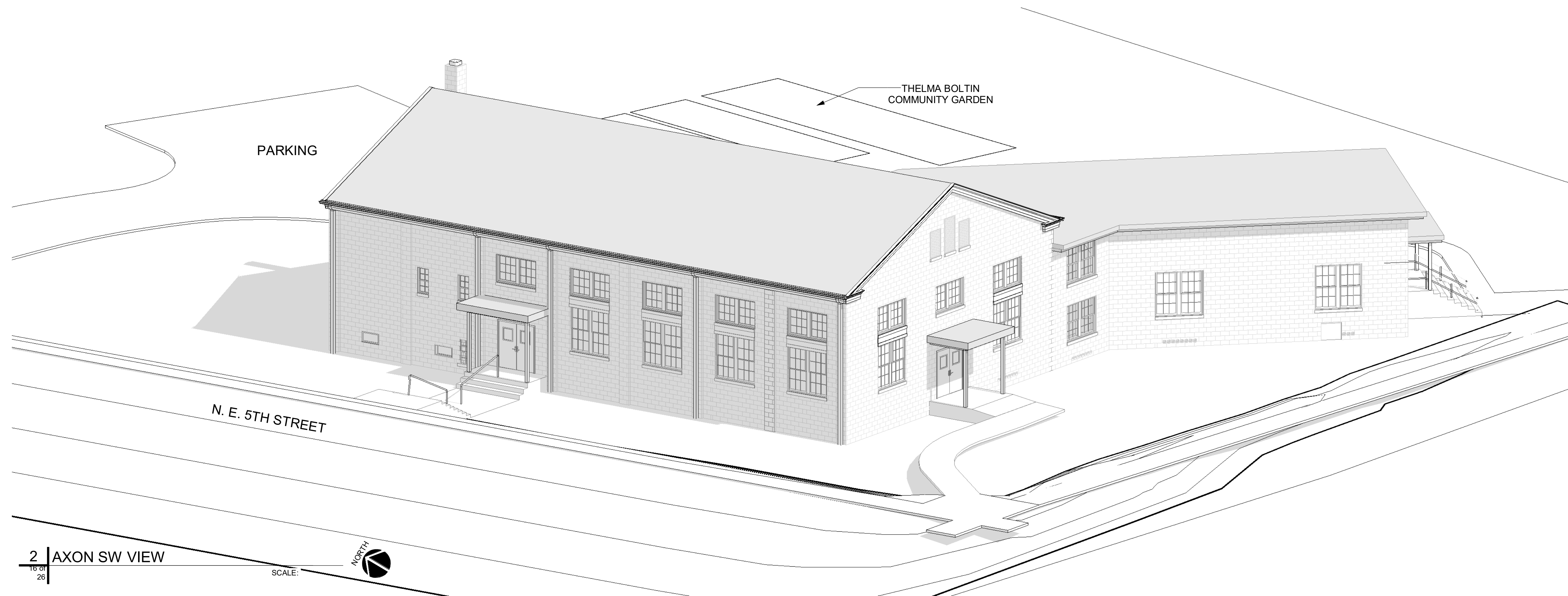
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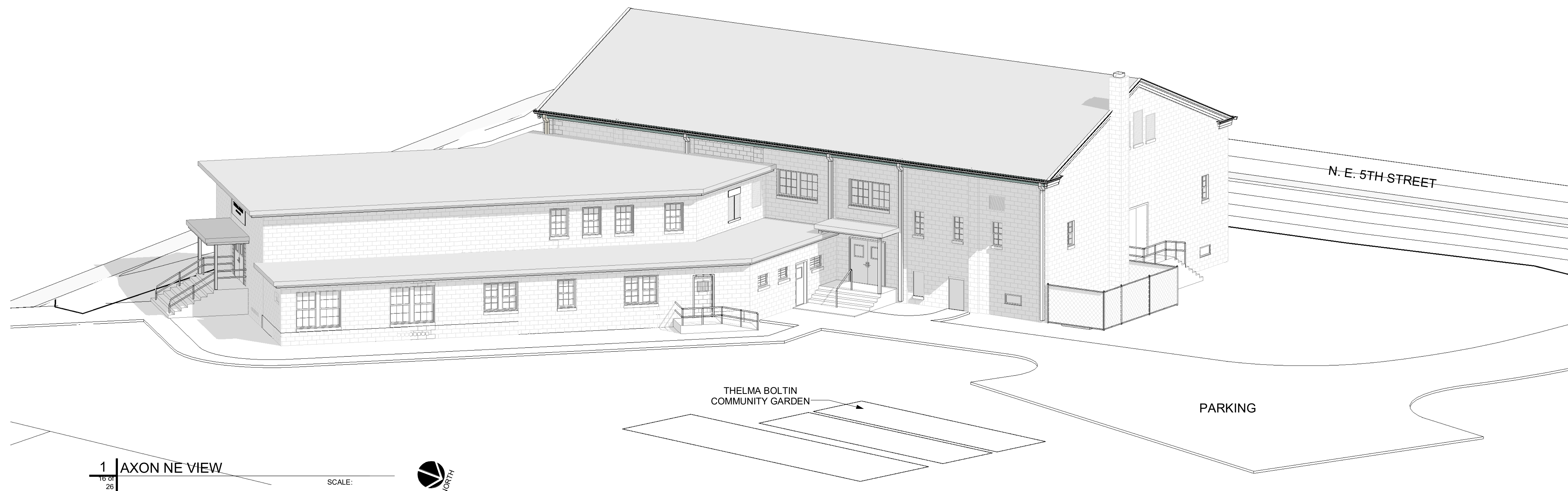
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2 | AXON SW VIEW  
16 of 26

SCALE:



1 | AXON NE VIEW  
16 of 26

SCALE:



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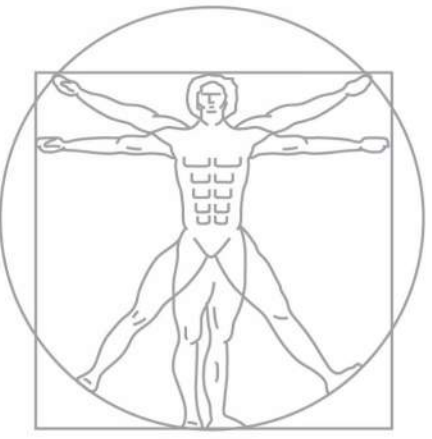
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3D VIEWS





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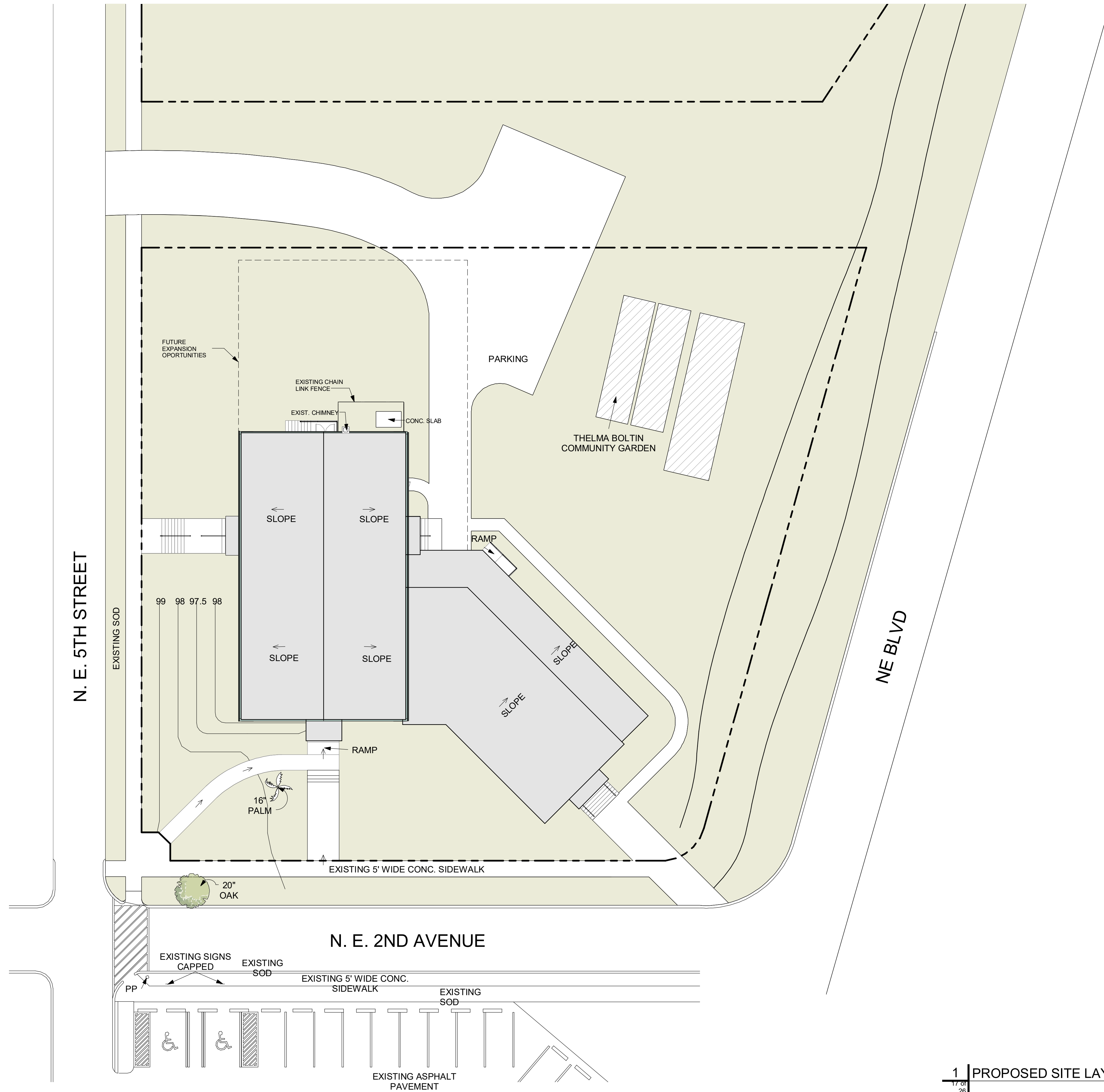
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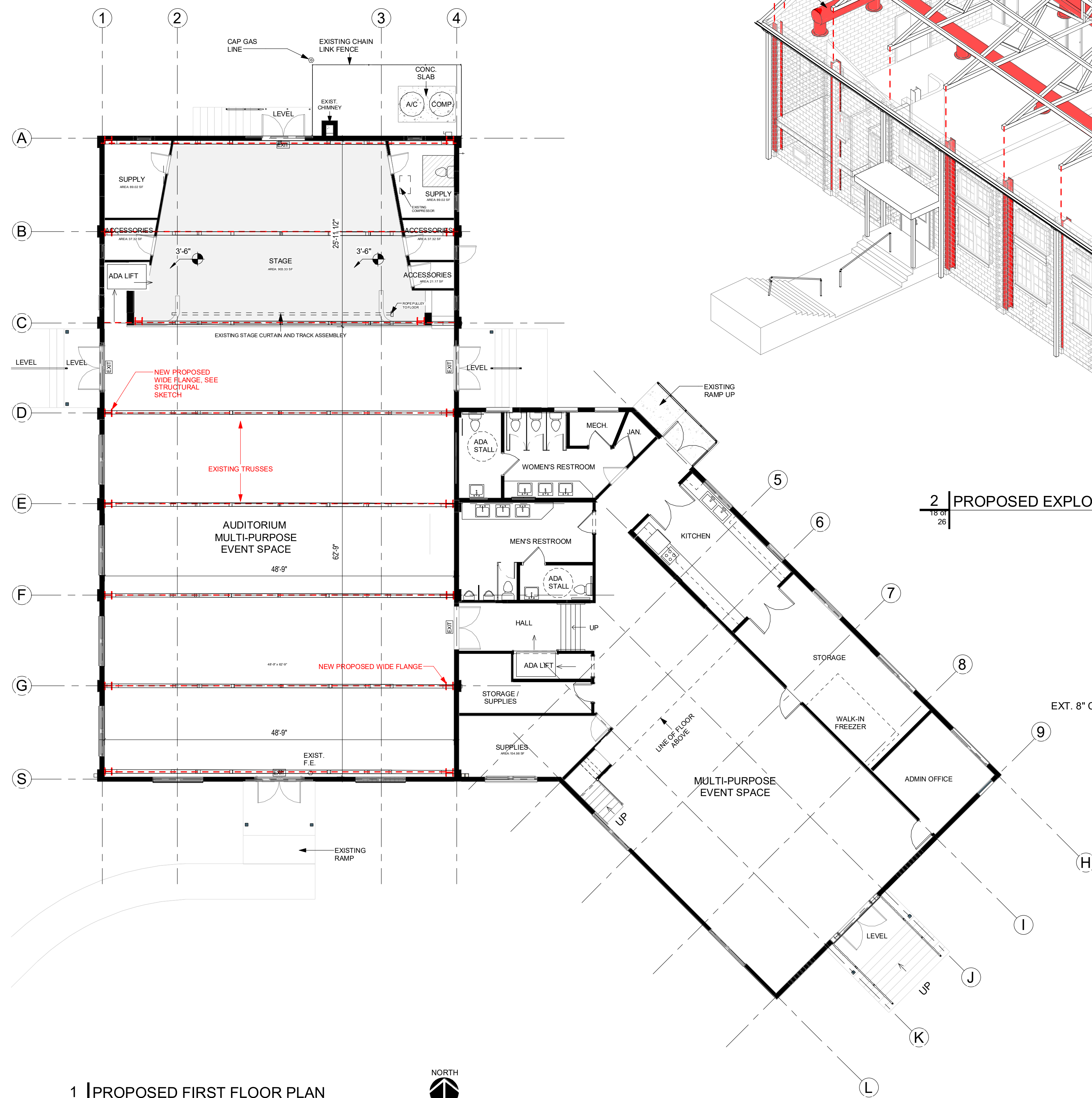
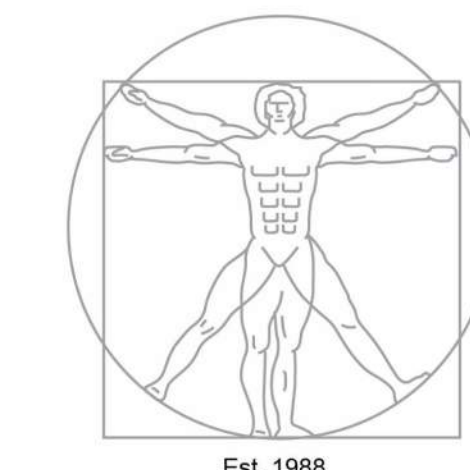
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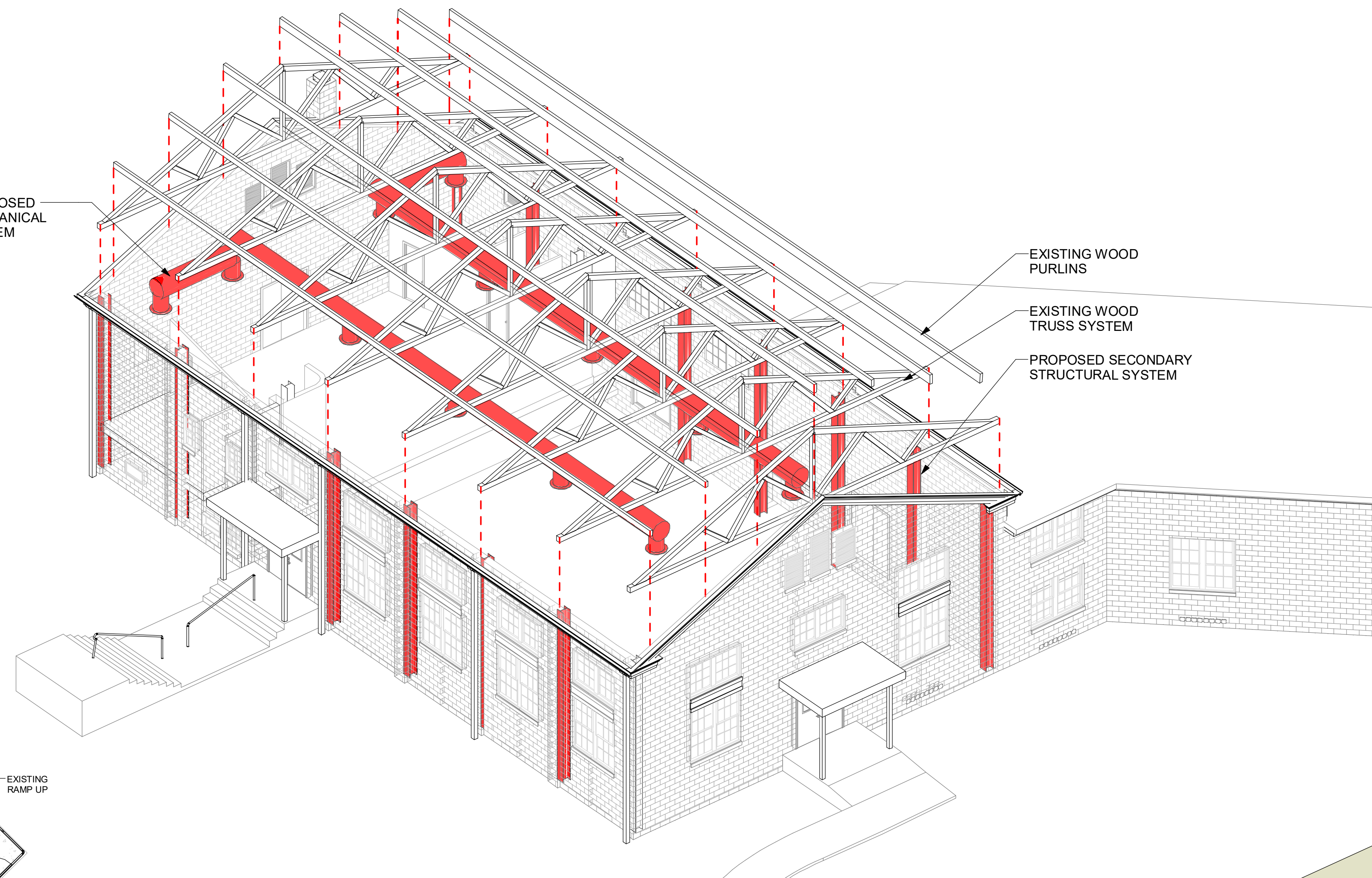
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PROPOSED SITE PLAN

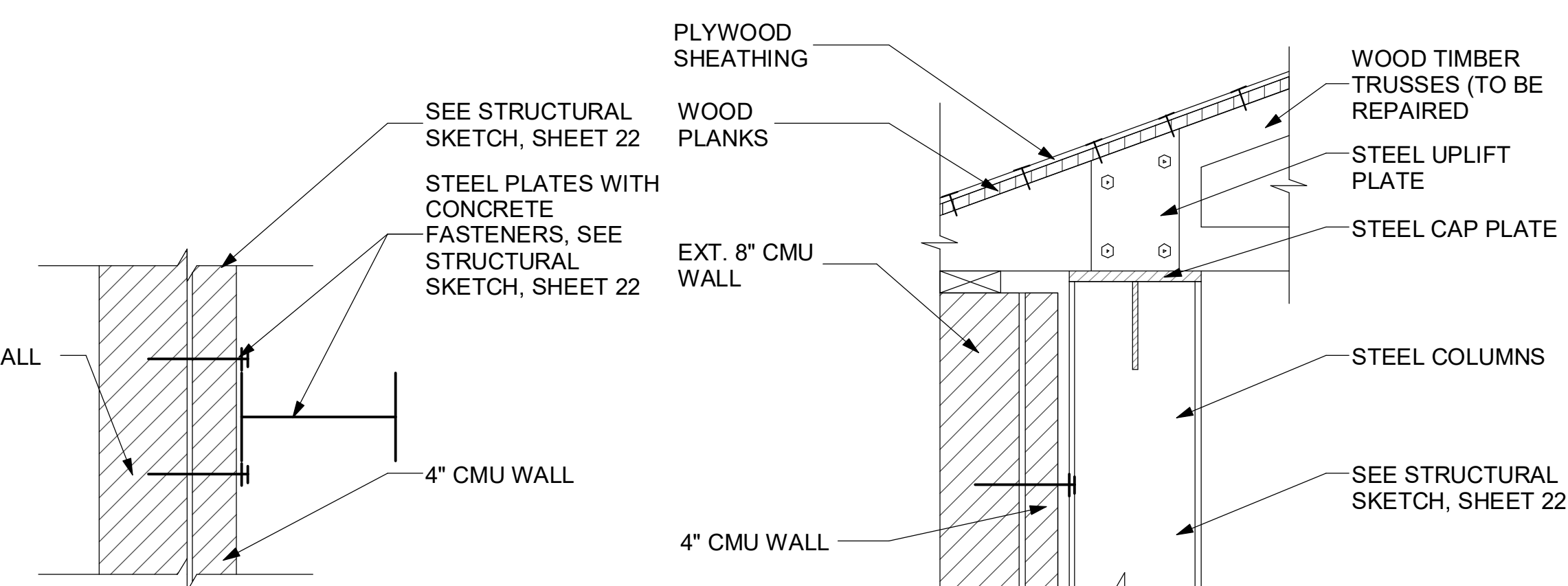




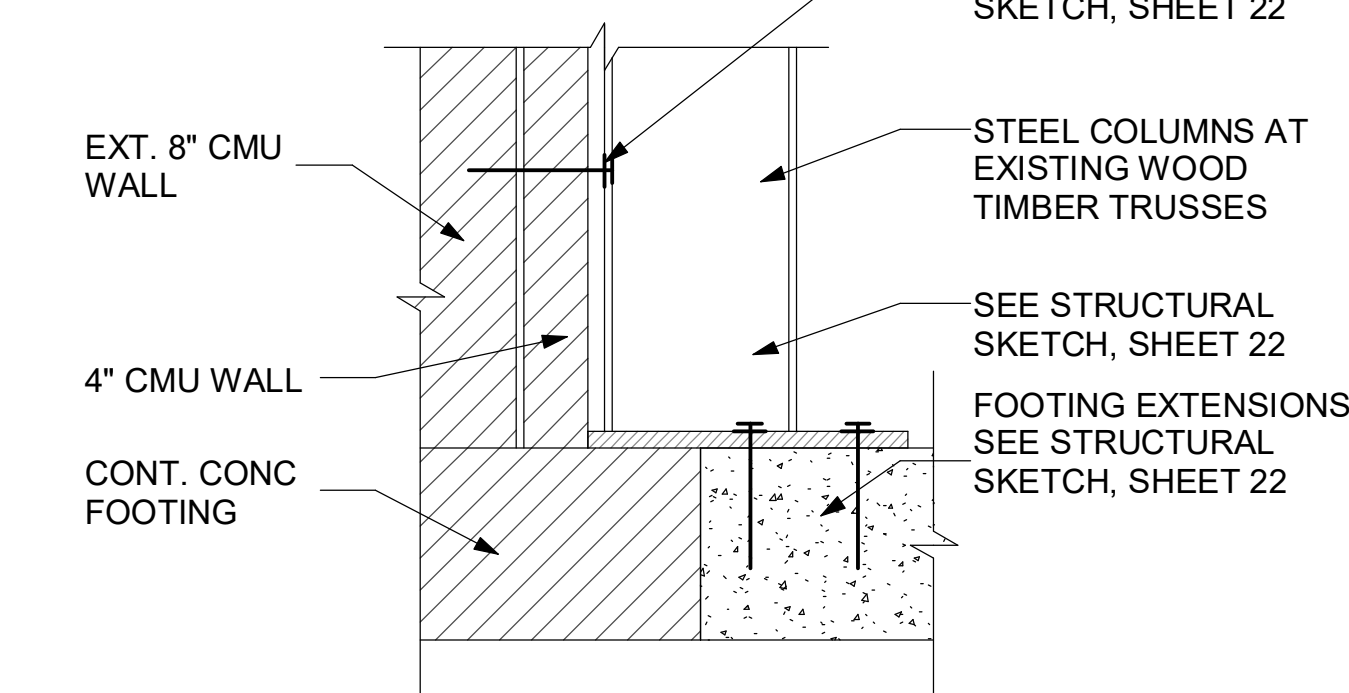
**1 | PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**2 | PROPOSED EXPLODED AXONOMETRIC**  
SCALE: 1/8" = 1'-0"



**4 | Roof Detail**  
SCALE: 1" = 1'-0"



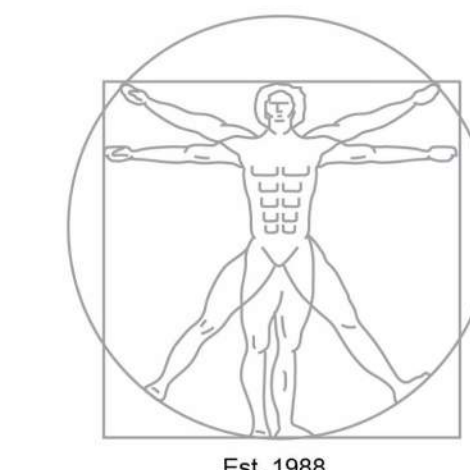
**3 | Footing Detail**  
SCALE: 1" = 1'-0"

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PROPOSED CONCEPTUAL FIRST FLOOR PLAN WITH AXON



EXISTING WOOD  
PURLINS

EXISTING WOOD  
TRUSS SYSTEM

PROPOSED SECONDARY  
STRUCTURAL SYSTEM

1 | PROPOSED VIEW TOWARDS STAGE  
SCALE:



2 | PROPOSED VIEW FROM STAGE  
SCALE:

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PROPOSED RENDERERS

**Memorandum**

**To:** Brian Laura, D.Arch., REG Architects  
**From:** Robert W. Best, Jr., P.E., Chen Moore and Associates  
**Date:** October 10, 2022  
**Re:** Thelma Boltin Center – Feasibility Study  
**CMA Project No.:** 22-0219.00003

Chen Moore and Associates (CMA) has prepared this Memorandum to summarize the feasibility study findings pertaining to civil engineering for the above referenced project.

**Background**

This project consists of an existing structure at 516 NE 2nd Avenue, Gainesville, FL 32601. The structure was built in 1942 to serve as a USO club catering to troops and was re-purposed after World War II as a community center. Walker Architects, Inc. prepared a Master Plan and Feasibility Study in 2019 which describes the history and condition of the facility in detail. The PRCA hired Wannemacher Jensen Architects in 2020 to prepare construction documents for a proposed \$2 million renovation of the facility with Wild Spaces & Public Places money. That was put on hold early in the process when structural failures were discovered.

The Gainesville City Commission has directed the Parks, Recreation and Cultural Affairs Department (PRCA) to move forward with the demolition and replacement of this historic building, but the City's Historic Preservation Board has asked that the PRCA explore every possible renovation/restoration option before proceeding with the building's destruction.

The Client has requested that the CMA Team (in collaboration with the REG Architects, Inc. (REG) and O'Donnell, Naccarato, Mignogna & Jackson, Inc. (ONM&J)) conduct architectural and engineering master planning services for a feasibility study of the Center, on behalf of the team.

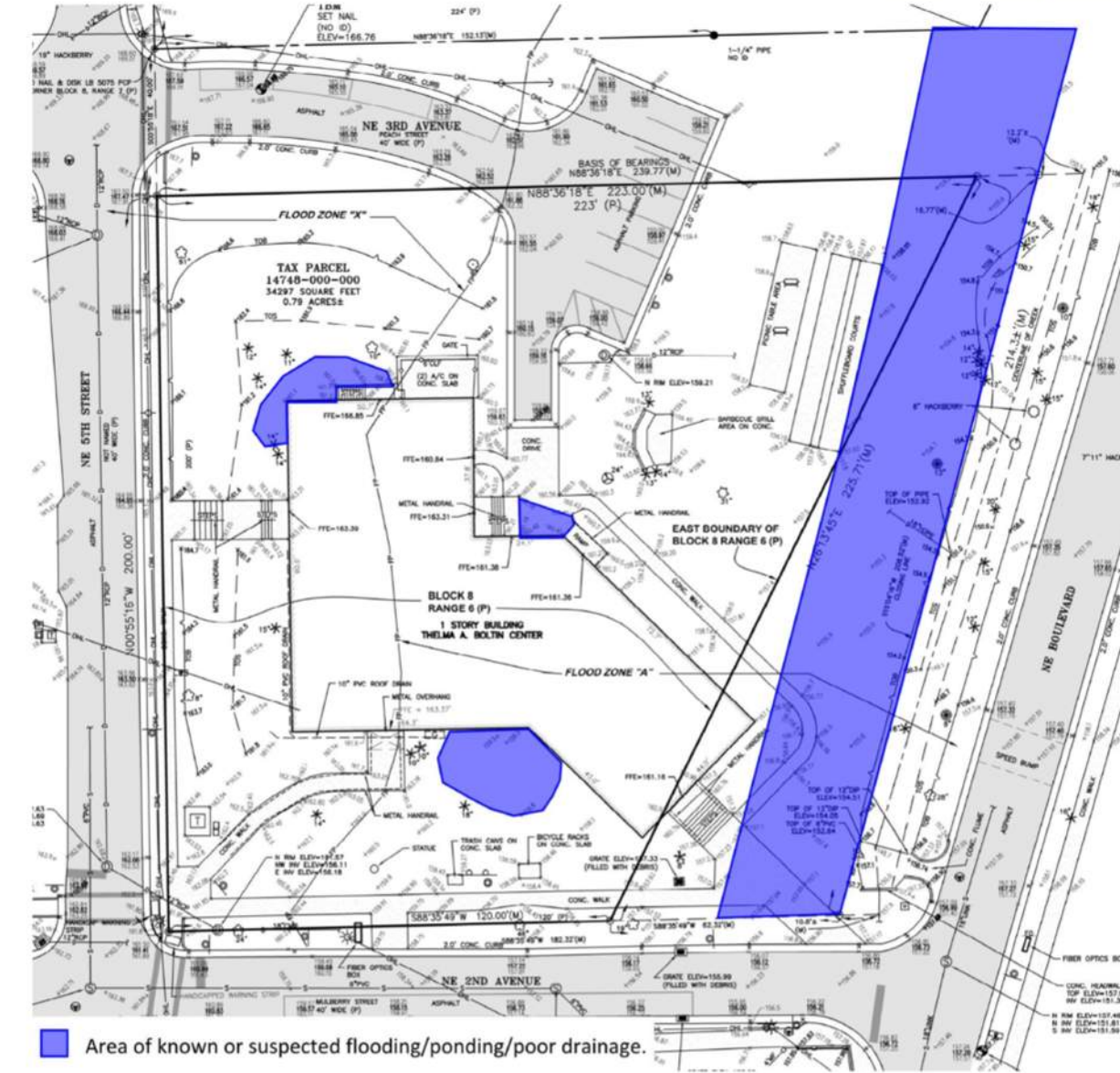
CMA performed research and one site visit for this report. The research consisted of researching the FEMA FIRM Panels and Flood Zones. The site visit was performed on September 16, 2022 to assess the current conditions of the project site and the results can be seen in the following sections.

**Flood Zone**

A portion of the project area lies within the Federal Emergency Management Association (FEMA) Flood Zone A per the Flood Insurance Rate Map (FIRM) Panels 12001C0314D. The attached FEMA FIRMette, Exhibit A, is included for reference. There is no identified Base Flood Elevation (BFE). During the site visit, City personnel noted that during regularly occurring rain events, the adjacent Sweetwater Branch Creek can rise and overflow its banks to the approximate limits shown in Figure 1.

**Stormwater and Site Paving and Grading**

This project area is within the Ocklawaha River Basin of the St. Johns Water Management District (SJRWMD). An environmental resource permit (ERP) from the SJRWMD is not anticipated for the scope of this feasibility study.



**Figure 1. Existing Conditions**

The existing grading appears to transfer drainage around the building from the westside of the property to the eastside of the property. Based on the surveyed topographic elevations and the site visit, surface runoff does not flow eastward beyond the north side of the building other than potential sheet flow over the mechanical equipment maintenance pad located on the northside of the building (see Figure 1). Drainage heading eastward along the southside of the building eventually reaches the Sweetwater Branch Creek via rain leader piping, drains, and culverts (under hardscape landings). As the drainage flows eastward along the southside of the building, it flows directly against the foundation, and in some locations has been noted to pond. These are shown in Figure 1.

Due to unevenness in the sidewalks and concrete areas around the building, drainage ponding and even washing out of near the western access stairs has occurred (see Figure 2).

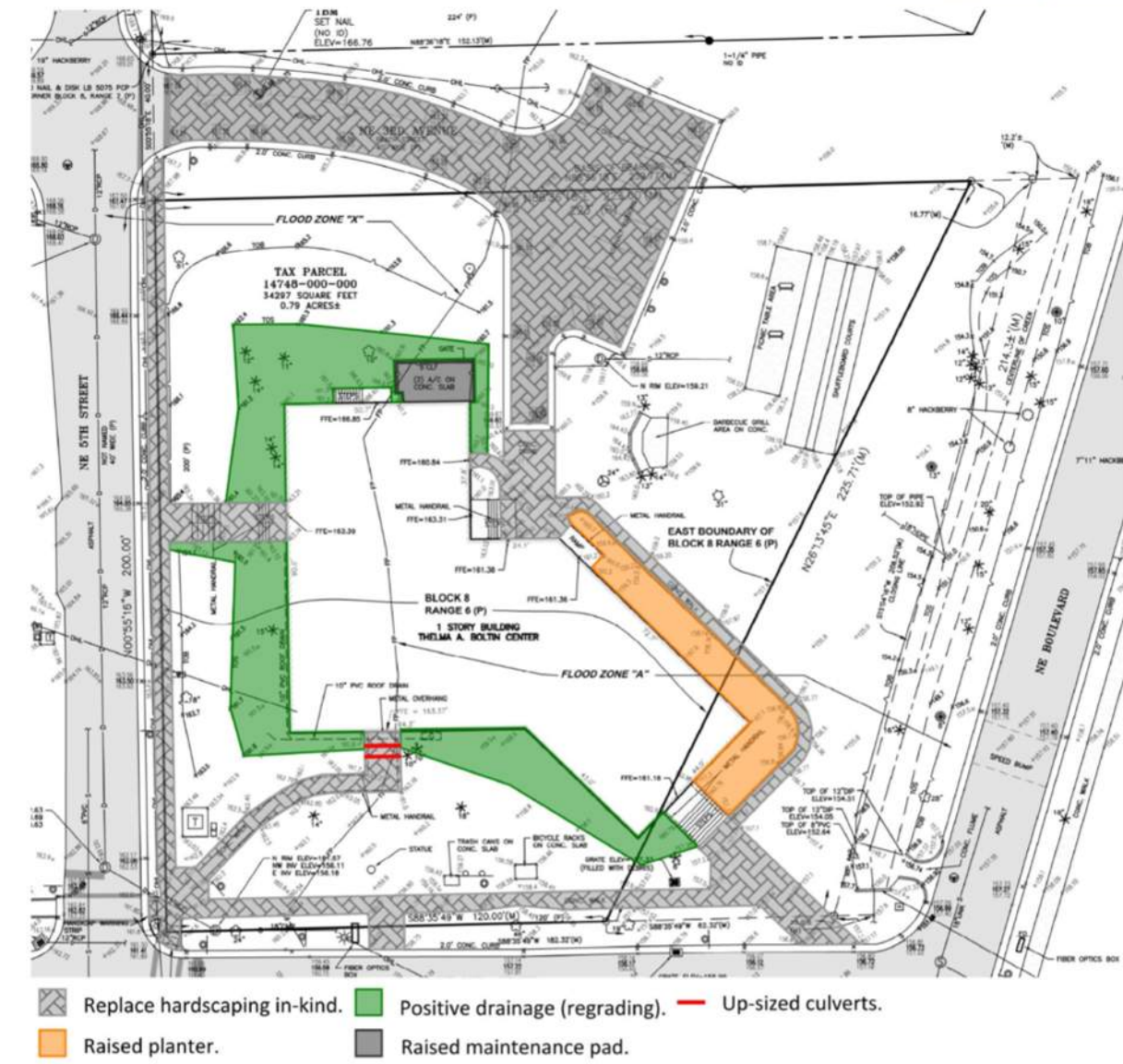


**Figure 2. Stairway Undermining**

Proposed improvements to the site paving and grading are anticipated to consist of harmonization to connect the existing hardscaping, parking lot, and structure. The site grading shall consider elevation constraints, such as the adjacent roadways, public sidewalks, the existing onsite parking lot, historic flood levels, and the existing structure. Site grading shall promote positive drainage away from habitable spaces towards the stormwater inlets (catch basins). A minimum slope of 0.5% shall be maintained to create a dry swale around the perimeter of the building footprint and to minimize surface water ponding. The existing culverts under the southwest landing should be further investigated with regards to increasing their diameter. Due to historic flooding, a decorative retaining wall/planter shall be considered in the area adjacent to the southeast portion of the building. The hardscaping (walkways, parking lots, etc.) should be re-graded and replaced in-kind to eliminate ponding locations. The existing mechanical maintenance pad should be replaced with a further elevated pad to minimize drainage sheet flow across the maintenance pad. Maximum site slopes shall consider ADA criteria (typically 2% maximum slope) and slopes conducive to facility operations. These general improvements are shown in Figure 3.

**Water and Sanitary Sewer Utilities**

This property is within the Gainesville Regional Utilities (GRU) service area for water and sanitary sewer. Proposed modifications to the water and sanitary sewer services are not anticipated, but should such improvements be proposed, those connections shall be coordinated with, and permitted through, GRU.



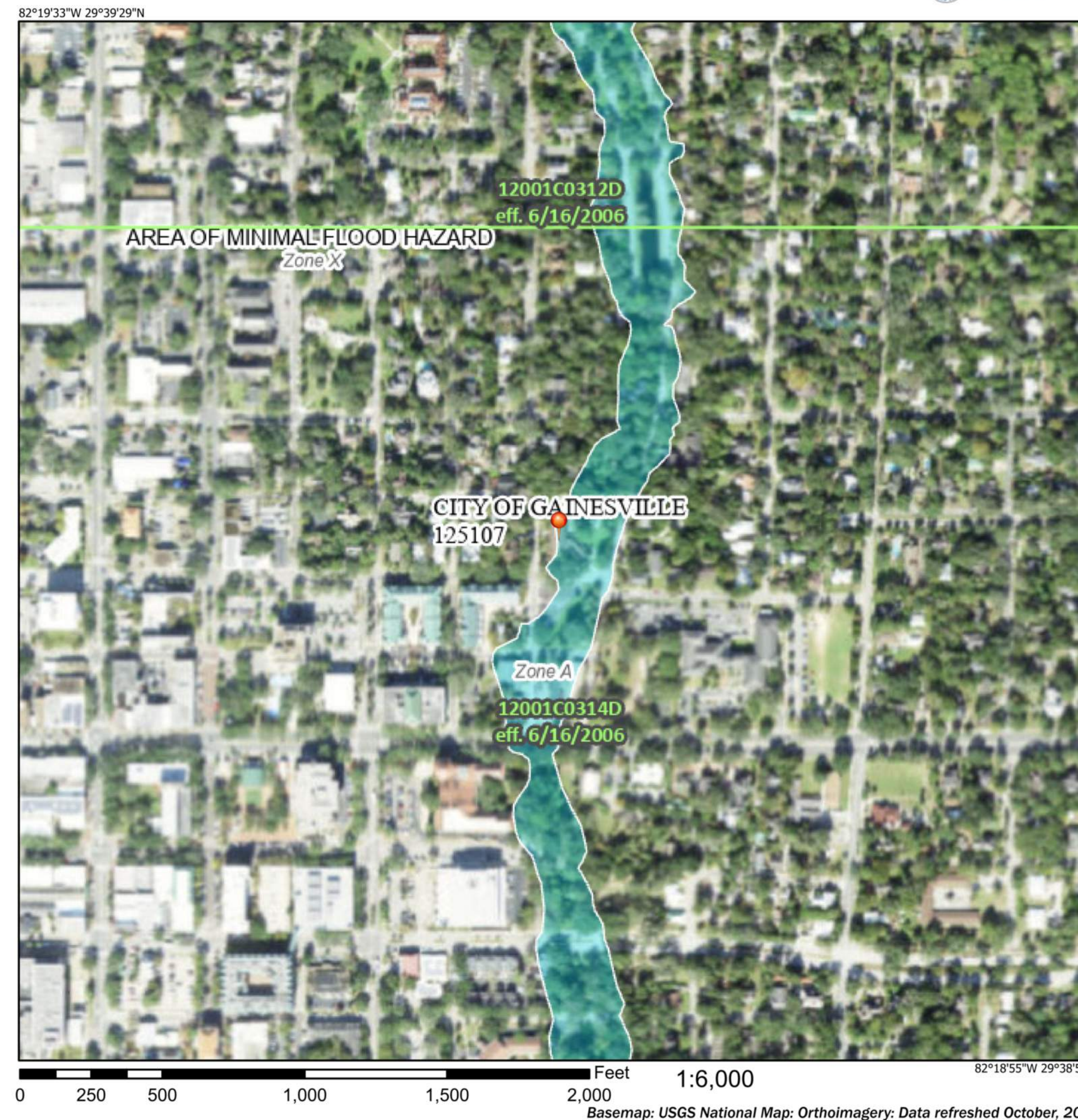
**Figure 3. Recommended Improvements**

**Adjacent Roadway**

The property is adjacent to City-owned roads (NE 2nd Avenue and NE 5th Street). Therefore, proposed site improvements shall be coordinated with the City of Gainesville Public Works. Should driveway improvements be proposed, an Obstruction of Right-of-Way with the City of Gainesville Public Works and a Driveway Permit with the City of Gainesville Department of Sustainable Development will be required.

Note, the civil scope excluded the following services: surveying, geotechnical investigation, traffic studies, environmental, off-site utilities improvements, off-site roadway improvements, building-related permitting, and cost estimates (in addition to the architectural cost estimates). The information found herein is preliminary and must be verified upon further design. Should you have any questions, please do not hesitate to contact me at my office at +1 (407) 536-7970, ext. 1201, my cell phone at +1 (407) 506-4845 or send me an electronic message at [rbest@chenmoore.com](mailto:rbest@chenmoore.com).

**National Flood Hazard Layer FIRMette EXHIBIT A**



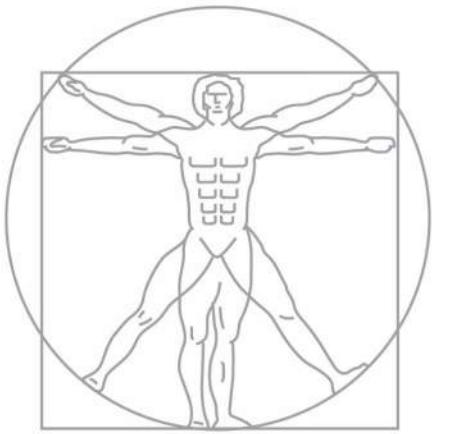
**Legend**

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
    - Without Base Flood Elevation (BFE) Zone A, V, X, Y
    - With BFE or Depth Zone AE, AO, AH, VE, AR
    - Regulatory Floodway
  - OTHER AREAS OF FLOOD HAZARD**
    - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
    - Future Conditions 1% Annual Chance Flood Hazard Zone X
    - Area with Reduced Flood Risk due to Levee, See Notes, Zone X
    - Area with Flood Risk due to Levee Zone D
  - OTHER AREAS**
    - NO SCREEN Area of Minimal Flood Hazard Zone X
    - Effective LOMRs
    - Area of Undetermined Flood Hazard Zone D
  - GENERAL STRUCTURES**
    - Channel, Culvert, or Storm Sewer
    - Levee, Dike, or Floodwall
  - OTHER FEATURES**
    - Cross Sections with 1% Annual Chance Water Surface Elevation
    - Coastal Transect
    - Base Flood Elevation Line (BFE)
    - Limit of Study
    - Jurisdiction Boundary
    - Coastal Transect Baseline
    - Profile Baseline
    - Hydrographic Feature
  - MAP PANELS**
    - Digital Data Available
    - No Digital Data Available
    - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards. The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/4/2022 at 5:11 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



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**THELMA A BOLTIN CENTER / HISTORIC GAINESVILLE**

516 NE 2ND AVE,  
GAINESVILLE, FL 32601

**NO. DATE DESCRIPTION**

NO.	DATE	DESCRIPTION

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**CIVIL ANALYSIS**

October 20, 2022

**Brian Laura**  
 REG Architects, Inc.  
 300 Clematis Street, 3<sup>rd</sup> Floor  
 West Palm Beach, FL 33401

**RE: Thelma Boltin Center**  
 516 NE 2<sup>nd</sup> Ave.  
 Gainesville, FL 32601  
 Project No.: 341.179

**SUBJECT: STRUCTURAL CONDITION ASSESSMENT**

Pursuant to your request, we performed a site visit on September 16, 2022, at the above referenced project. The purpose of our site visit was to investigate the premises for signs of distress or deterioration and to determine if the building is salvageable.

This report is intended to present the results of our site visits. No destructive testing was performed. No existing drawings were available for our review. A report (Sputo and Lammy Engineering, dated October 26, 2001) on the damaged roof was provided for our review. Our evaluation is based solely on our visual observations of the structural elements that were open and unobstructed on the date of our visit.

The 1-story, historic building consists of a roof / floor wood frame system supported by a single/double wythe, CMU exterior walls and interior columns.

Our observations revealed the following:

**I. Exterior**

**A. North Elevation (Exhibit 1)**

1. Exterior walls are painted CMU block. Block is in satisfactory condition except at northwest corner of the building. A crack is visible in the wall where the corner of the building has settled. It appears a repair was performed on the gable end in a continuous strip pattern located above the windows.
2. Wood framing around doors and windows are painted. The wood behind the paint has weathered over the years. Vertical cells of block are grouted in the header area of the door/window openings and no other steel angle reinforcement is visible. (Exhibit 2)
3. Exterior walls of main hall are constructed of 8"x12"x4" CMU with two hollow cells with a second wythe of 4"x12"x4". The roof girders are supported on pilasters integral with all four walls of the main hall. (Exhibits 3 & 4)

**B. East Elevation (Exhibit 5)**

1. Exterior walls are painted CMU block. East elevation includes the main hall which connects to the adjacent building section at a 45-degree angle. A previous crack in the masonry wall has been patched over. (Exhibit 6)
2. Wood framing at doors and windows are painted. Previous weathering and some rot noticeable on the wood frames (Exhibit 7)

**C. South Elevation (Exhibit 7)**

1. Exterior walls are painted CMU and are in satisfactory condition. There are several cracks in the masonry walls that have been previously patched but no further cracking is visible. There is a low spot in the grade where water collects to the east of the hall entrance. (Exhibit 8)
2. Wood framing at doors and windows are painted. Paint is covering weathered wood. Entrance canopy is in satisfactory condition.
3. There are open vents to ventilate the crawl space under the ground wood floor. (Exhibit 9)

**D. West Elevation (Exhibit 10)**

1. Exterior walls are painted CMU. Block is in satisfactory condition with the exception of the northwest corner of the building where some settlement of the foundation is visible. (Exhibit 11)
2. Wood framing at doors and windows are painted. Paint is covering weathered wood. (Exhibit 12)

**II. Interior**

**A. Roof**

1. Roof at main hall is partially visible and access to roof is limited. Roof in main hall is currently shored. Two girder trusses at stage has failed and is fully shored. Some termite damaged, wood was also observed. (Exhibit 13)

**B. Floor**

1. The wood floor appears to be level and solid. They are supported by a wood beam/ joist frame system supported by 12" x 12" CMU piers. Flooring that is visible appears to be in satisfactory condition. (Exhibit 14)

**C. Columns and beams**

1. Interior columns support the roof structure at the side building. One of the columns was exposed. The exposed column was constructed of vertical boards fastened together. The wood on the exposed column appeared to be in good condition. The composition and construction of the other columns could not be determined as they were covered with trim material. (Exhibit 15)

**III. Conclusion**

**A. Roof**

1. The two shored girder wood trusses over the stage area will require replacement. The remaining girder wood trusses can be repaired (e.g double wood scabbing, additional metal plate connections, etc.). The extent of repair will depend on the as-built condition of the wood. A design analysis will also reveal if the girder trusses/ purlins will require additional reinforcement to support loads per the current code. Additional column supports/ footings at the girder truss bearing ends will be required to properly transmit all loads to the ground per the current code. These new columns can also provide some lateral bracing to the existing exterior walls. New plywood sheathing above the existing wood planks (to be fastened into the roof framing members) will be required to provide an adequate roof diaphragm to resist lateral loads per the current code. Mechanical uplift connectors will be required throughout the roof framing which were found missing.  
  
Ceiling wood joists will also have to be repaired/ replaced as required.

**B. Exterior Masonry Walls**

1. The exterior step cracks are indicative of different settlement and subsurface consolidation beneath the foundation in the affected area. The total extent of the subsurface consolidation and settlement is a function of the soil conditions that exists and applied loads. Thus, we cannot determine whether the settlement has subsided or will worsen without knowledge of the underlying soil. A subsurface soil investigation will be required which includes borings and/ or hand augers located near the affected areas.
2. Further field investigation required to determine the sizes of the existing footings so that we can determine the adequacy of the existing foundation system.
3. The door/ window headers will require reinforcement with either a new precast / cast-in-place lintel or a new steel angle to support the required gravity loads.

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 Florida West Palm Beach Pennsylvania Philadelphia, Lehigh Valley

4. The exterior walls/gable end will require additional lateral reinforcement due to their unbraced height to resist the required wind loads. We also question whether the door / window jambs are sufficiently reinforced to resist the required wind loads.
5. In addition, all pipe penetrations should be sealed to mitigate water intrusion. The exterior should be caulked and painted with a waterproof coating.

**C. Building Envelope**

1. It is evident that the existing door / window openings are not impact rated.

The building overall was found in satisfactory condition but will require the above repairs. Two wood girder trusses over the stage area will require replacement and further investigation required to determine the extent of damage on the remaining wood girders. Further investigation required to determine the settlement issue at the NW corner. If the building is to remain, the Florida Existing Building Code may mandate that the entire building be upgraded to current code due to the number of repairs. This upgrade will not only include the structure, but also all other building systems (mechanical, electrical, plumbing, life safety, accessibility, etc.). We highly recommend that the building official be consultant to determine the extent upgrade required for a Historic Building. The structure may be salvageable but the structural / architectural upgrades to retrofit this existing building may be cost prohibitive.

**IV. GENERAL NOTES**

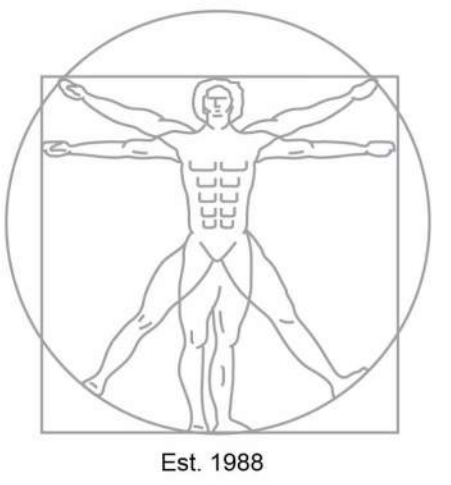
We were commissioned by REG Architects to perform a general walk-through, visual review of the building, advising them of any structural defects and need for repair. This report is based upon clearly visible, open, and unobstructed areas of the premises on the date of our site visit. No opinion is rendered with regards to structural elements that were concealed.

We trust that you will find the information contained herein helpful. Should you have any questions, do not hesitate to call our office.

**O'DONNELL, NACCARATO, MIGNOGNA & JACKSON, INC.**

Joseph F. Mincuzzi, P.E.  
 Vice President  
 STATE OF FLORIDA  
 Registered Professional Engineer No.: 38162  
 Registered Professional Special Inspector No.:0952  
  
 JFM/bm

Jeff Ballard  
 Project Engineer



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Exhibit 1



Exhibit 3



Exhibit 5



Exhibit 7



Exhibit 2



Exhibit 4



Exhibit 6



Exhibit 8

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STRUCTURAL CONDITION ASSESSMENT



Exhibit 13



Exhibit 14



Exhibit 15



Exhibit 9



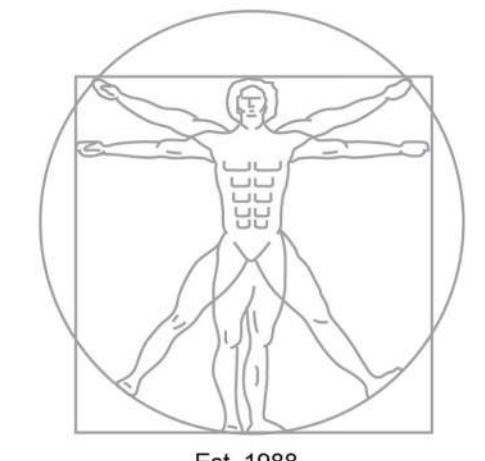
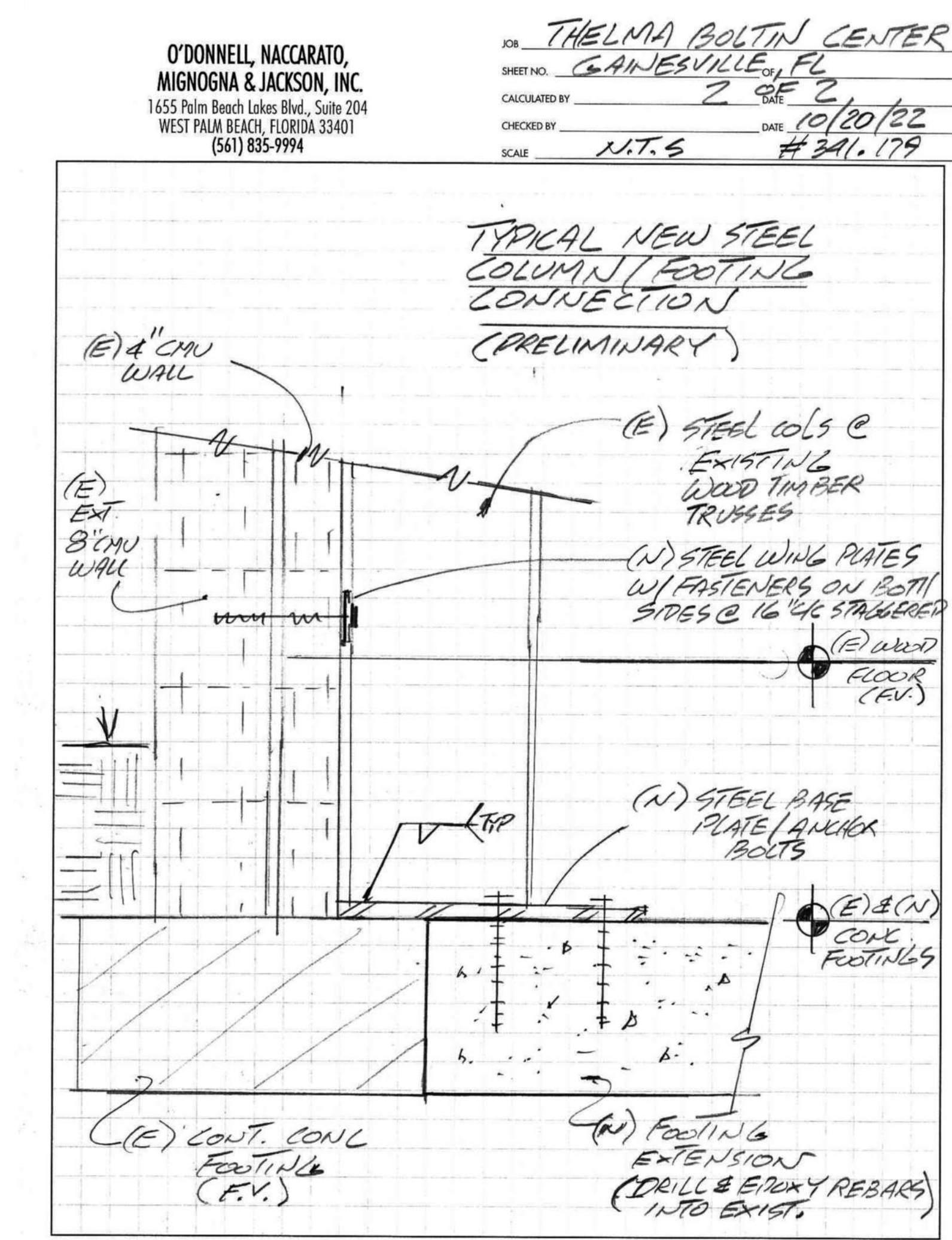
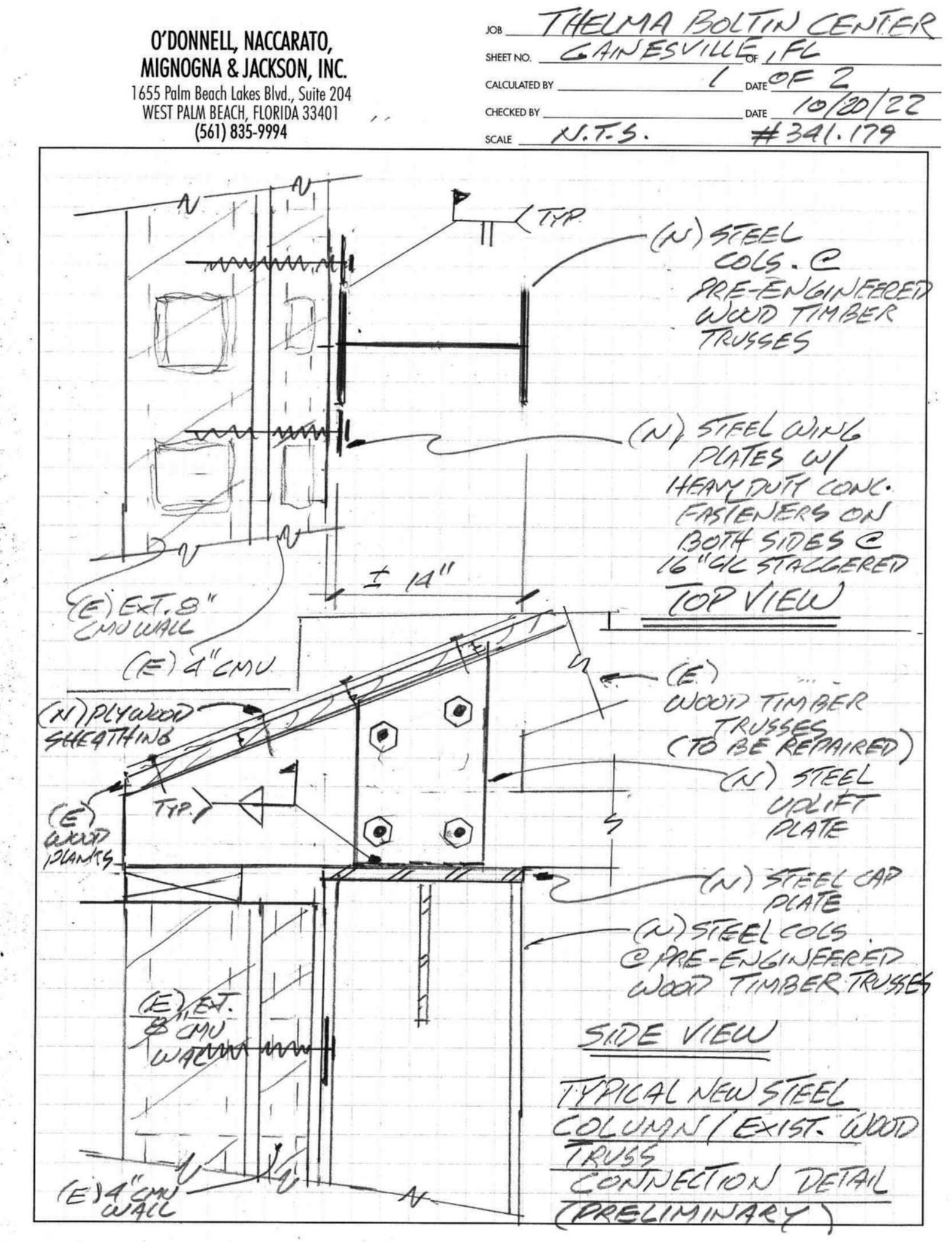
Exhibit 10



Exhibit 11



Exhibit 12



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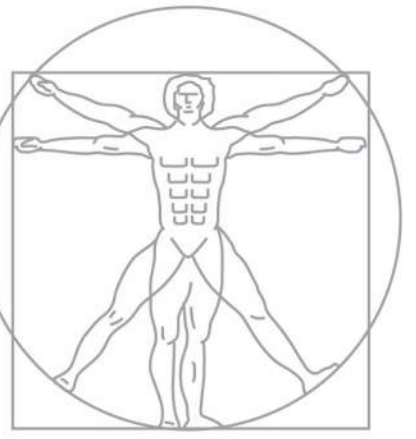
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STRUCTURAL CONDITION  
ASSESSMENT





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# CASE STUDY 01

**OLD MT. CARMEL CHURCH  
GAINESVILLE, FLORIDA**

Size: 12,561 SF / \$446 SF  
Estimated Cost: \$5.6 Million



ROOF  
STRUCTURE  
WOOD SHEATHING  
OVER RAFTERS

FIRST FLOOR ADD ON EXISTING CEILING CONDITIONS



SECOND FLOOR ALTER AND SEATING AREA  
BEHIND MAIN STAGE



WOOD  
REINFORCEMENT  
WOOD  
TRUSSES  
WOOD  
SHEATHING

ROOF WOOD TRUSSES STRUCTURE

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CASE STUDY 01



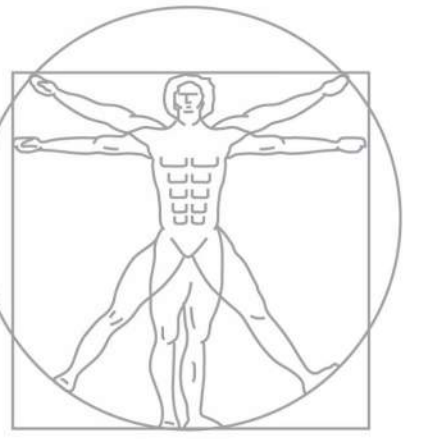
# CASE STUDY 02

**BOYNTON BEACH ARTS & CULTURAL CENTER**  
BOYNTON BEACH, FLORIDA

Size: 28,000 SF / \$380 SF  
Cost: \$10.6 Million

**REG**

Architects  
Interiors  
Planners



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**Rick Gonzalez, AIA**  
President

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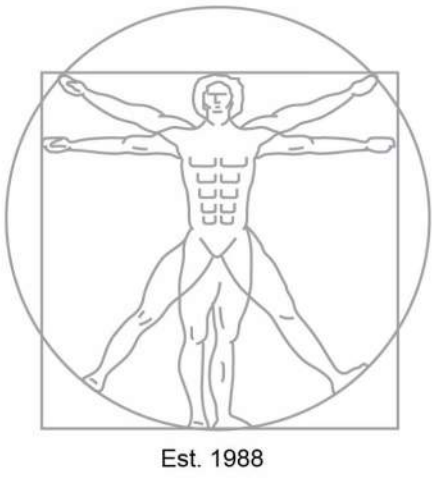
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CASE STUDY 02



## CASE STUDY 03

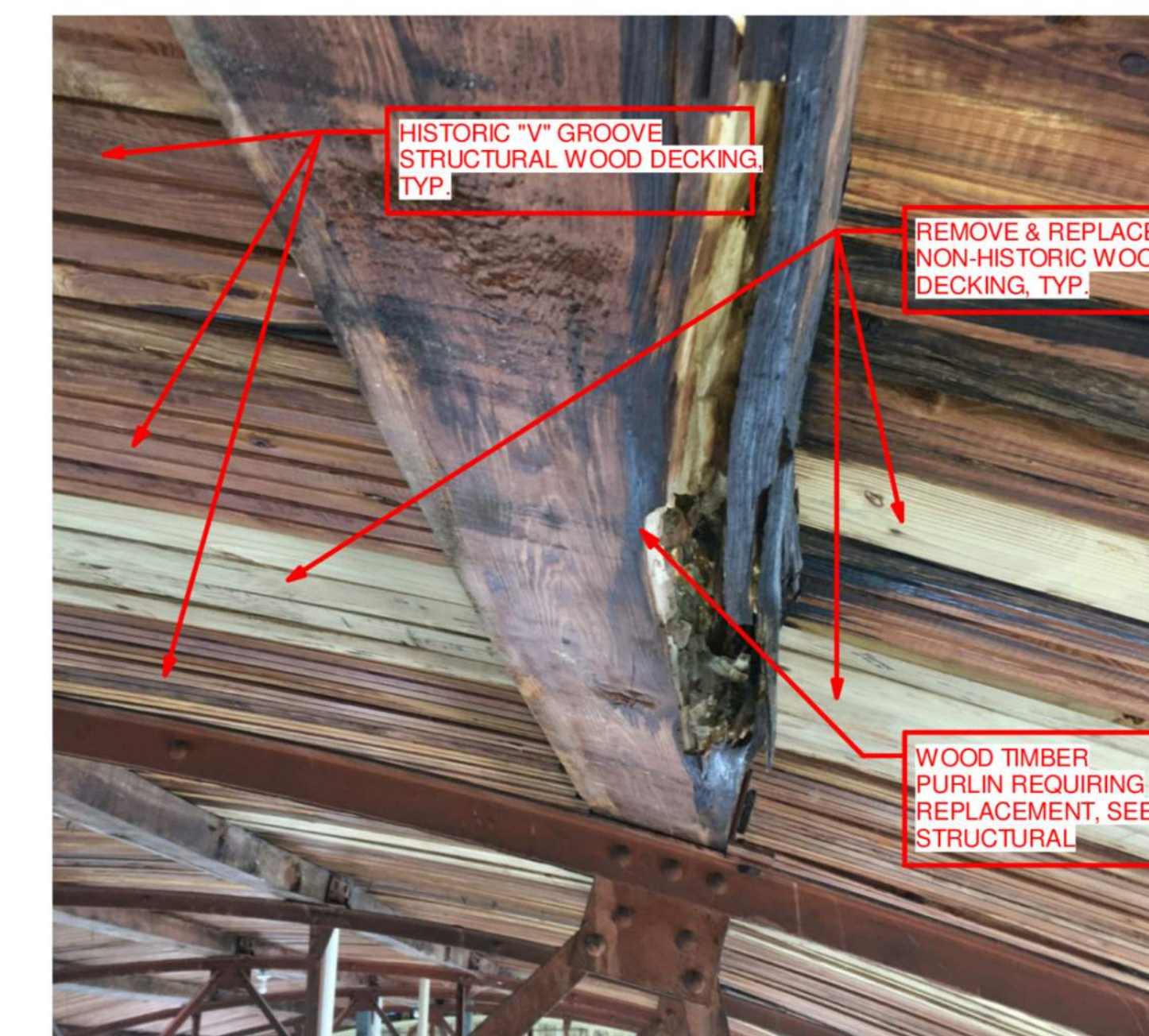
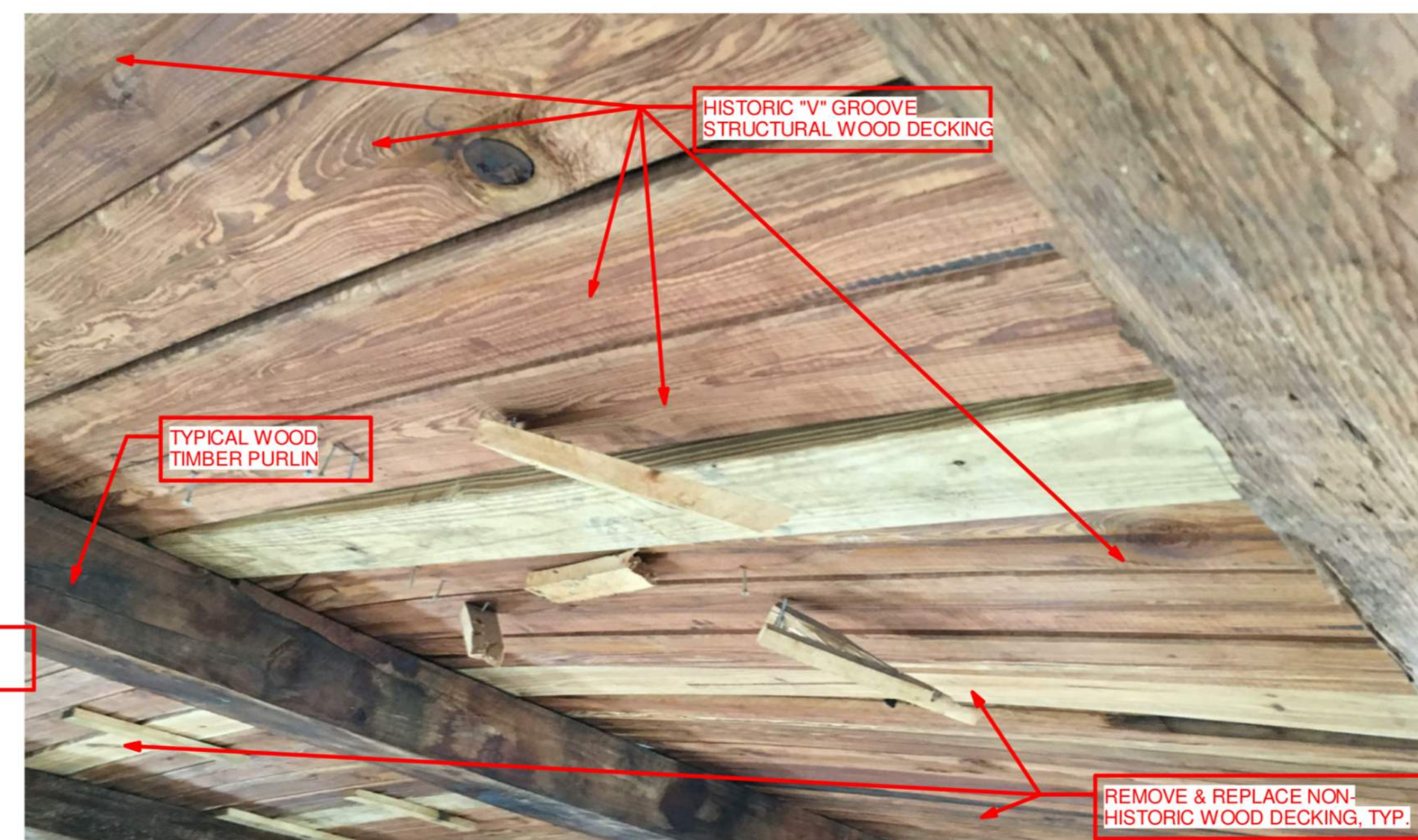
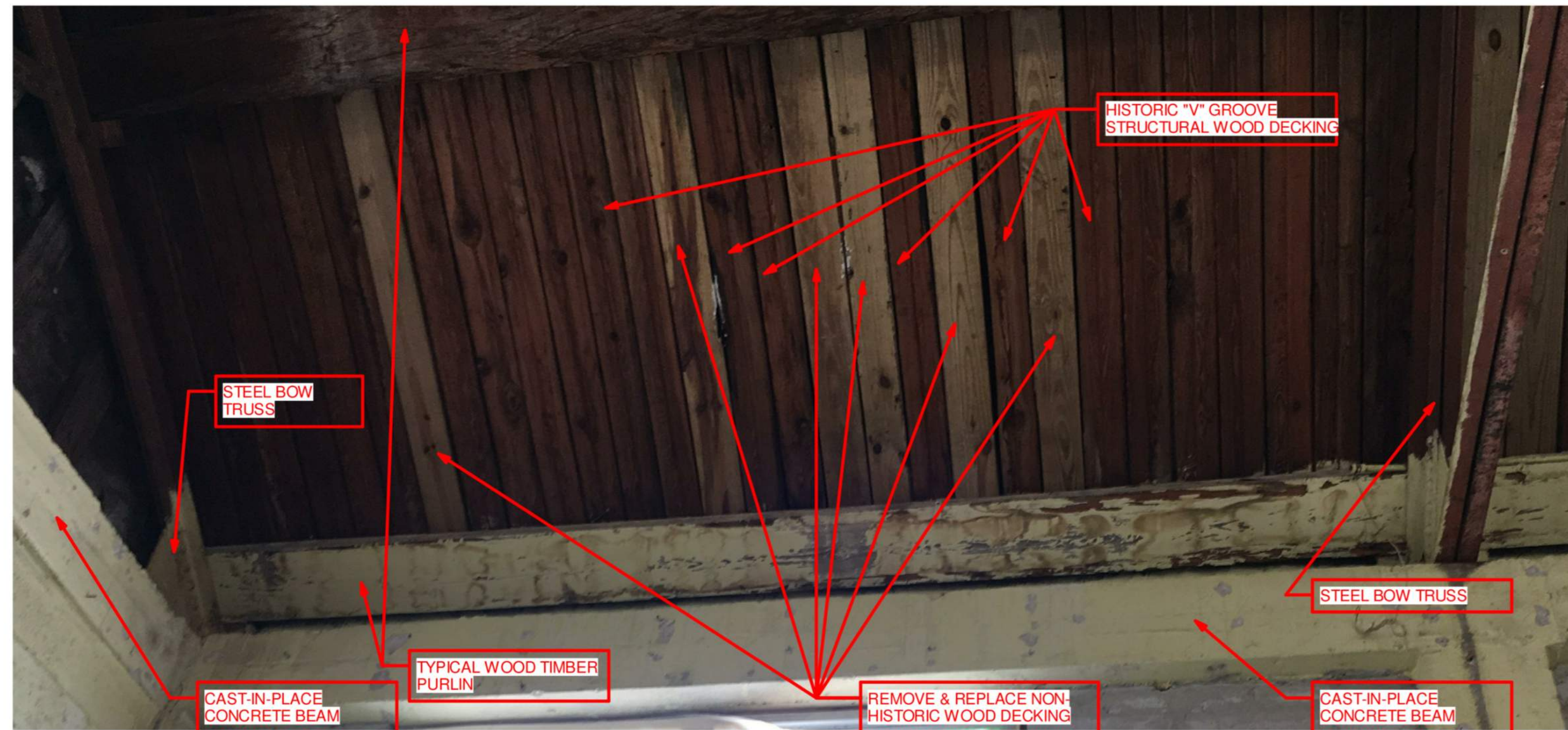
**HISTORIC SUNSET LOUNGE** Size: 20,500 SF / \$800 SF  
**WEST PALM BEACH, FLORIDA** Cost: \$16.4 Million



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