

THELMA A BOLTIN CENTER / HISTORIC GAINESVILLE

OWNER

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PROJECT MANAGER
WILD SPACES & PUBLIC PLACES
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REG ARCHITECTS, INC.
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BRIAN LAURA, D. ARCH. SR. PROJECT MANAGER
120 SOUTH OLIVE AVE, STE#210,
WEST PALM BEACH, FL 33401
PHONE: 561-659-2383

CIVIL ENGINEER

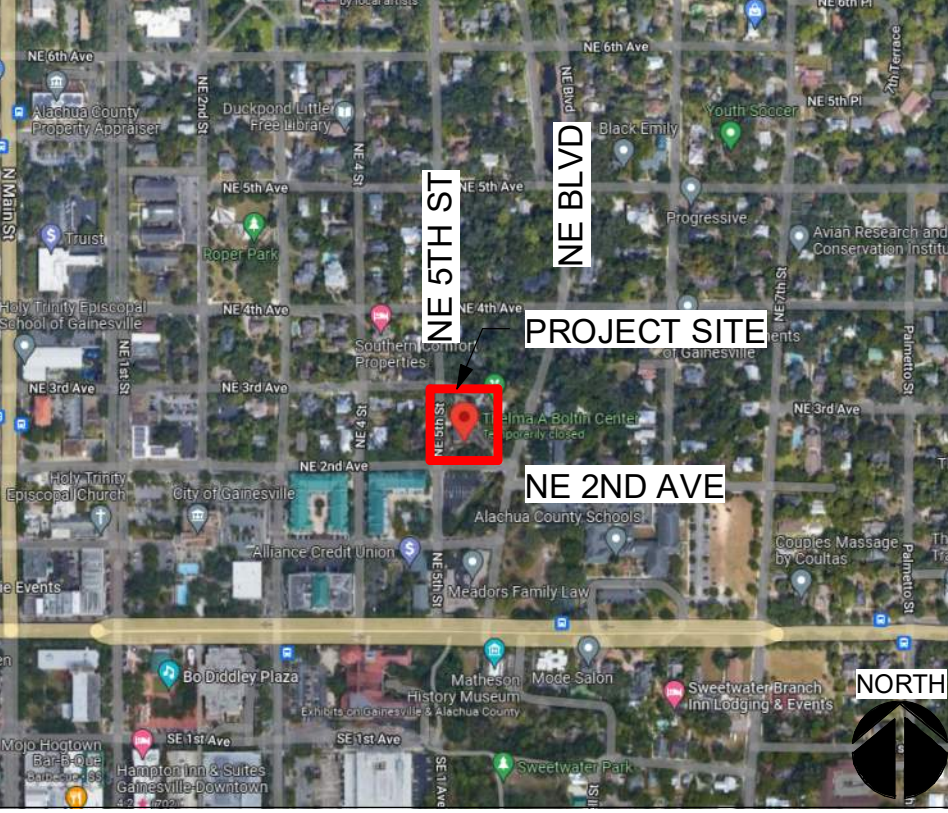
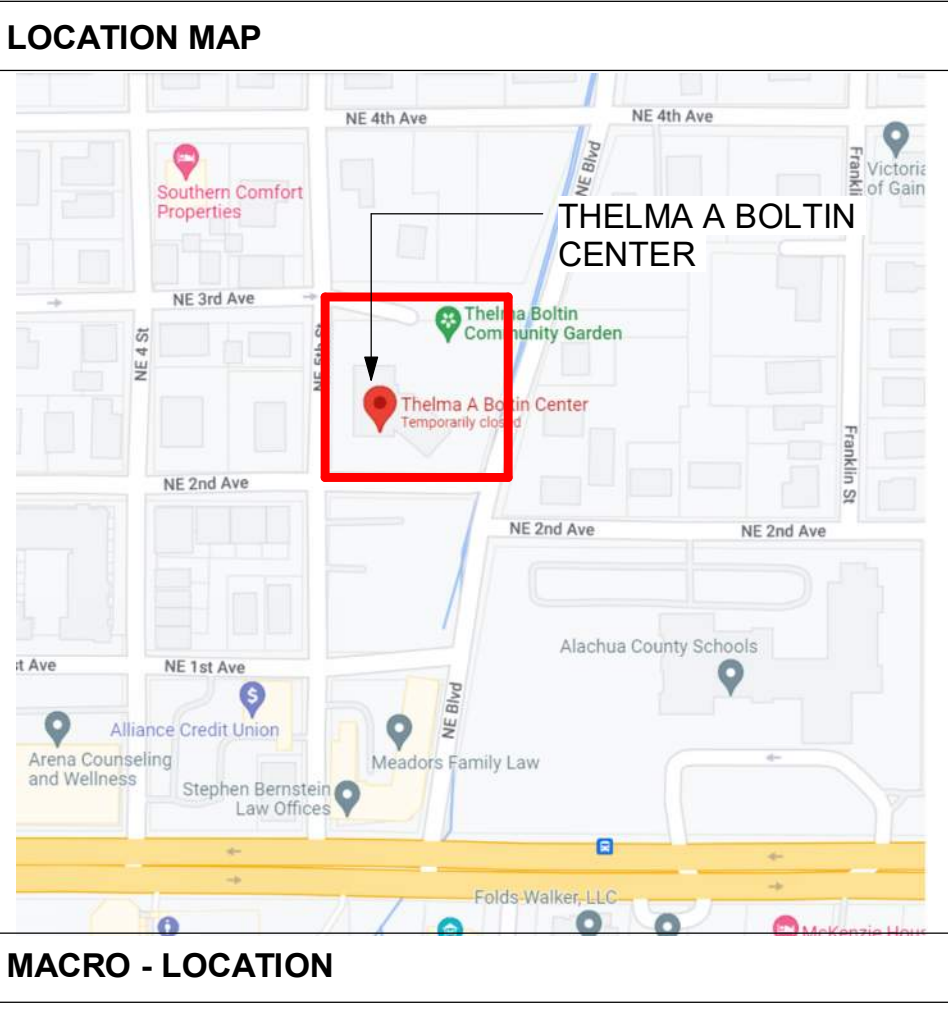
CHEN MOORE AND ASSOCIATES,
341 N. MAITLAND AVE., SUITE 346
MAITLAND, FL 32751
+1(407) 536-7970 (OFFICE)

STRUCTURAL ENGINEER

ONM & J STRUCTURAL ENGINEERS
JOE MINCUZZI,
1655 PALM BEACH LAKES BLVD., SUITE 204
WEST PALM BEACH, FL 33401

SCOPE OF WORK

EXISTING CONDITIONS PLANS /
CONCEPTUAL - ADA ACCESSIBILITY/
STRUCTURAL ANALYSIS / CIVIL ANALYSIS
HISTORIC PRESERVATION



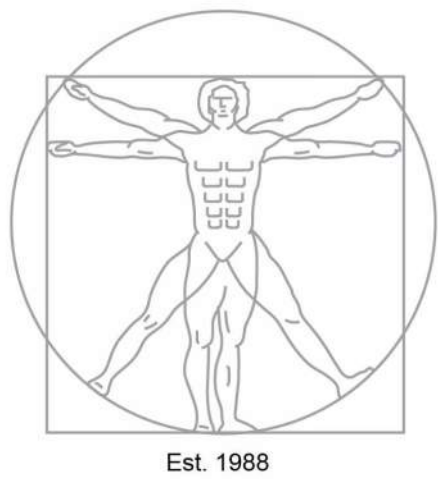
516 NE 2ND AVE, GAINESVILLE, FL 32601
VIEW N. W. CORNER

SPECIAL THANKS TO THE STATE OF FLORIDA DEPARTMENT OF
STATE HISTORIC RESOURCES GRANT & CITY OF GAINESVILLE, FLORIDA

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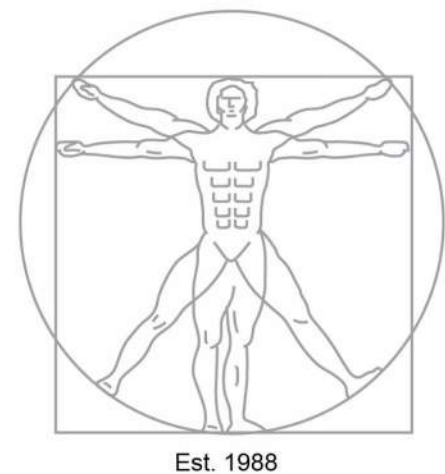
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COVER SHEET



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HISTORICAL SIGNIFICANCE



VIEW FROM THE STAGE DURING A DANCE. EXISTING WOOD BEAMS VISIBLE ABOVE
HEIGHT OF CURRENT INSTALLED ACOUSTIC CEILING TILES.

VIEW FROM SOUTH ENTRANCE TOWARDS STAGE DURING A SERVICEMEN'S DANCE.



THELMA A BOLTIN SIGNAGE



SIGNAGE HISTORICAL PRESERVATION SIGNIFICANCE, 2008

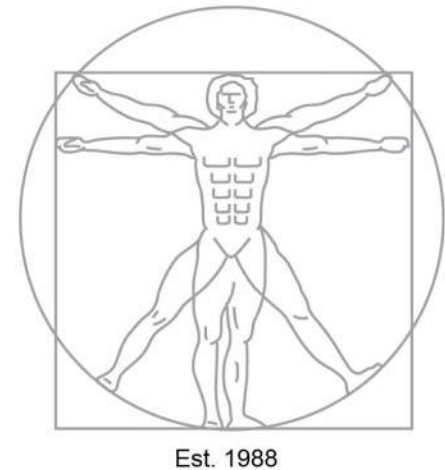
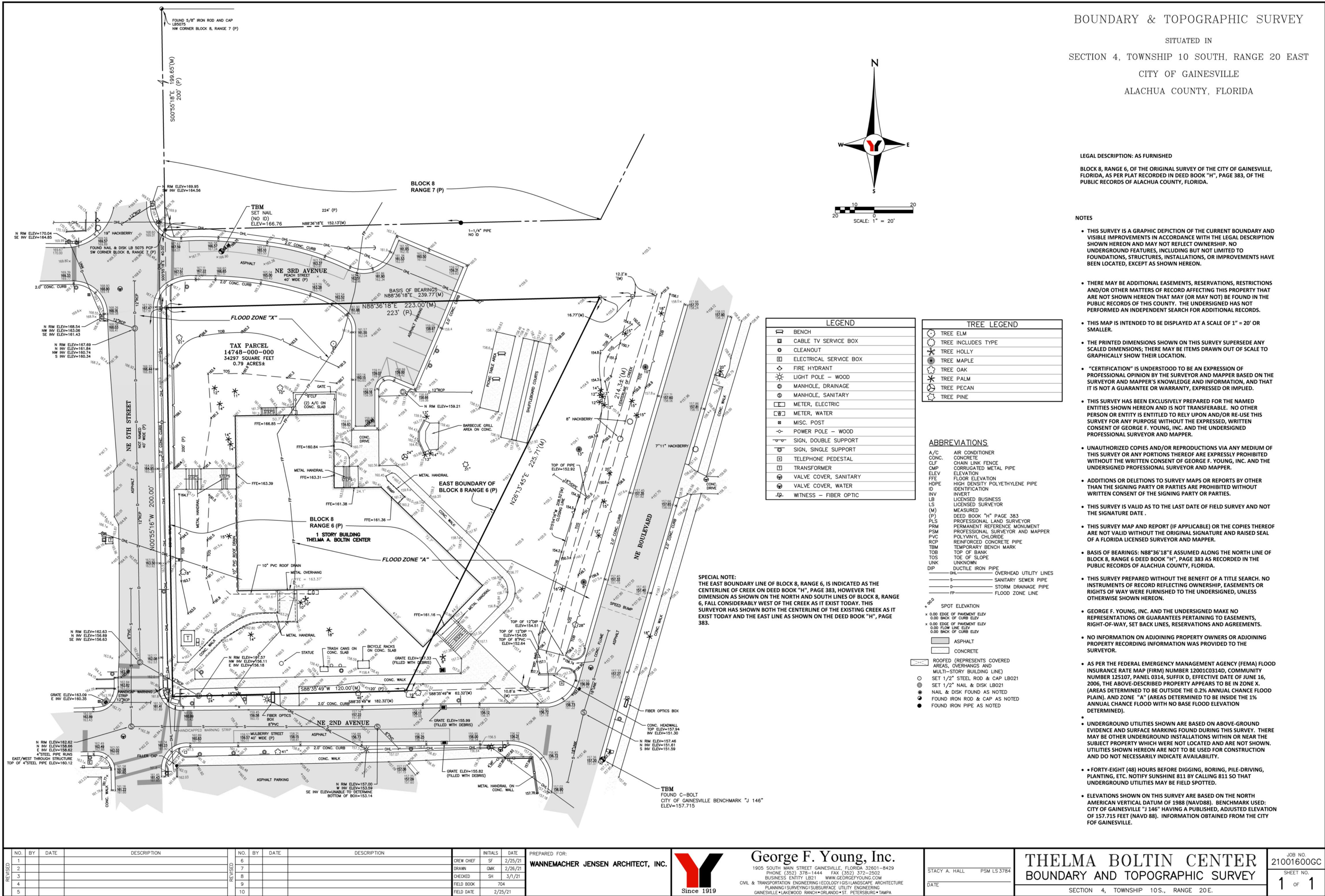


VIEW FROM THE SOUTH MAIN ENTRANCE

HISTORIC SIGNIFICANCE OF GAINESVILLE HISTORIC / THELMA A BOLTIN CENTER

The Thelma Boltin Center is an active City of Gainesville Parks, Recreations and Culture Affairs recreation amenity. It is a historic building located on a 2-acre site in the Gainesville North-East Historic District at 516 NE 2nd Ave. Originally built in 1942 to serve as a USO for service man and women from bases around Gainesville, the city later converted the building into a multipurpose facility. The Center now serves a wide variety of events, including dance groups, music recitals, concerts, family and social events, and political debates.





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SURVEY



1 NORTH ENTRANCE



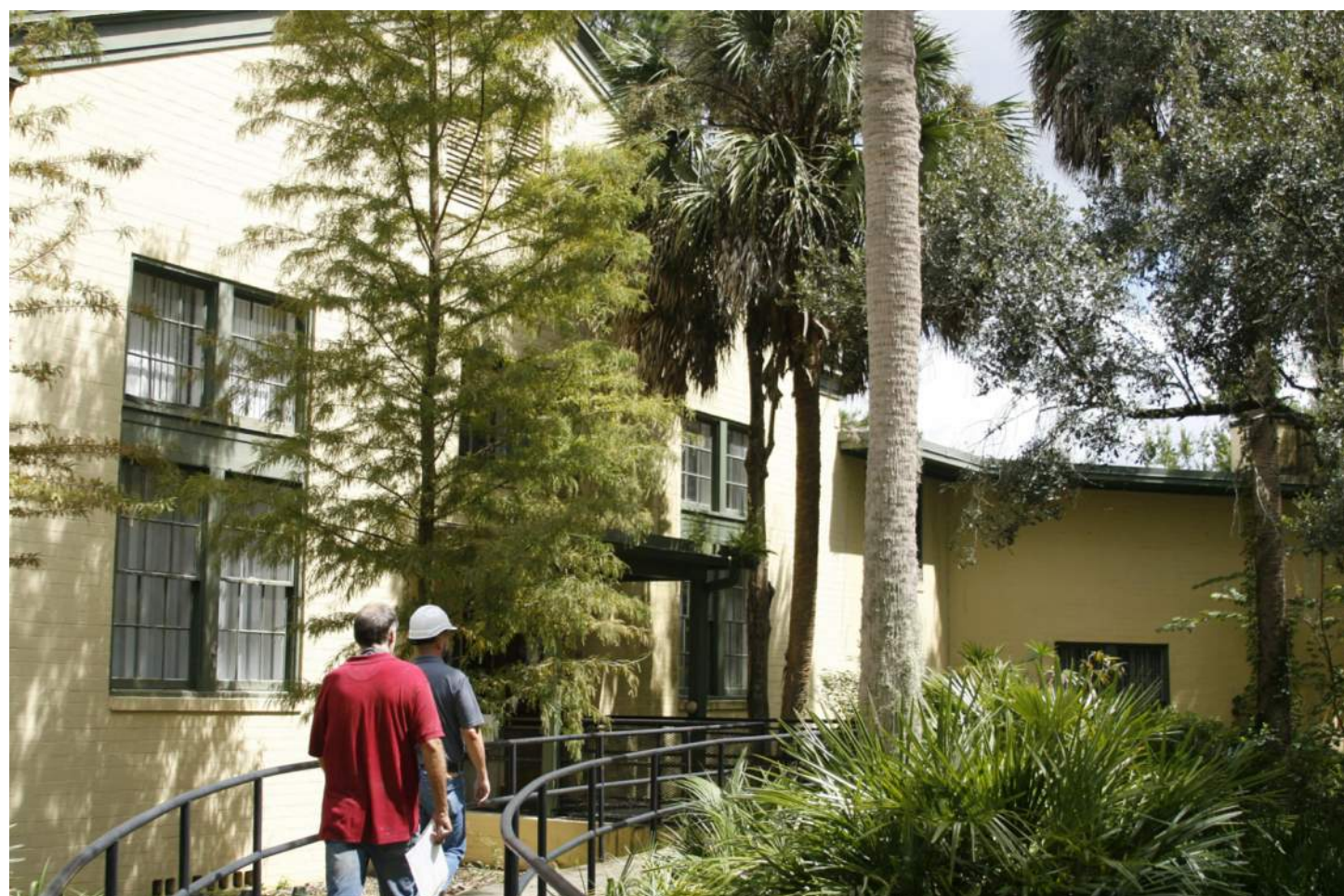
2 WEST ENTRANCE



3 WEST ENTRANCE



4 SOUTH (MAIN) ENTRANCE



5 SOUTH (MAIN) ENTRANCE



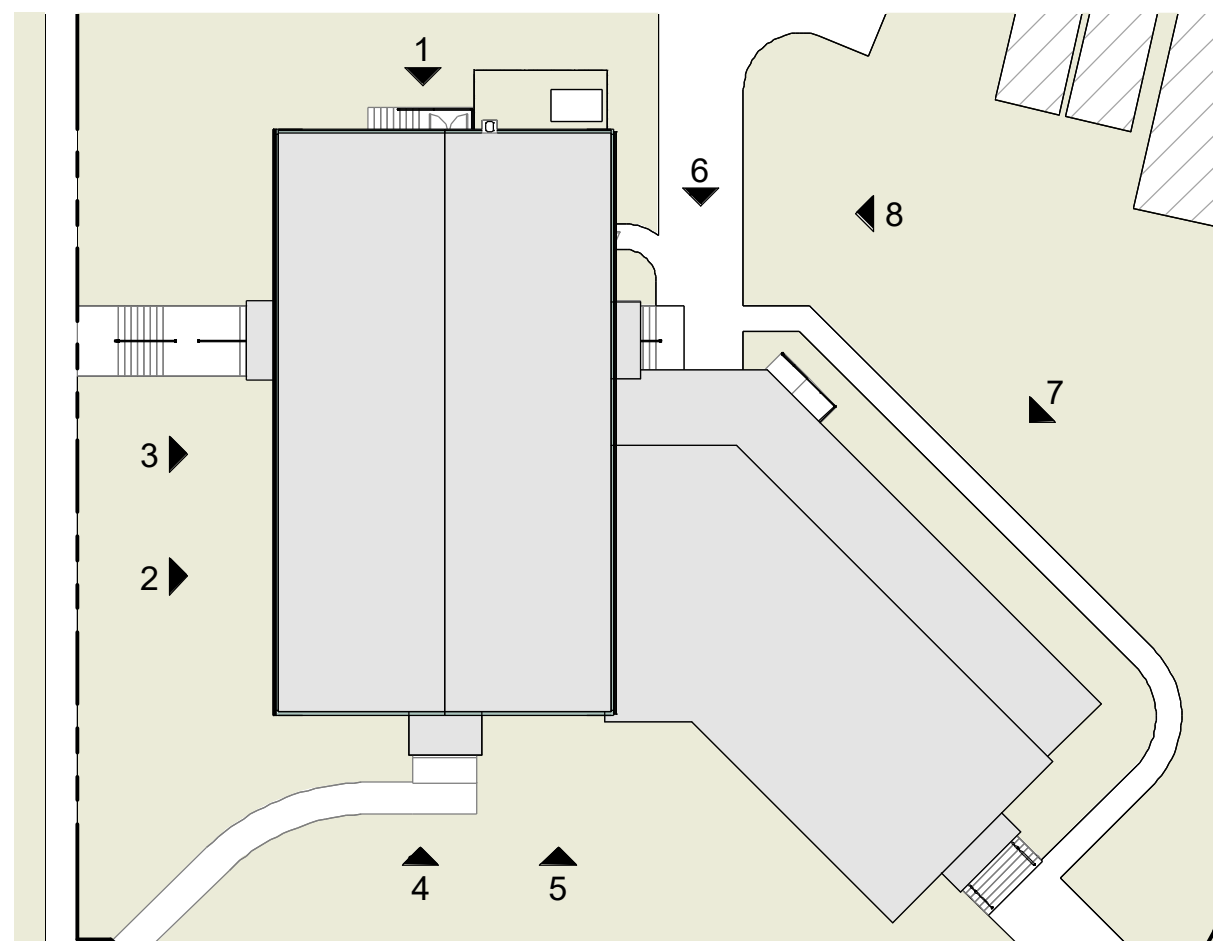
6 EAST FACADE ENTRANCE



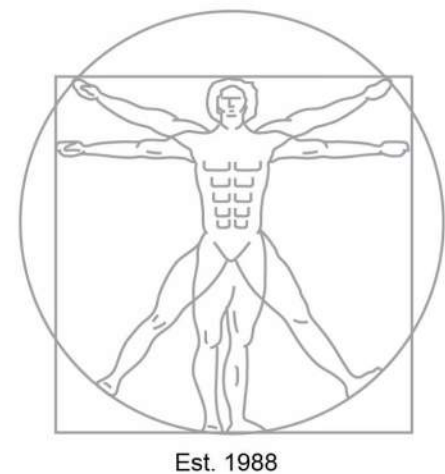
7 EAST ENTRANCE



8 EAST ENTRANCE



KEY PLAN



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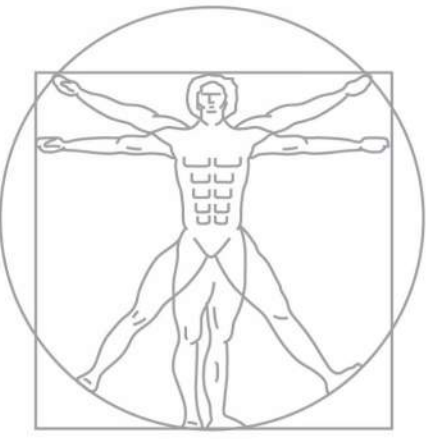
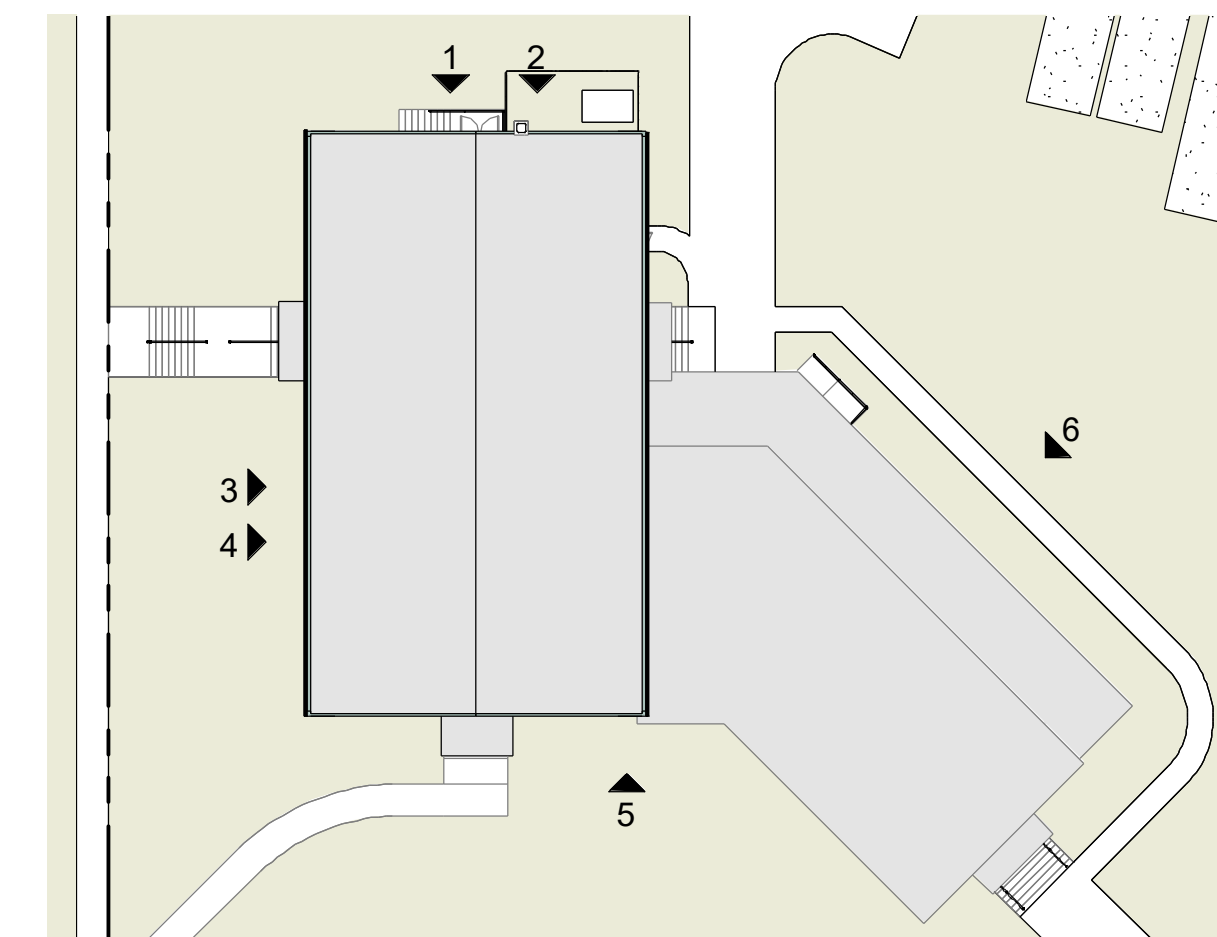
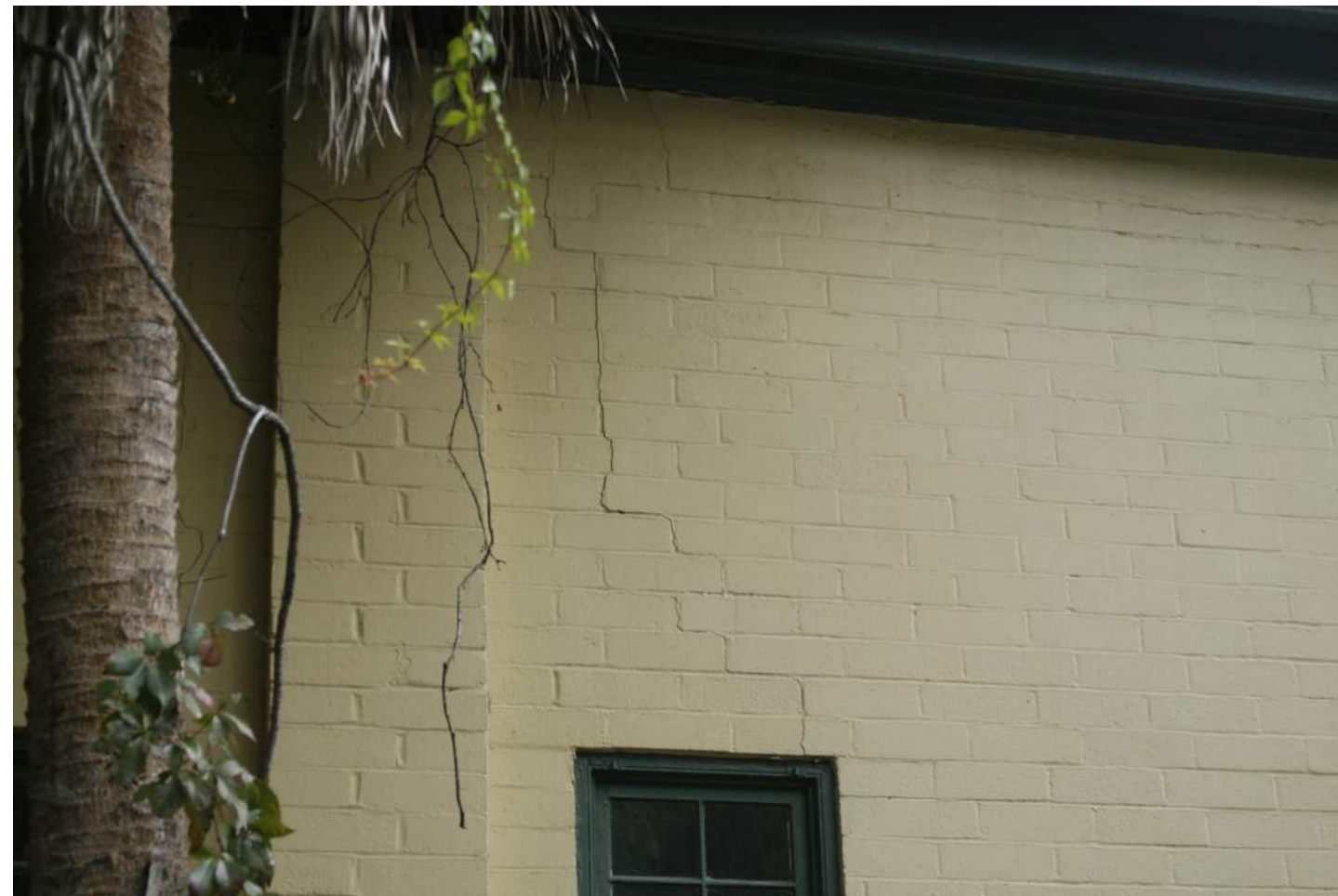
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EXTERIOR EXISTING
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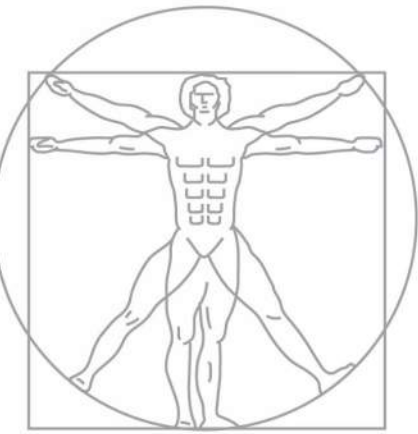
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INTERIOR EXISTING
CONDITIONS

AUDITORIUM
DROP CEILING

DOOR OPENING
LEADS TO THE
STAGE

DOOR LEADS TO
THE GROUP
ROOM

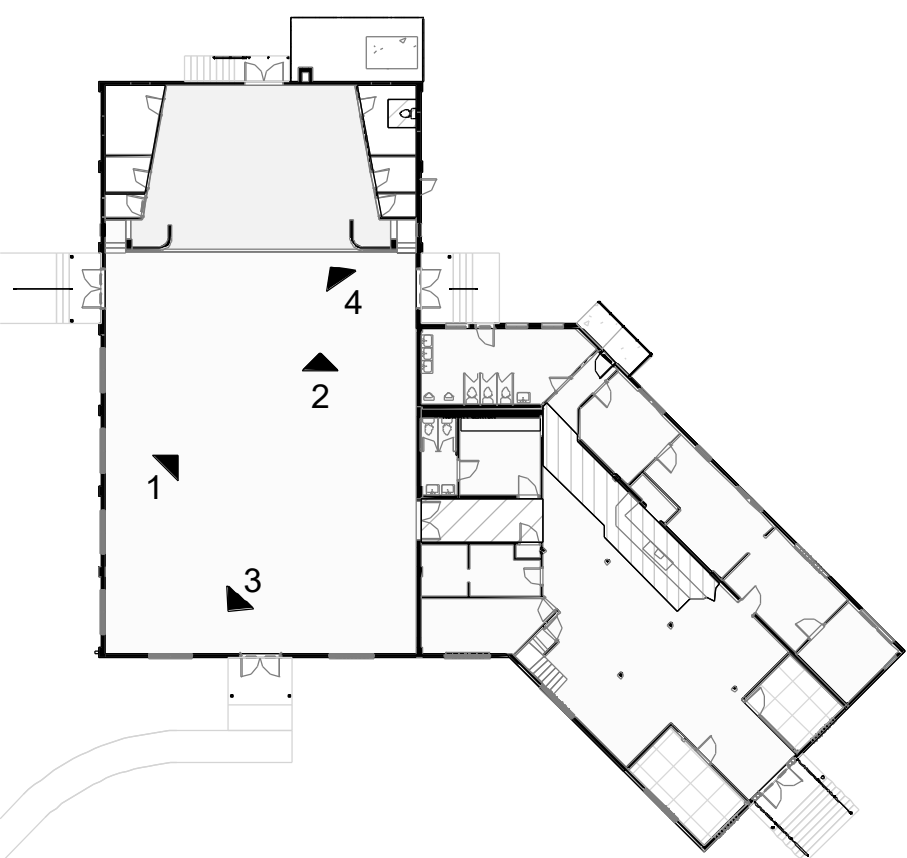
WOOD FLOOR
FINISH

1 FIRST FLOOR AUDITORIUM

2 FIRST FLOOR AUDITORIUM

3 FIRST FLOOR AUDITORIUM CEILING

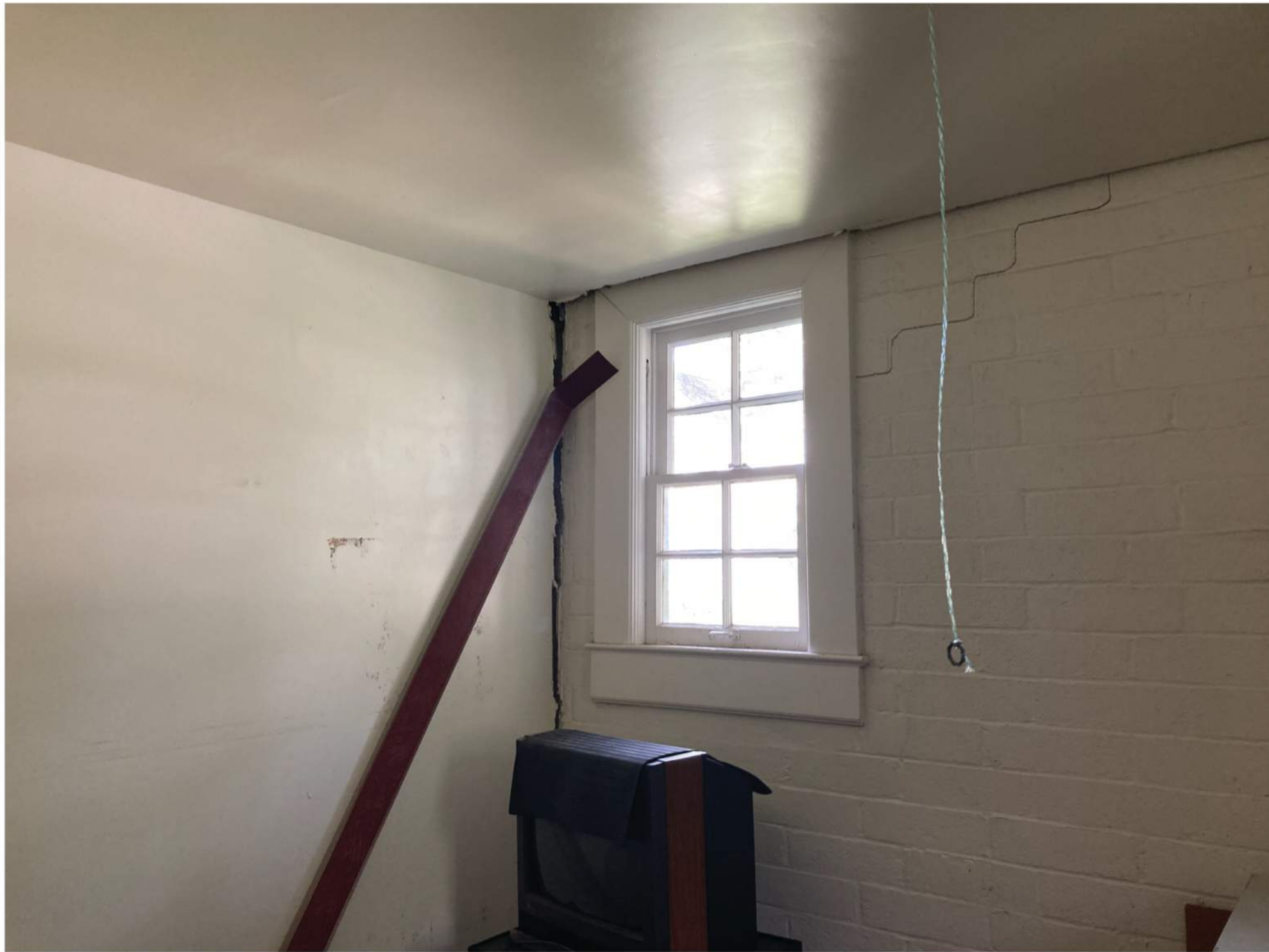
4 FIRST FLOOR, STAGE



KEY PLAN



1 CEILING ABOVE THE STAGE, FIRST FLOOR



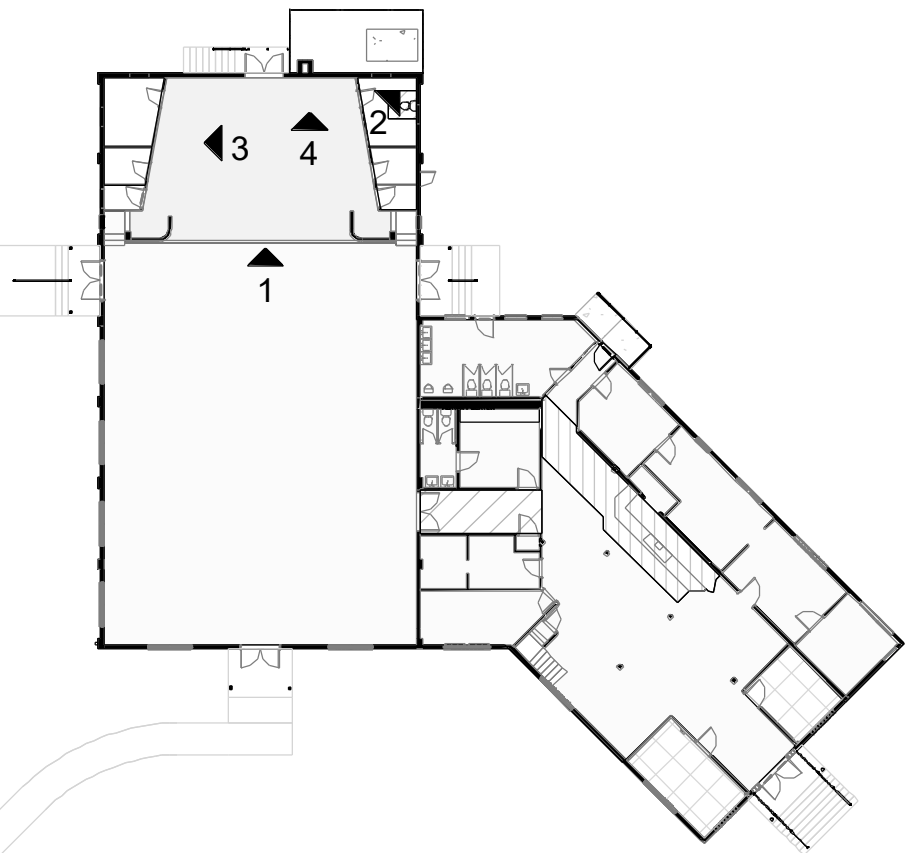
2 SUPPLY ROOM, FIRST FLOOR



3 STAGE, FIRST FLOOR



4 STAGE CEILING, FIRST FLOOR



KEY PLAN



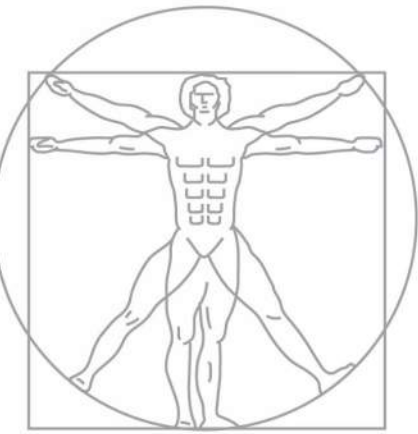
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INTERIOR EXISTING
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1 SOUTH ENTRANCE DOOR LEADS TO THE EXIT



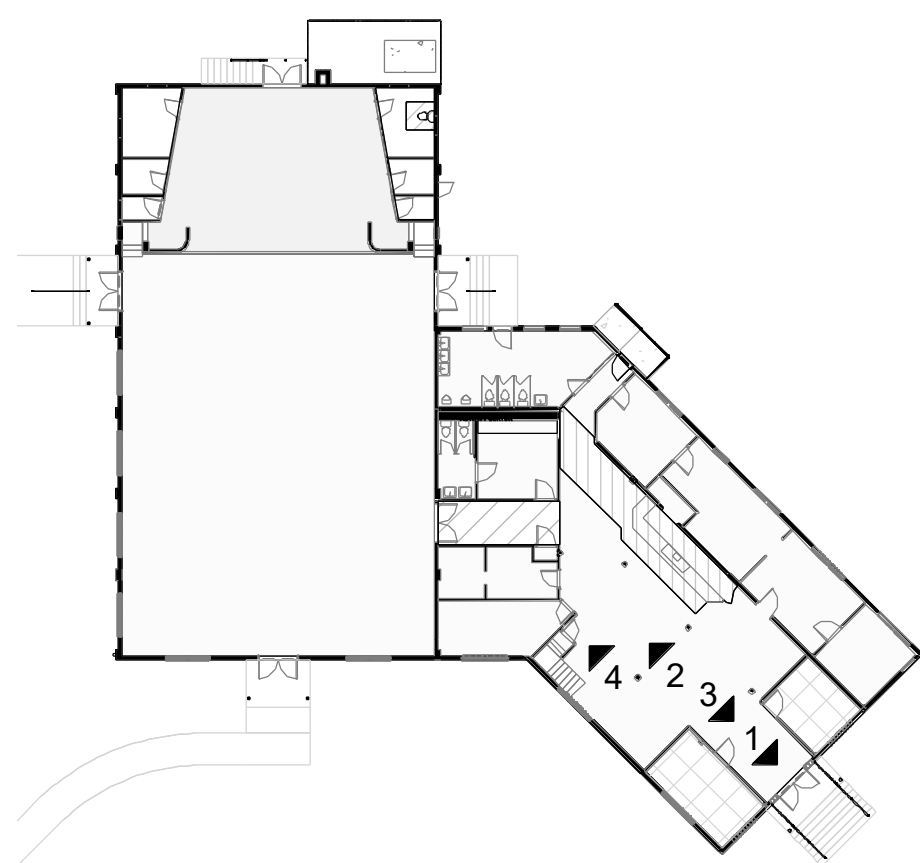
2 FIRST FLOOR GROUP ROOM



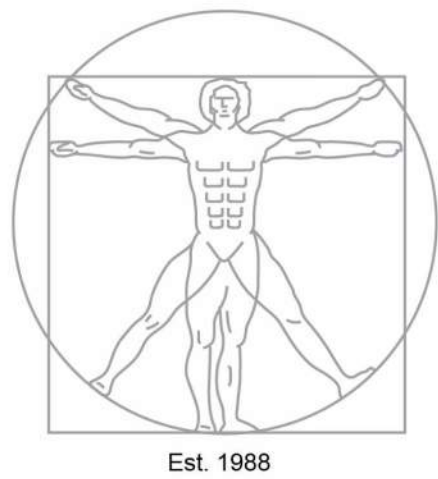
3 FIRST FLOOR GROUP ROOM CEILING



4 STAIRS LEAD TO THE SECOND FLOOR



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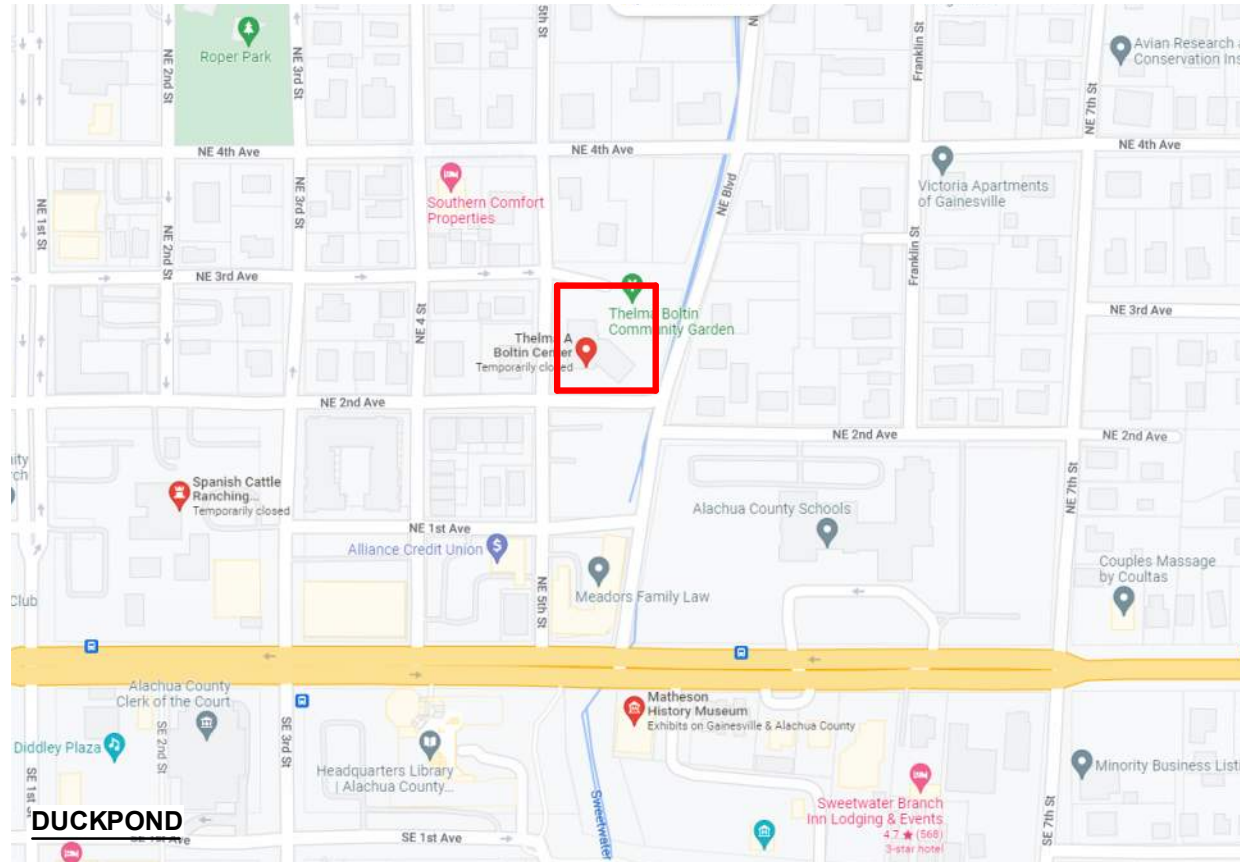
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EXISTING SITE AERIAL



NE 3RD AVE



NE 4TH ST



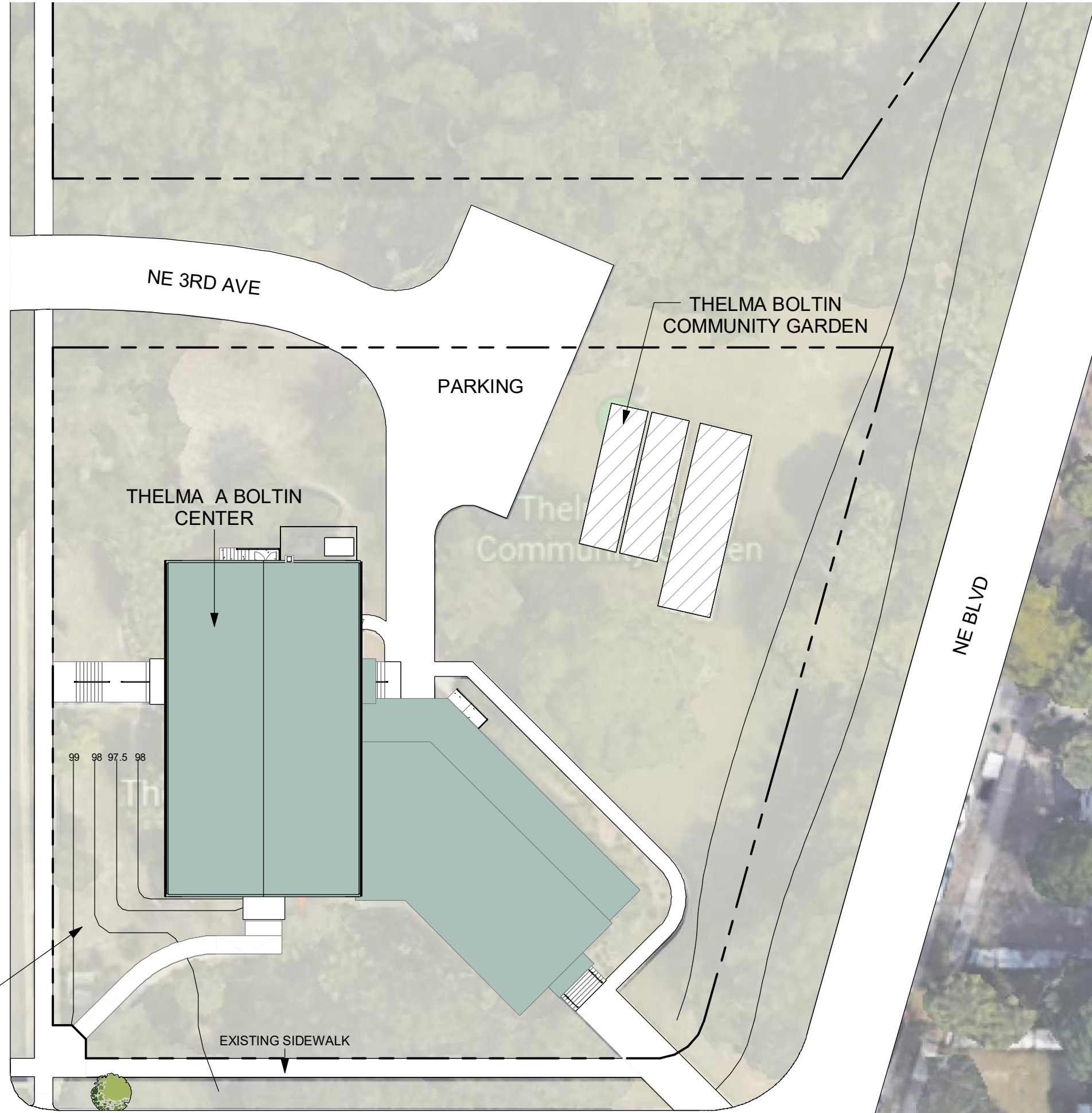
NE 2ND AVE



NE 4TH ST



NE 5TH ST



THELMA A BOLTIN
CENTER

PARKING

THELMA BOLTIN
COMMUNITY GARDEN

NE 2ND AVE

EXISTING SIDEWALK

PROJECT
SITE

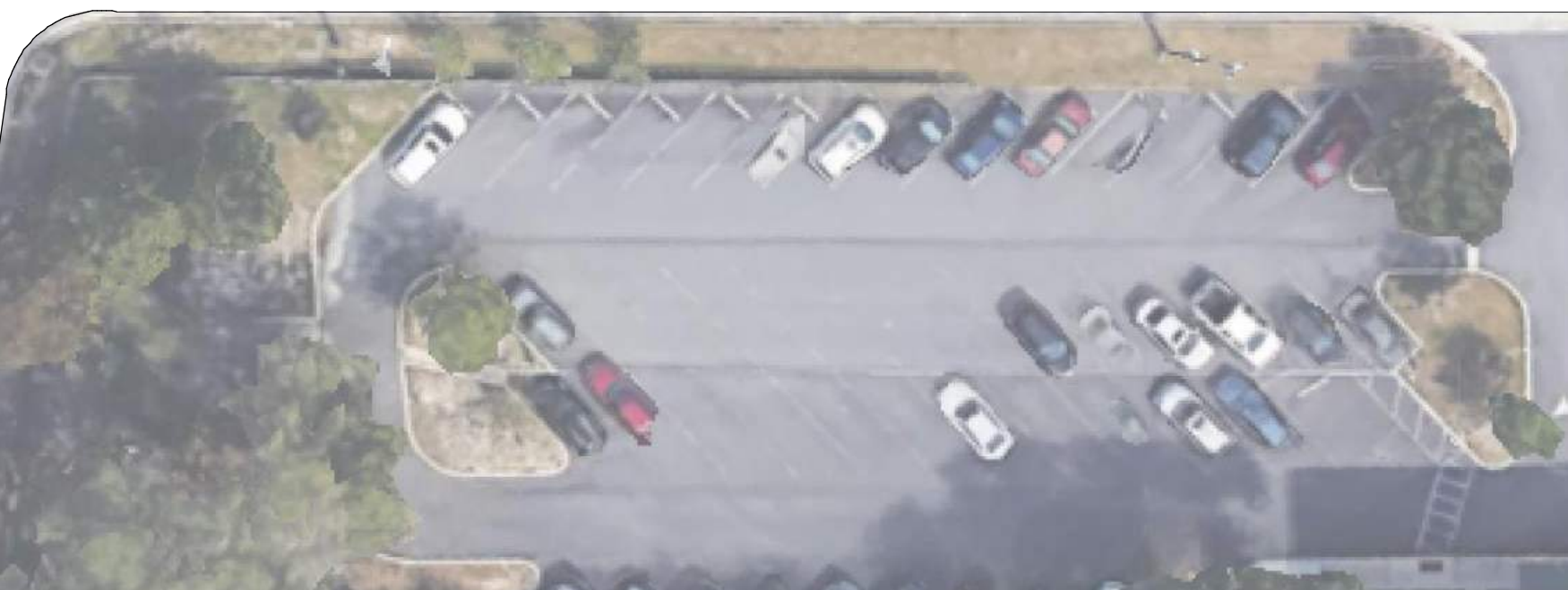


NE 5TH ST

NE BLVD



NE 2ND AVE

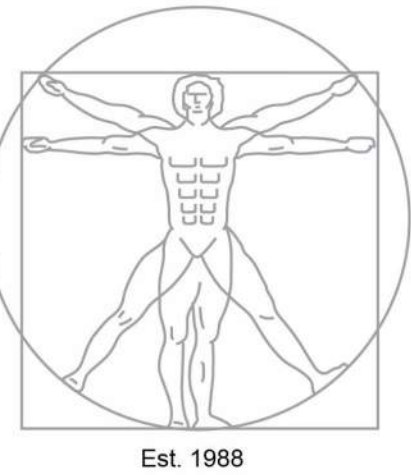
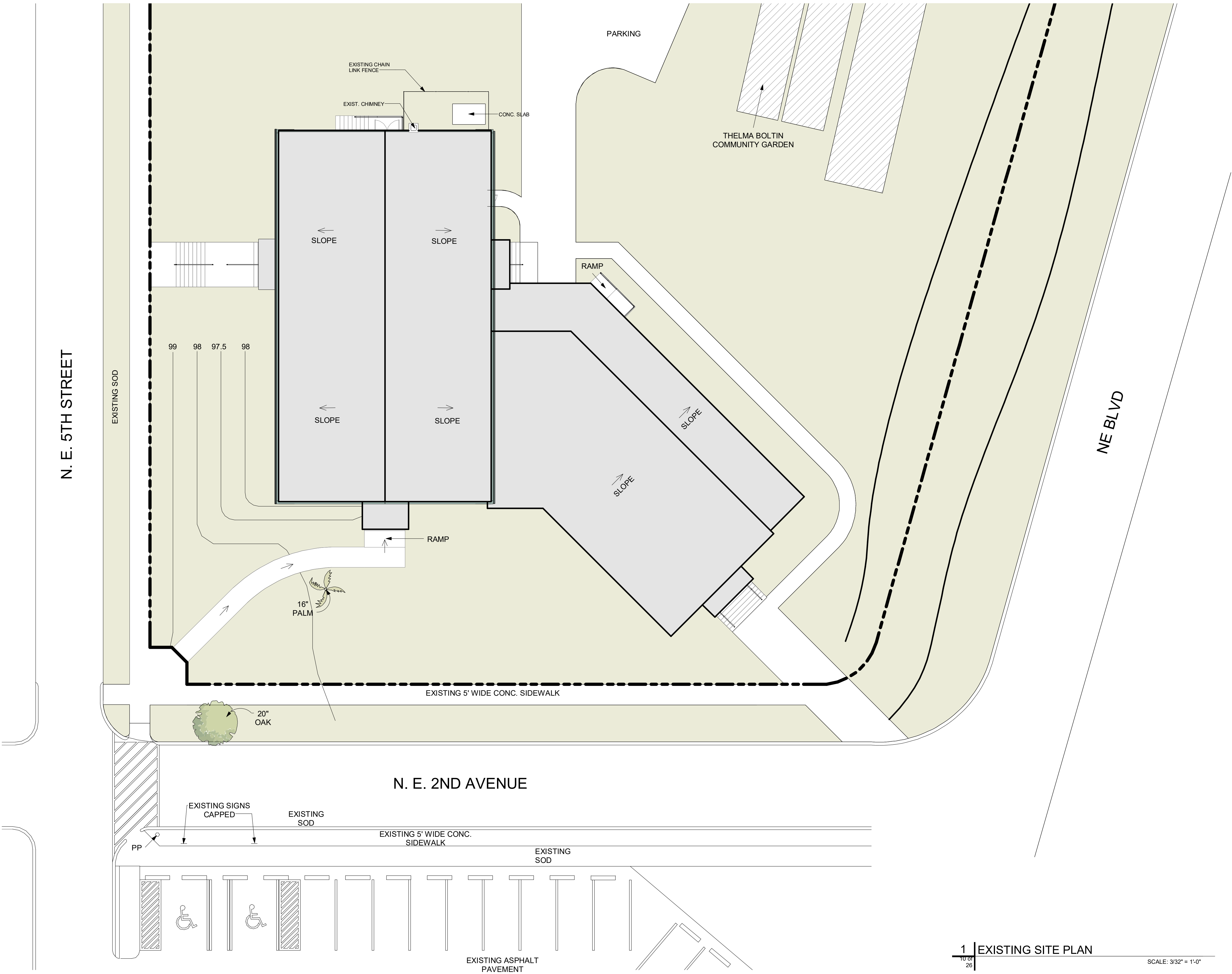


ARCHITECTURAL SITE PLAN FOR INFORMATIONAL
PURPOSES ONLY; SEE SITE PLAN BY OTHERS.

1 | EXISTING SITE AERIAL

SCALE: 1" = 30'-0"





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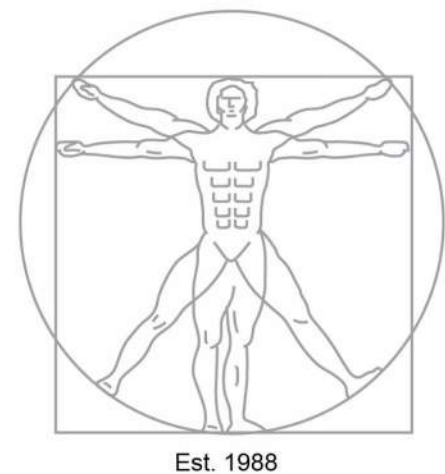
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EXISTING SITE PLAN





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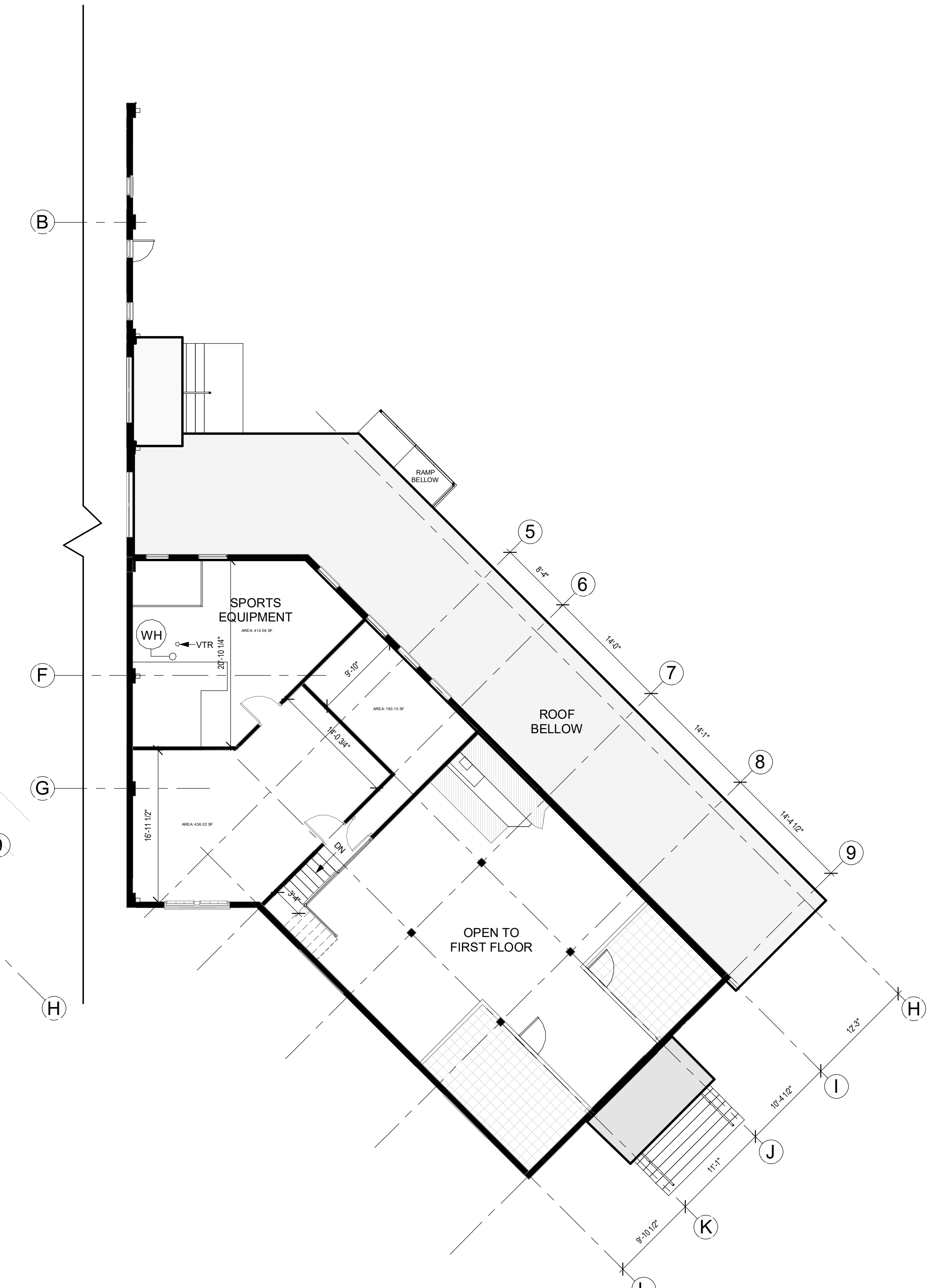
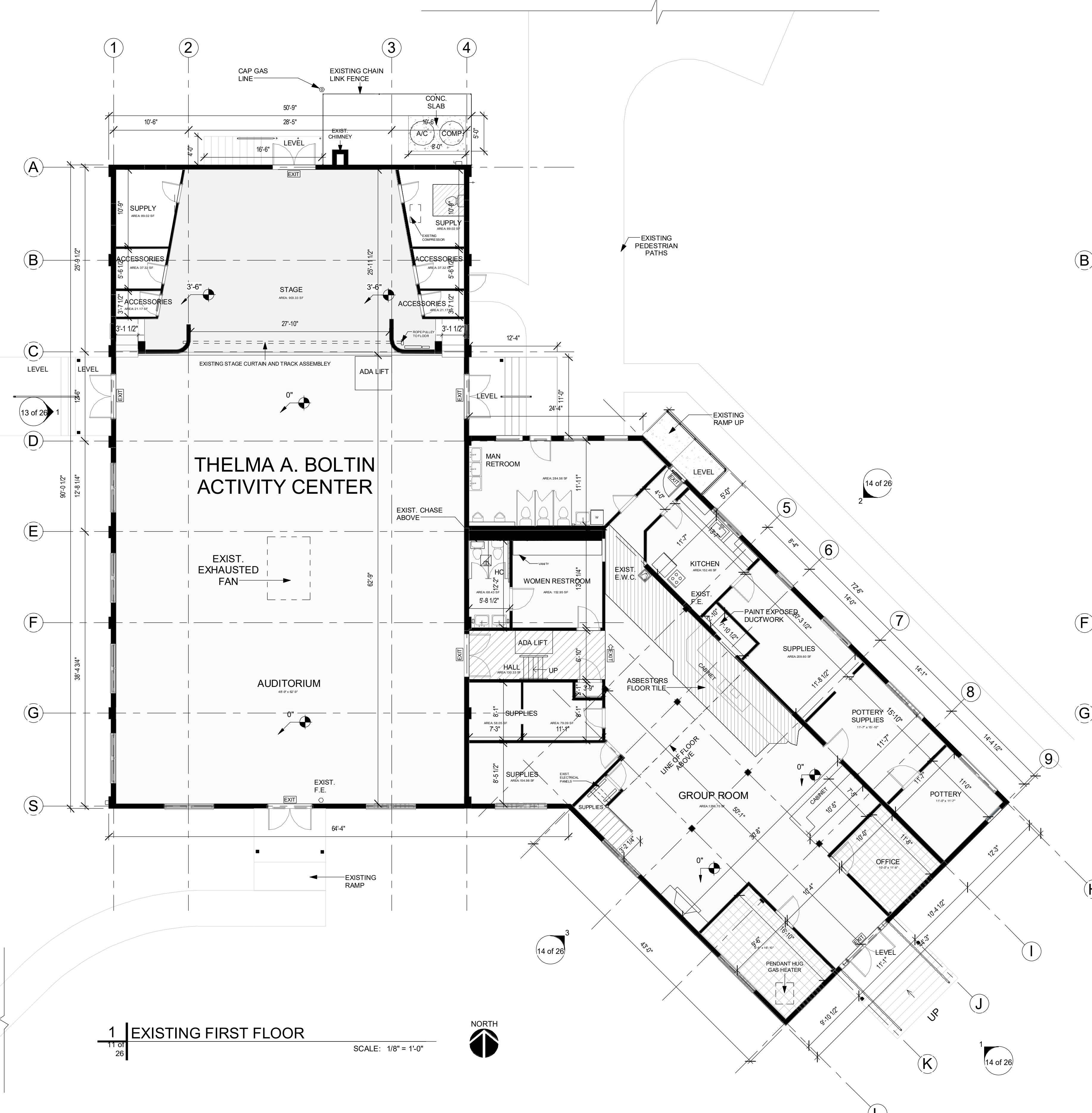
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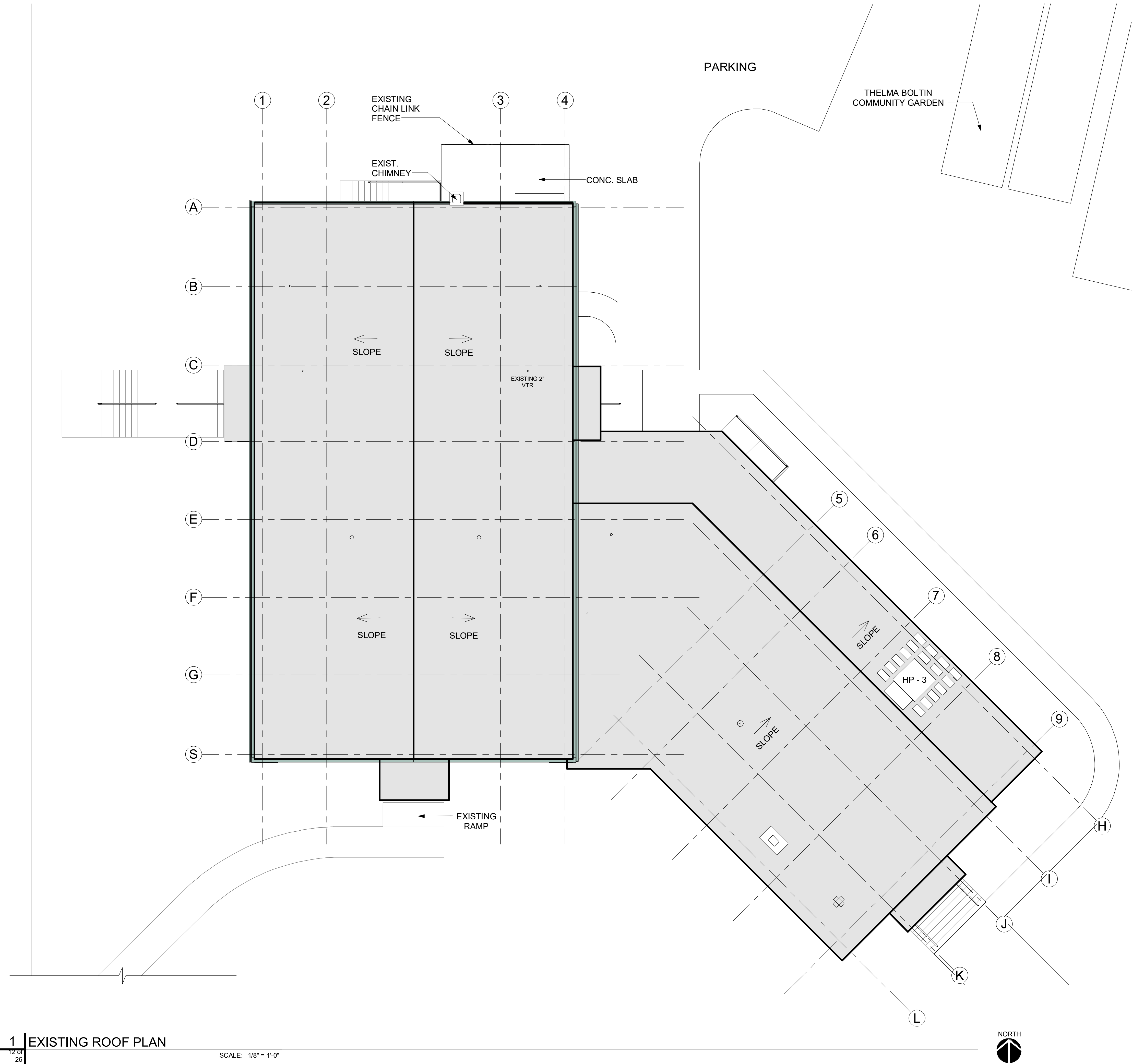
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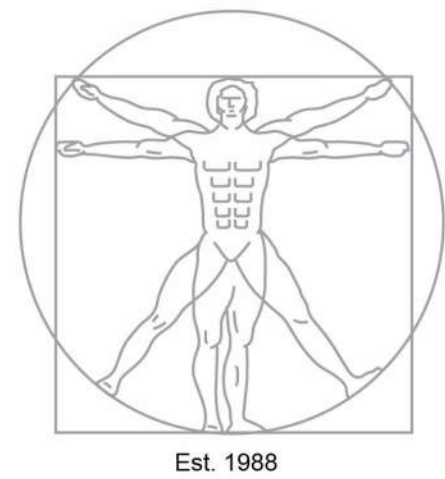
EXISTING FLOOR PLANS





1 | EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"



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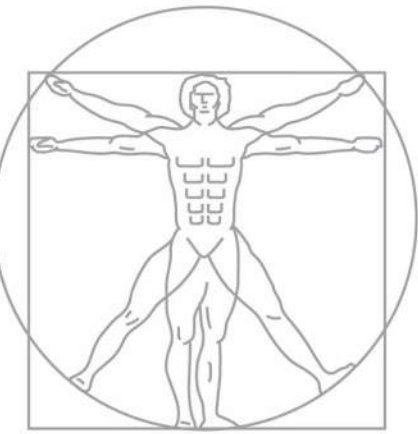
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EXISTING ROOF PLAN



Est. 1988

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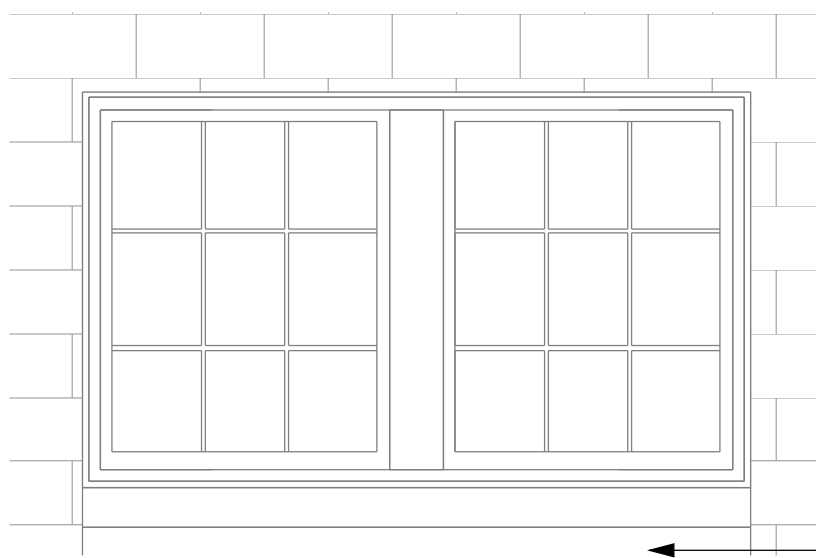
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EXISTING ELEVATIONS

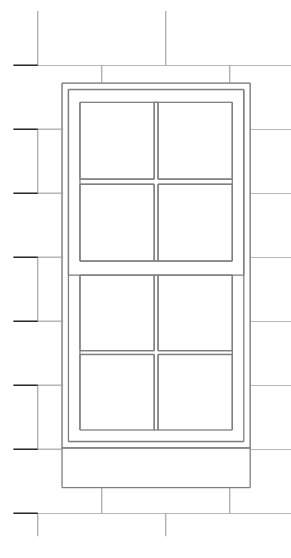


1 | EXISTING WEST ELEVATIONS

SCALE: 1/4" = 1'-0"



EXISTING
WOOD FRAME

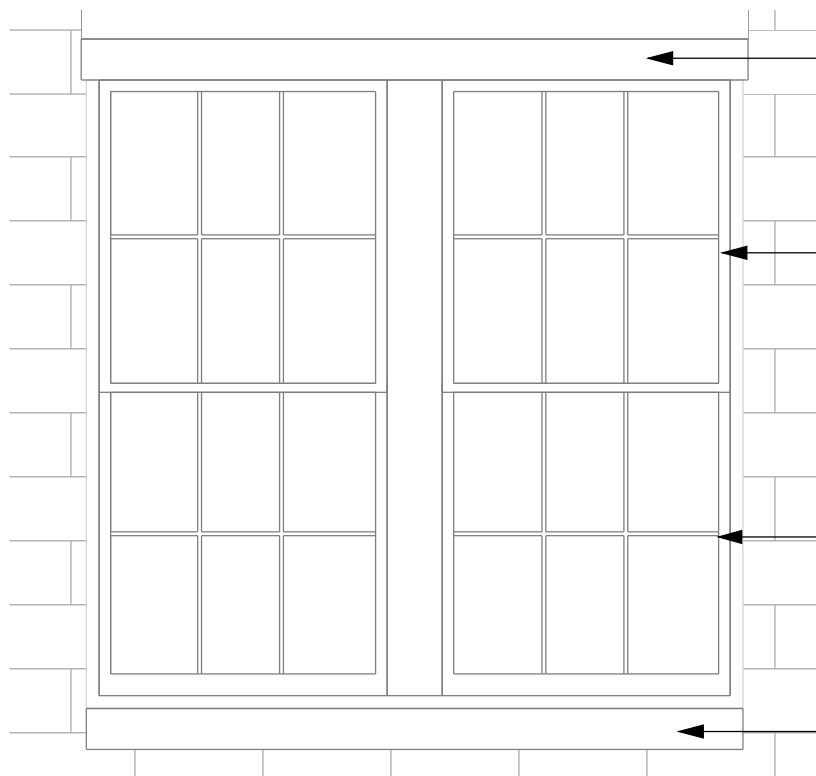


3 | TYPICAL TRANSOM WINDOW A

SCALE: 1/2" = 1'-0"

5 | TYPICAL SINGLE HUNG WINDOW A

SCALE: 1/2" = 1'-0"



EXISTING
WOOD FRAME

UPPER STILE

LOWER STILE

EXISTING
WINDOW SILL

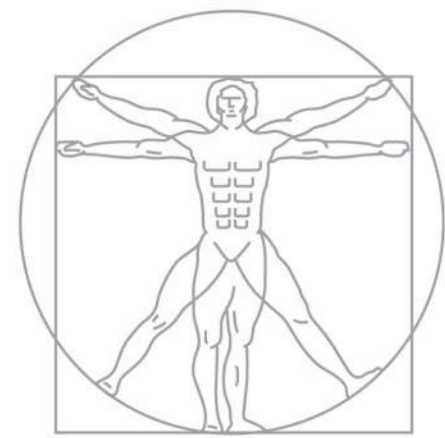
4 | TYPICAL DOUBLE HUNG WINDOW A

SCALE: 1/2" = 1'-0"



2 | EXISTING SOUTH ELEVATIONS

SCALE: 1/4" = 1'-0"



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**THELMA A BOLTIN CENTER /
HISTORIC GAINESVILLE**

516 NE 2ND AVE.
GAINESVILLE, FL 32601

NO.	DATE	DESCRIPTION
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DATE	10/24/2022
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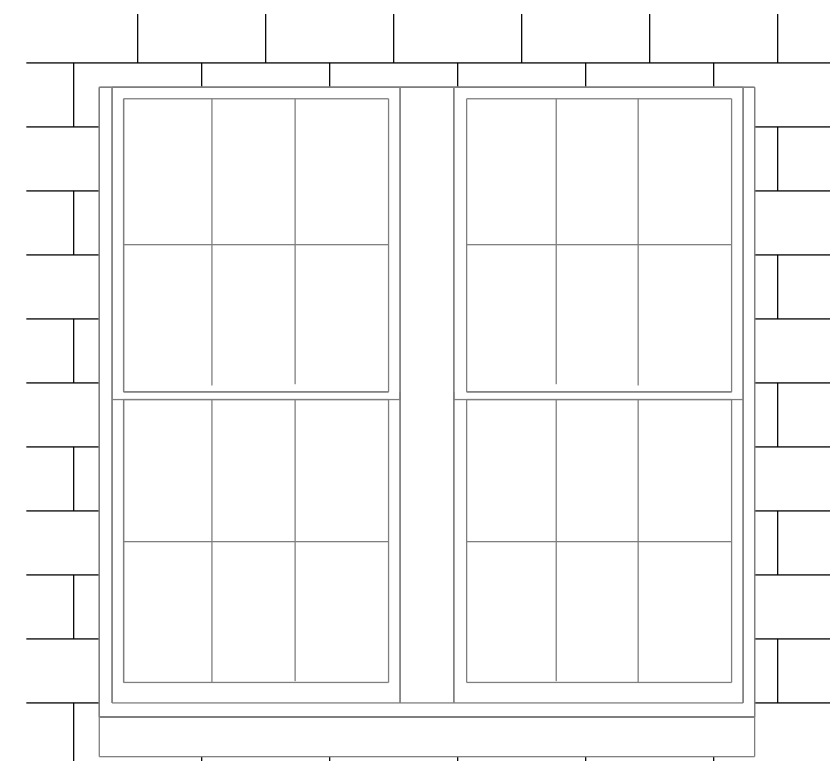
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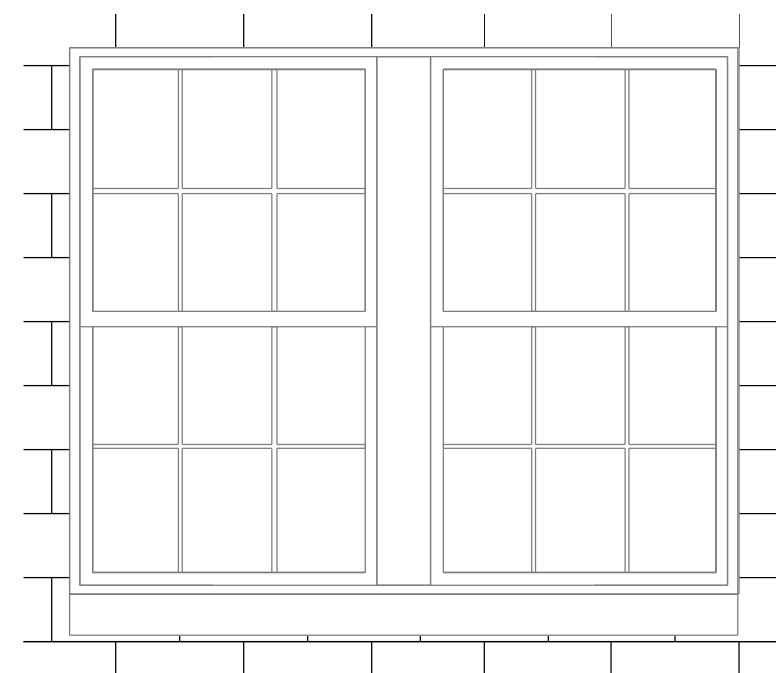
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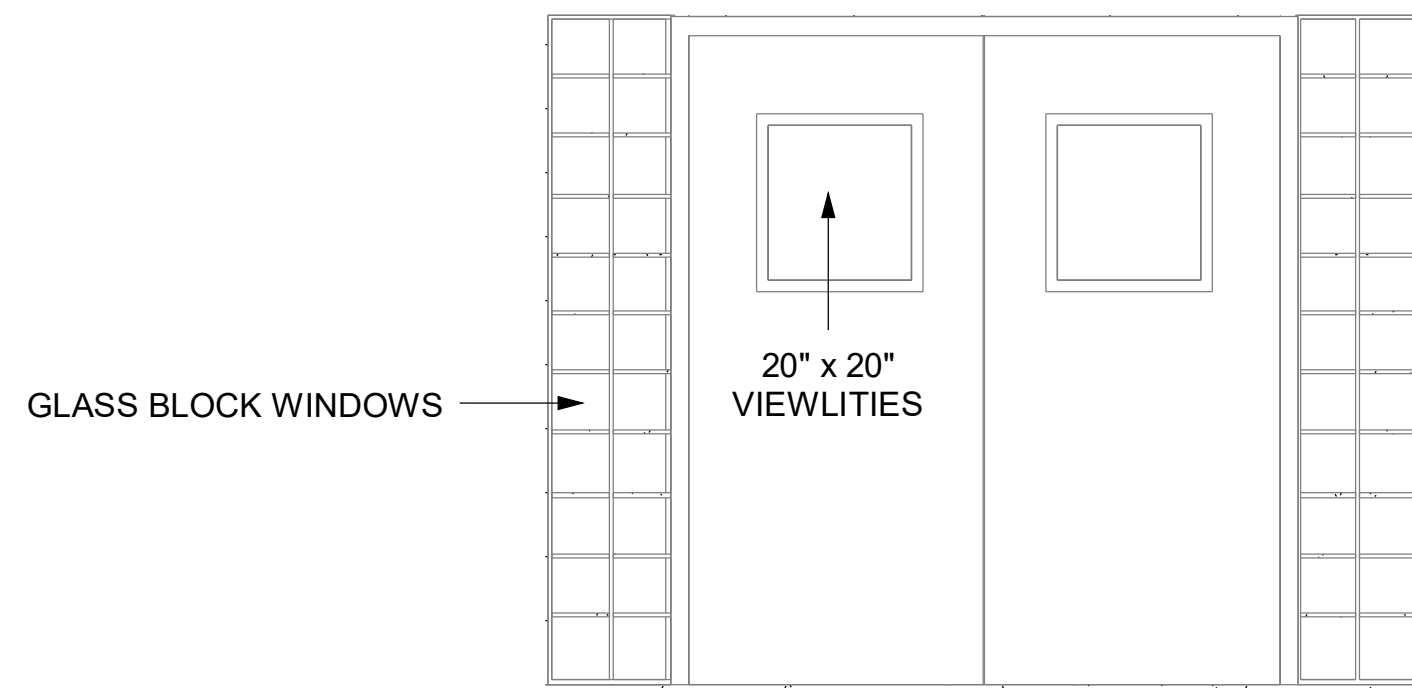
EXISTING ELEVATIONS



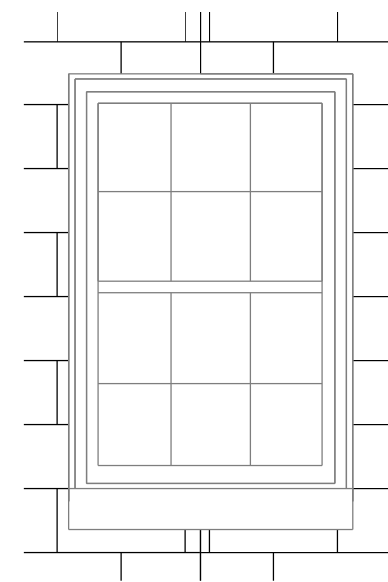
5 | TYPICAL DOUBLE HUNG WINDOW B
SCALE: 1/2" = 1'-0"



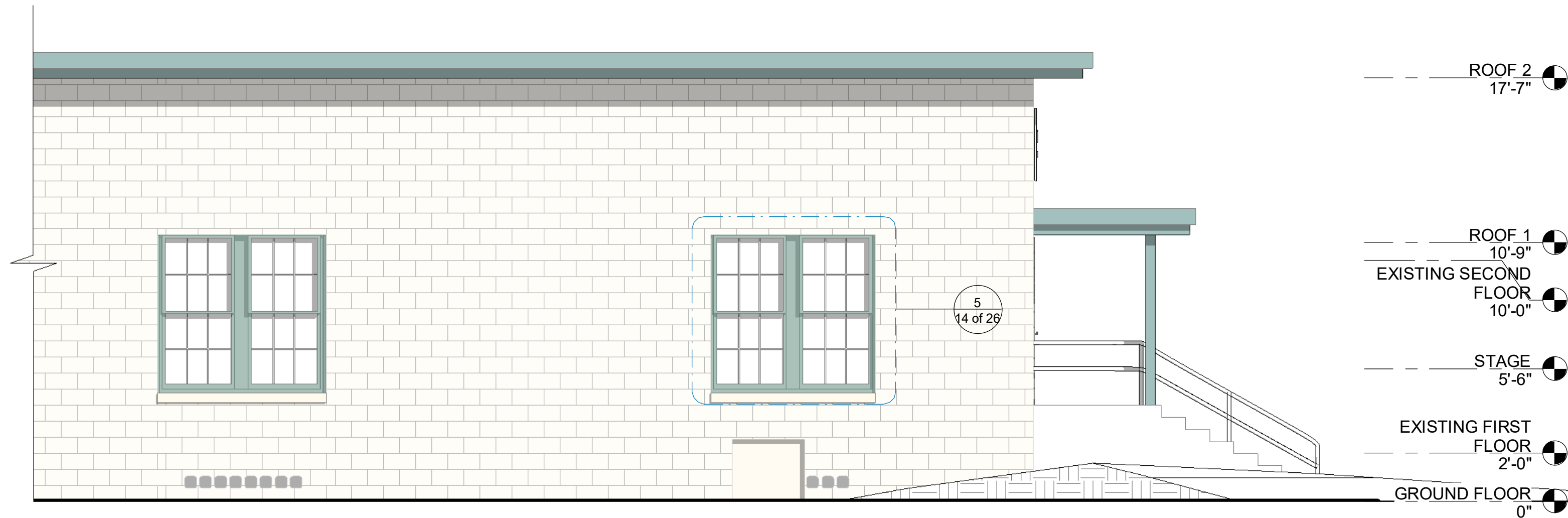
4 | TYPICAL DOUBLE HUNG WINDOW C
SCALE: 1/2" = 1'-0"



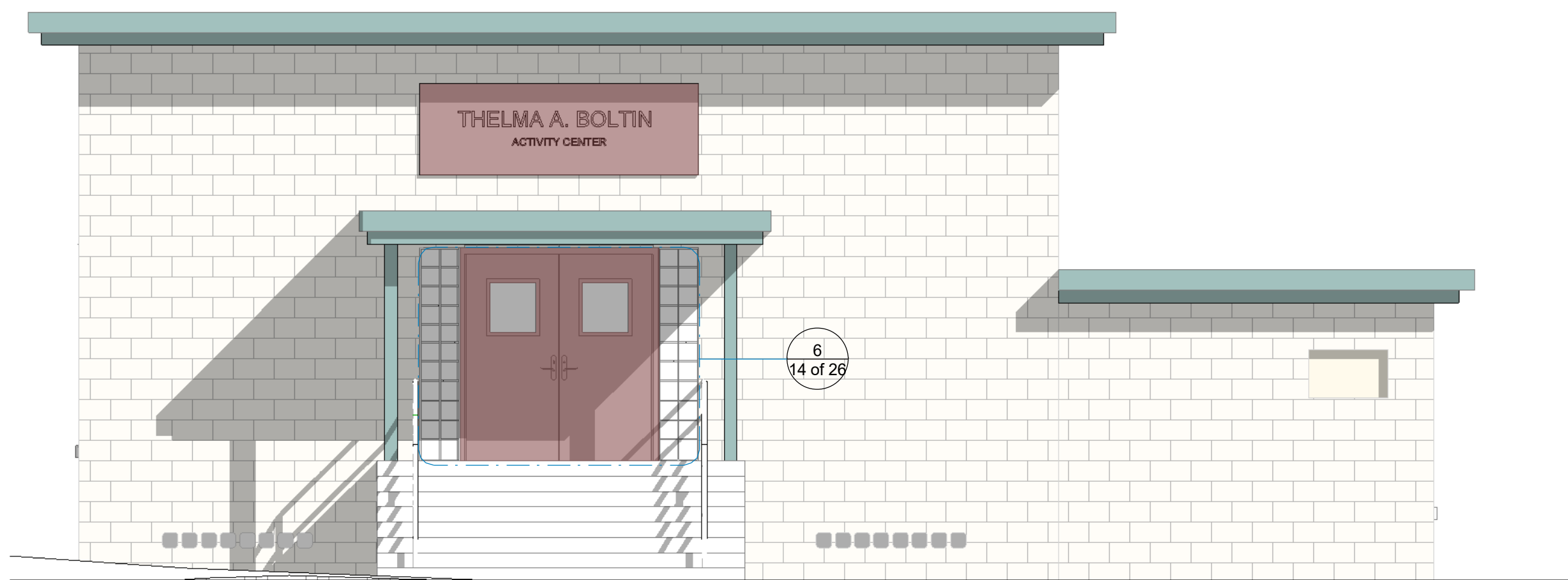
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SCALE: 1/2" = 1'-0"



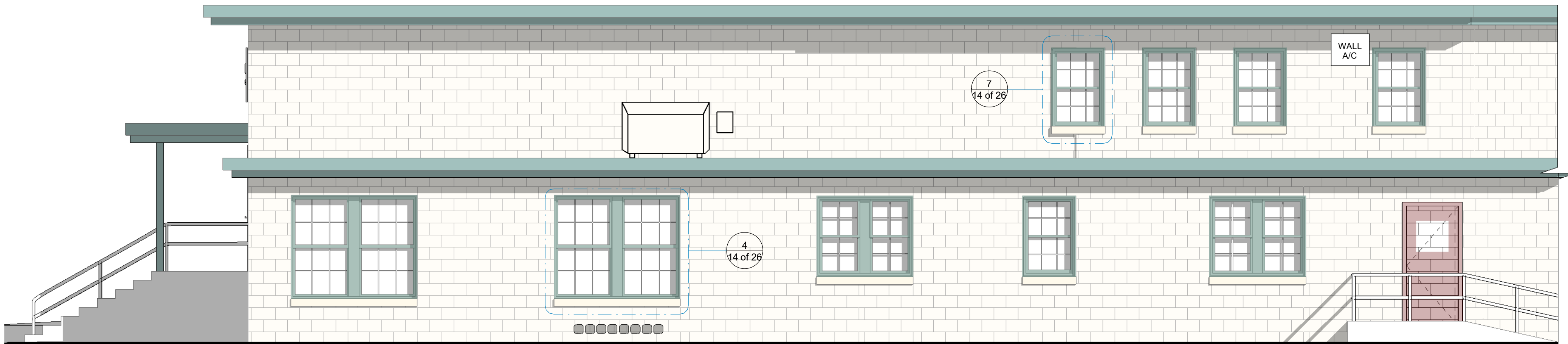
7 | TYPICAL SINGLE HUNG WINDOW B
SCALE: 1/2" = 1'-0"



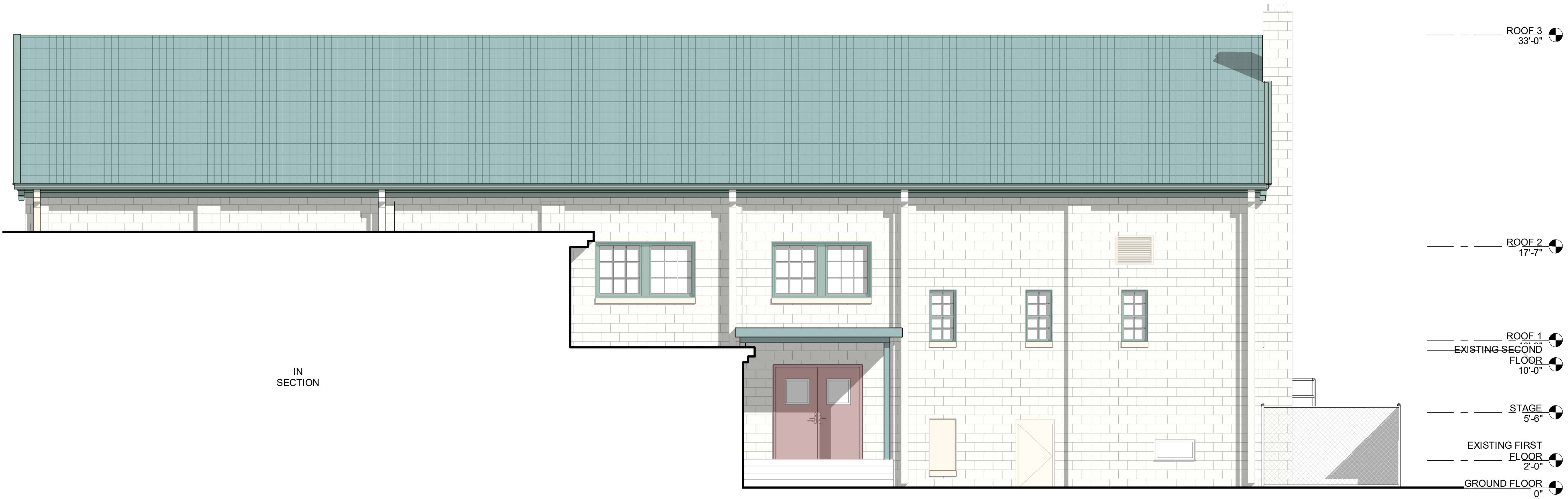
3 | EXISTING SOUTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"



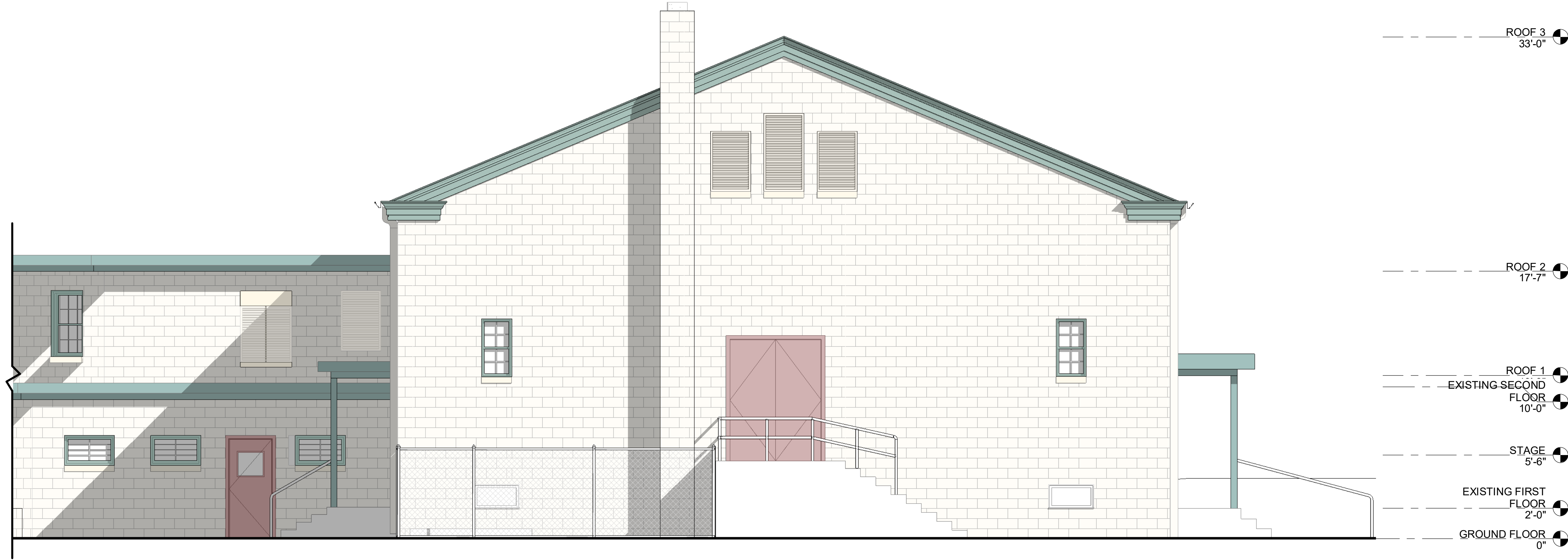
1 | EXISTING SOUTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"



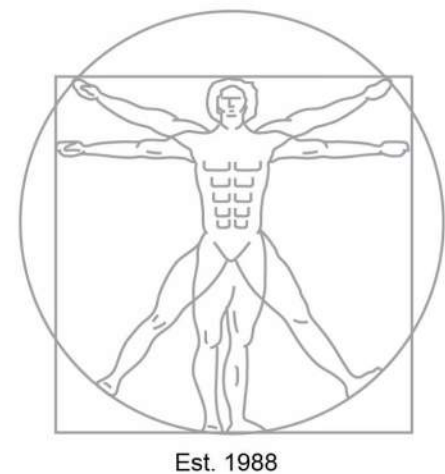
2 | EXISTING NORTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 | EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 | EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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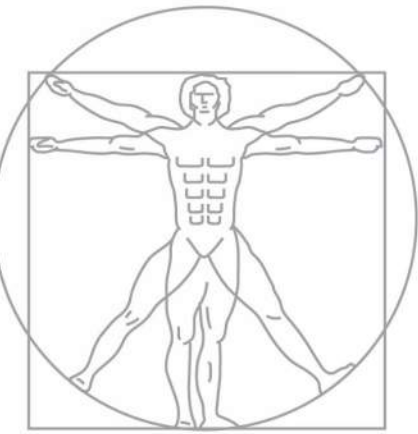
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EXISTING ELEVATIONS



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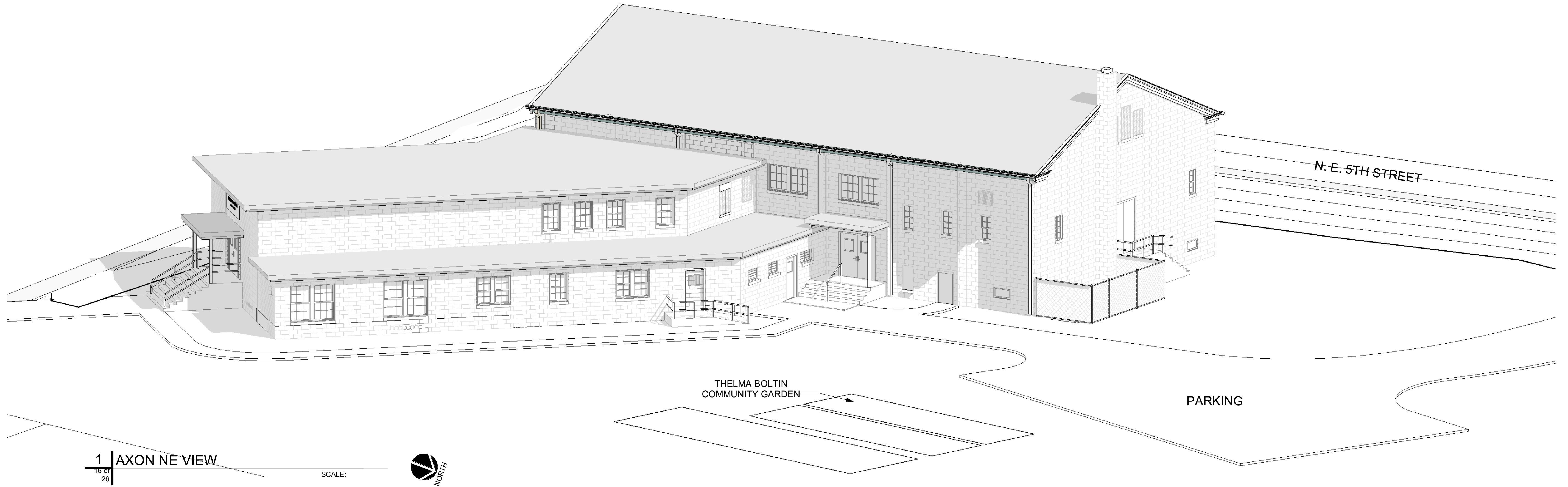
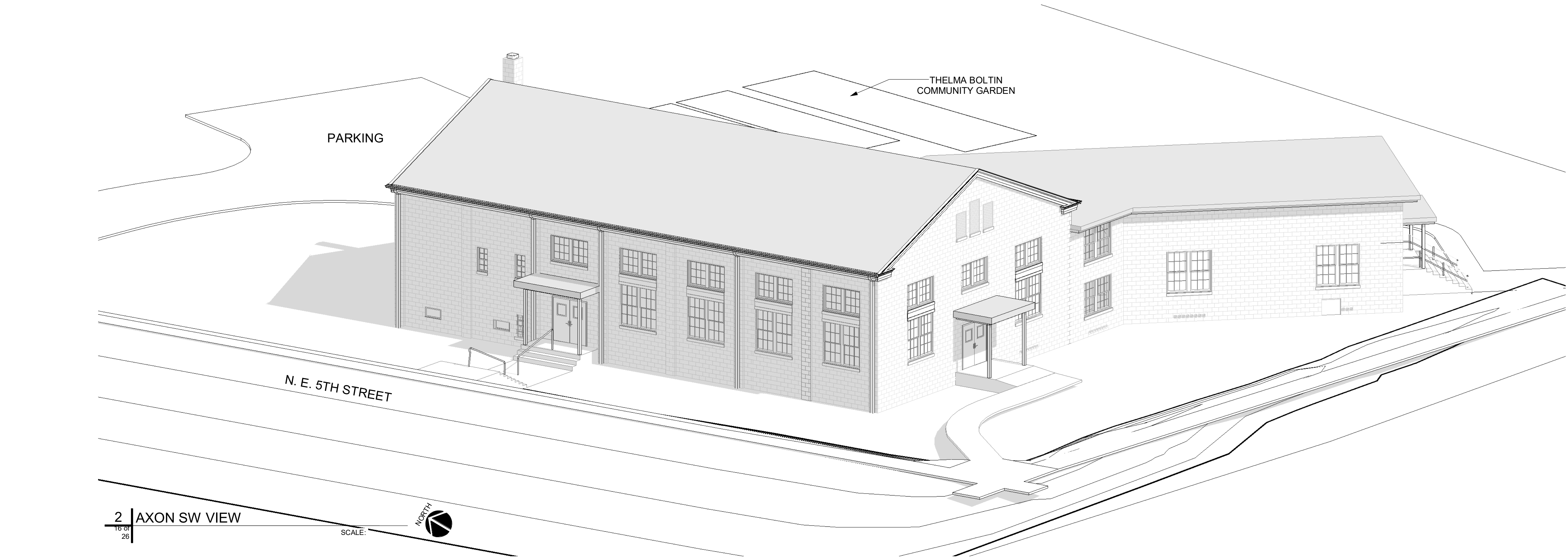
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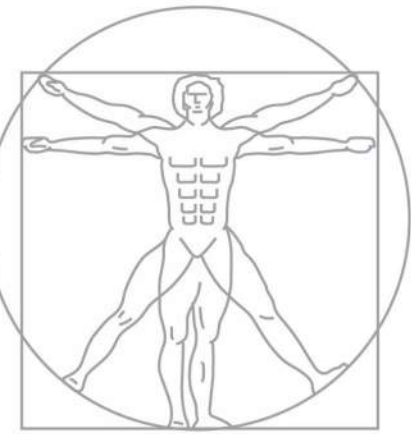
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3D VIEWS





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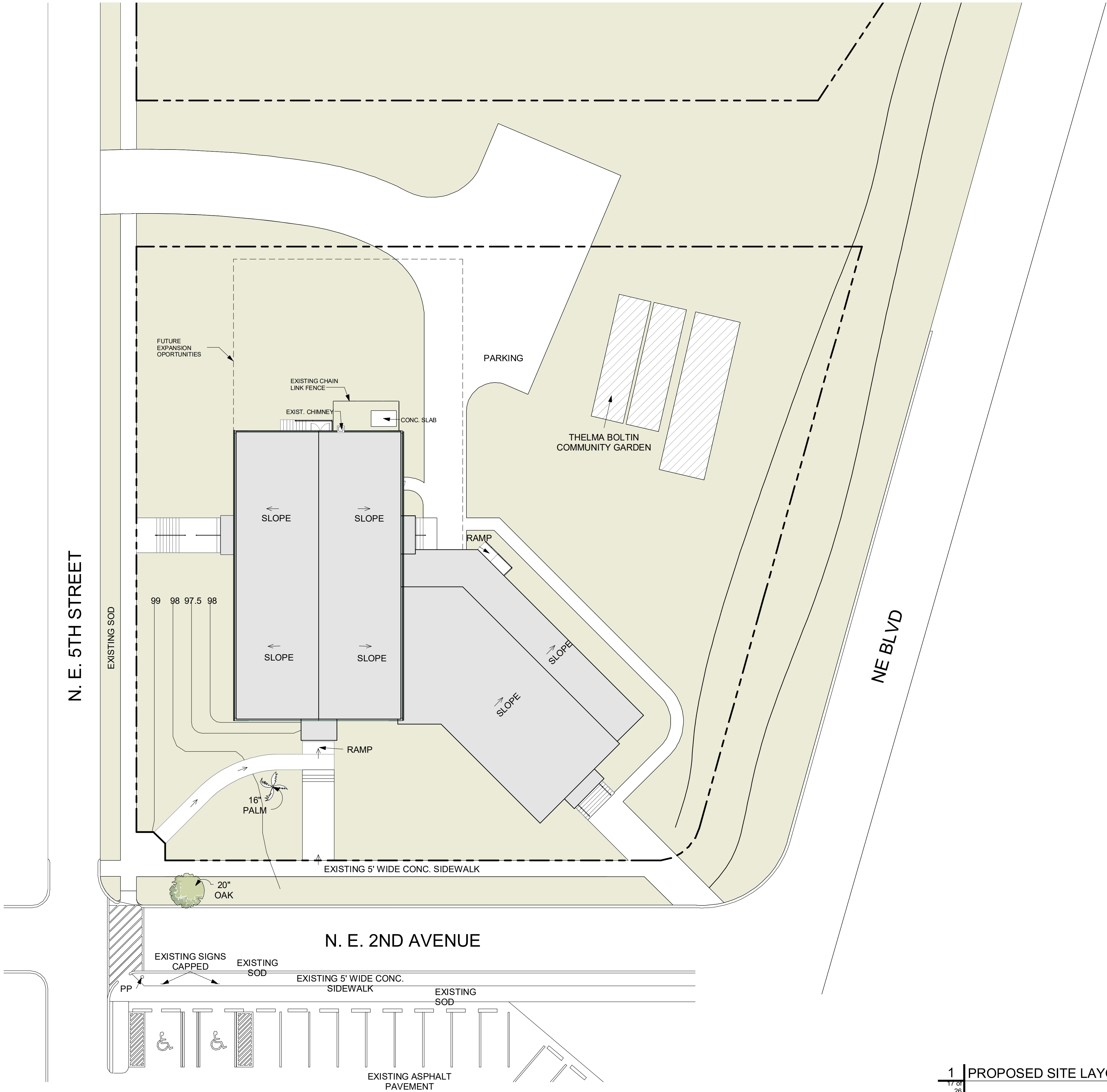
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PROPOSED SITE PLAN



1 | PROPOSED SITE LAYOUT

SCALE: 1/16" = 1'-0"

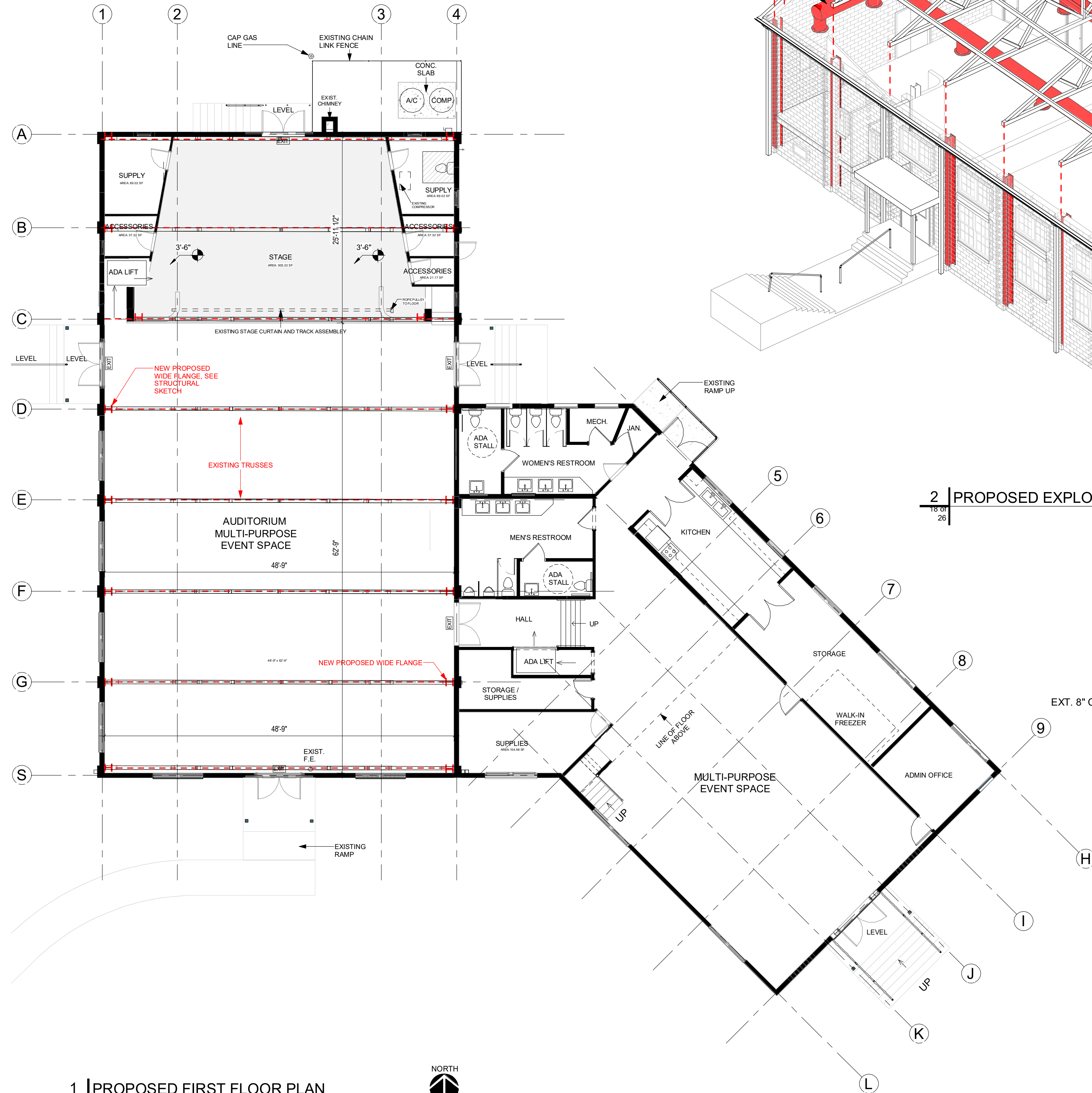




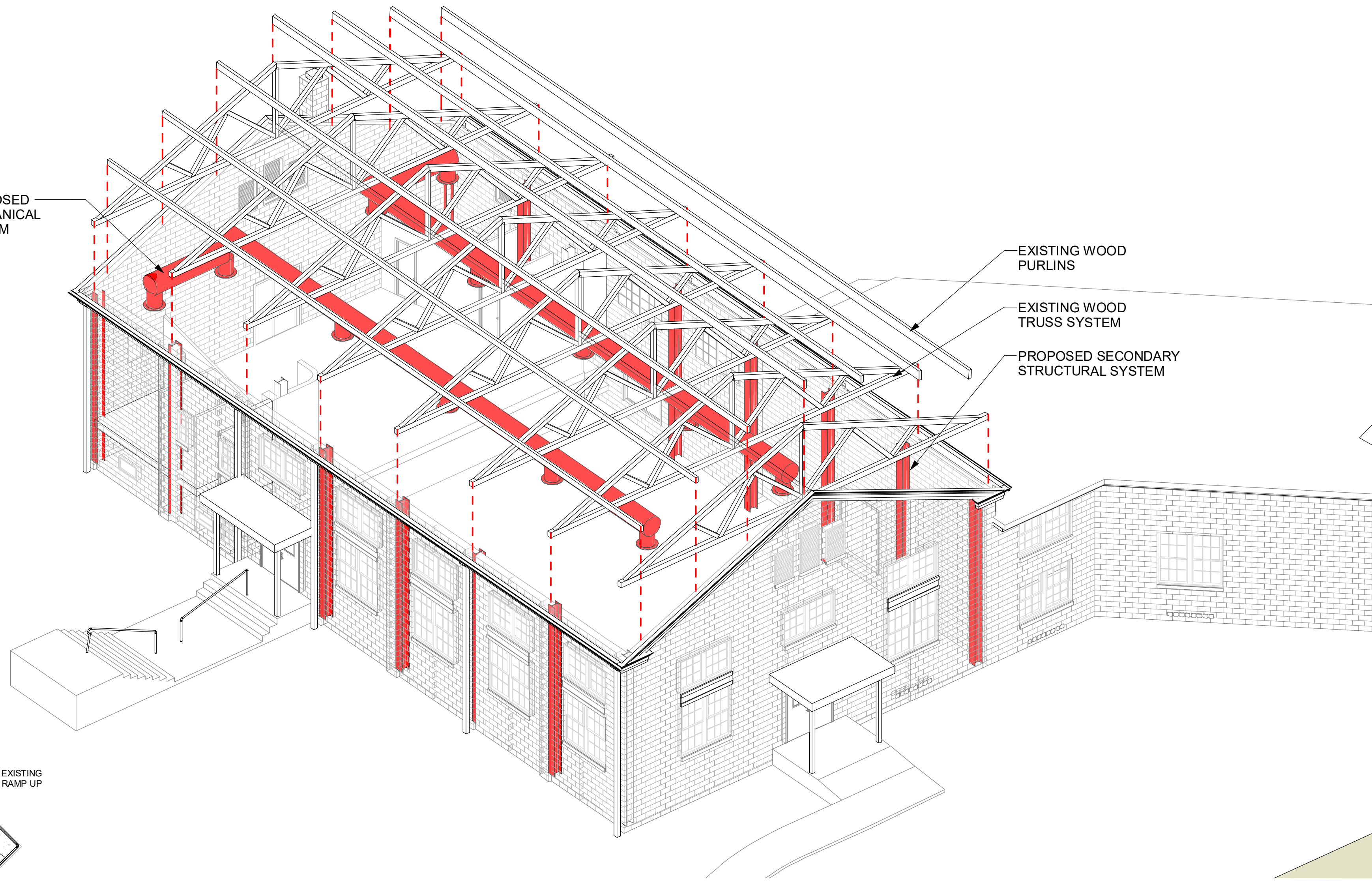
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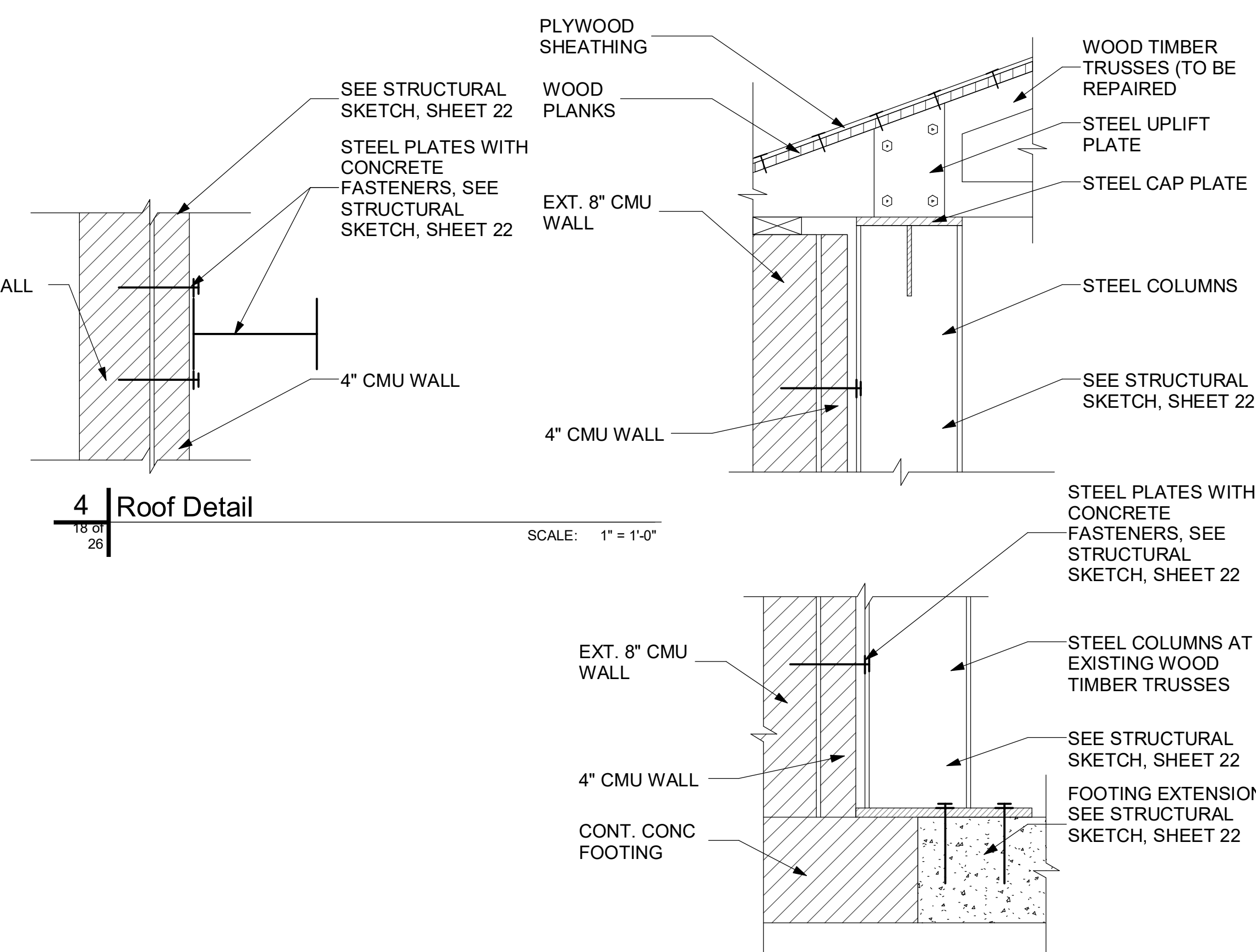
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1 | PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 | PROPOSED EXPLODED AXONOMETRIC
SCALE: 1/8" = 1'-0"



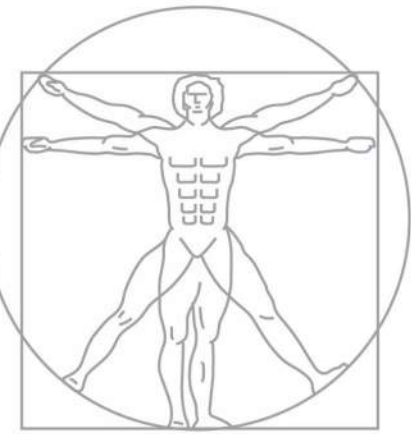
3 | Footing Detail
SCALE: 1" = 1'-0"

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PROPOSED CONCEPTUAL FIRST FLOOR PLAN WITH AXON



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**THELMA A BOLTIN CENTER /
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516 NE 2ND AVE.
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EXISTING WOOD
PURLINS

EXISTING WOOD
TRUSS SYSTEM

PROPOSED SECONDARY
STRUCTURAL SYSTEM

1 | PROPOSED VIEW TOWARDS STAGE
SCALE:



2 | PROPOSED VIEW FROM STAGE
SCALE:

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PROPOSED RENDERS

Memorandum

To: Brian Laura, D.Arch., REG Architects
From: Robert W. Best, Jr., P.E., Chen Moore and Associates
Date: October 10, 2022
Re: Thelma Boltin Center – Feasibility Study
CMA Project No.: 22-0219.00003

Chen Moore and Associates (CMA) has prepared this Memorandum to summarize the feasibility study findings pertaining to civil engineering for the above referenced project.

Background

This project consists of an existing structure at 516 NE 2nd Avenue, Gainesville, FL 32601. The structure was built in 1942 to serve as a USO club catering to troops and was re-purposed after World War II as a community center. Walker Architects, Inc. prepared a Master Plan and Feasibility Study in 2019 which describes the history and condition of the facility in detail. The PRCA hired Wannemacher Jensen Architects in 2020 to prepare construction documents for a proposed \$2 million renovation of the facility with Wild Spaces & Public Places money. That was put on hold early in the process when structural failures were discovered.

The Gainesville City Commission has directed the Parks, Recreation and Cultural Affairs Department (PRCA) to move forward with the demolition and replacement of this historic building, but the City's Historic Preservation Board has asked that the PRCA explore every possible renovation/restoration option before proceeding with the building's destruction.

The Client has requested that the CMA Team (in collaboration with the REG Architects, Inc. (REG) and O'Donnell, Naccarato, Mignogna & Jackson, Inc. (ONM&J)) conduct architectural and engineering master planning services for a feasibility study of the Center, on behalf of the team.

CMA performed research and one site visit for this report. The research consisted of researching the FEMA FIRM Panels and Flood Zones. The site visit was performed on September 16, 2022 to assess the current conditions of the project site and the results can be seen in the following sections.

Flood Zone

A portion of the project area lies within the Federal Emergency Management Association (FEMA) Flood Zone A per the Flood Insurance Rate Map (FIRM) Panels 12001C0314D. The attached FEMA FIRMette, Exhibit A, is included for reference. There is no identified Base Flood Elevation (BFE). During the site visit, City personnel noted that during regularly occurring rain events, the adjacent Sweetwater Branch Creek can rise and overflow its banks to the approximate limits shown in Figure 1.

Stormwater and Site Paving and Grading

This project area is within the Ocklawaha River Basin of the St. Johns Water Management District (SJRWMD). An environmental resource permit (ERP) from the SJRWMD is not anticipated for the scope of this feasibility study.

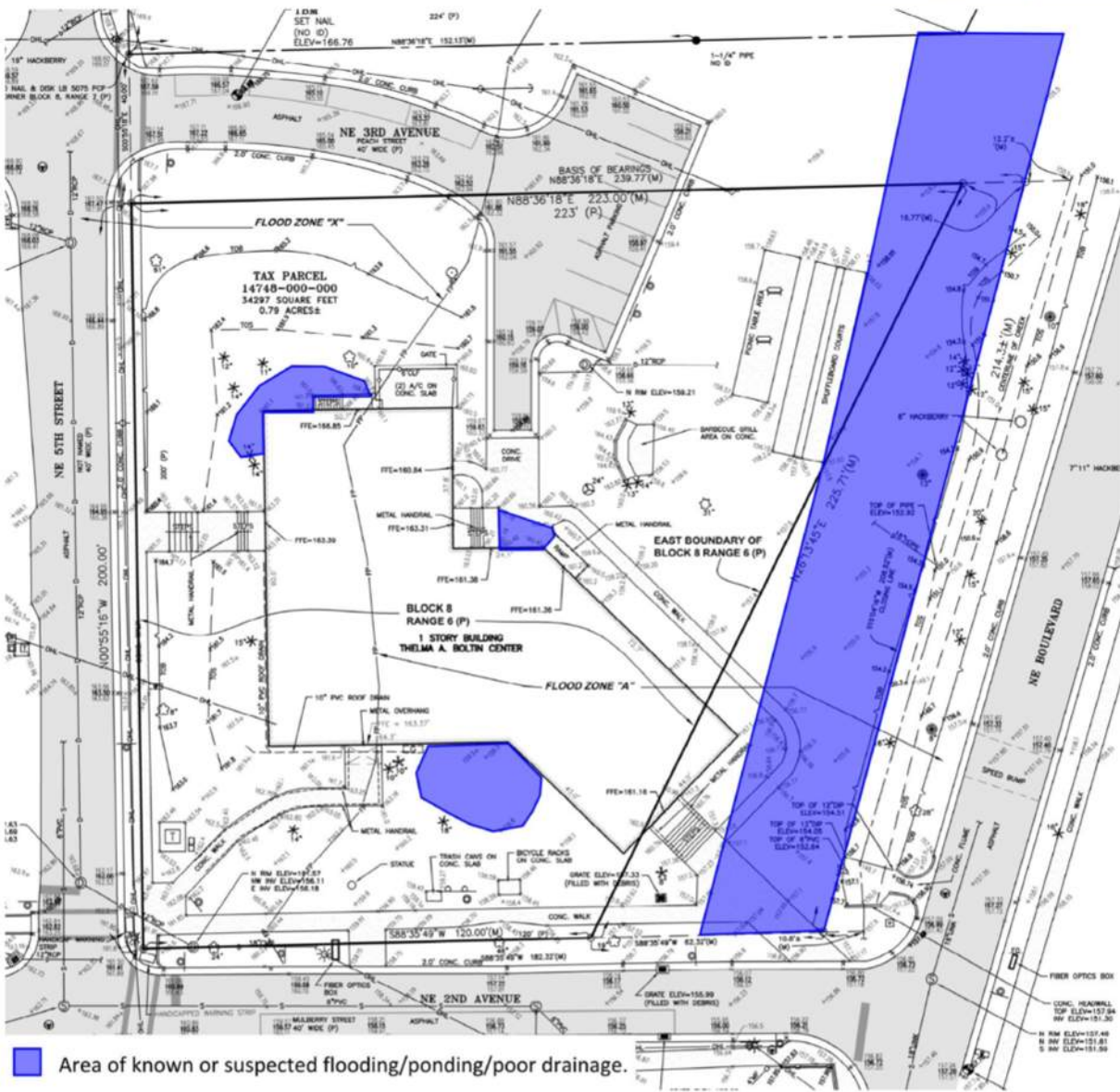


Figure 1. Existing Conditions

The existing grading appears to transfer drainage around the building from the westside of the property to the eastside of the property. Based on the surveyed topographic elevations and the site visit, surface runoff does not flow eastward beyond the north side of the building other than potential sheet flow over the mechanical equipment maintenance pad located on the northside of the building (see Figure 1). Drainage heading eastward along the southside of the building eventually reaches the Sweetwater Branch Creek via rain leader piping, drains, and culverts (under hardscape landings). As the drainage flows eastward along the southside of the building, it flows directly against the foundation, and in some locations has been noted to pond. These are shown in Figure 1.

Due to unevenness in the sidewalks and concrete areas around the building, drainage ponding and even washing out of near the western access stairs has occurred (see Figure 2).



Figure 2. Stairway Undermining

Proposed improvements to the site paving and grading are anticipated to consist of harmonization to connect the existing hardscaping, parking lot, and structure. The site grading shall consider elevation constraints, such as the adjacent roadways, public sidewalks, the existing onsite parking lot, historic flood levels, and the existing structure. Site grading shall promote positive drainage away from habitable spaces towards the stormwater inlets (catch basins). A minimum slope of 0.5% shall be maintained to create a dry swale around the perimeter of the building footprint and to minimize surface water ponding. The existing culverts under the southwest landing should be further investigated with regards to increasing their diameter. Due to historic flooding, a decorative retaining wall/planter shall be considered in the area adjacent to the southeast portion of the building. The hardscaping (walkways, parking lots, etc.) should be re-graded and replaced in-kind to eliminate ponding locations. The existing mechanical maintenance pad should be replaced with a further elevated pad to minimize drainage sheet flow across the maintenance pad. Maximum site slopes shall consider ADA criteria (typically 2% maximum slope) and slopes conducive to facility operations. These general improvements are shown in Figure 3.

Water and Sanitary Sewer Utilities

This property is within the Gainesville Regional Utilities (GRU) service area for water and sanitary sewer. Proposed modifications to the water and sanitary sewer services are not anticipated, but should such improvements be proposed, those connections shall be coordinated with, and permitted through, GRU.

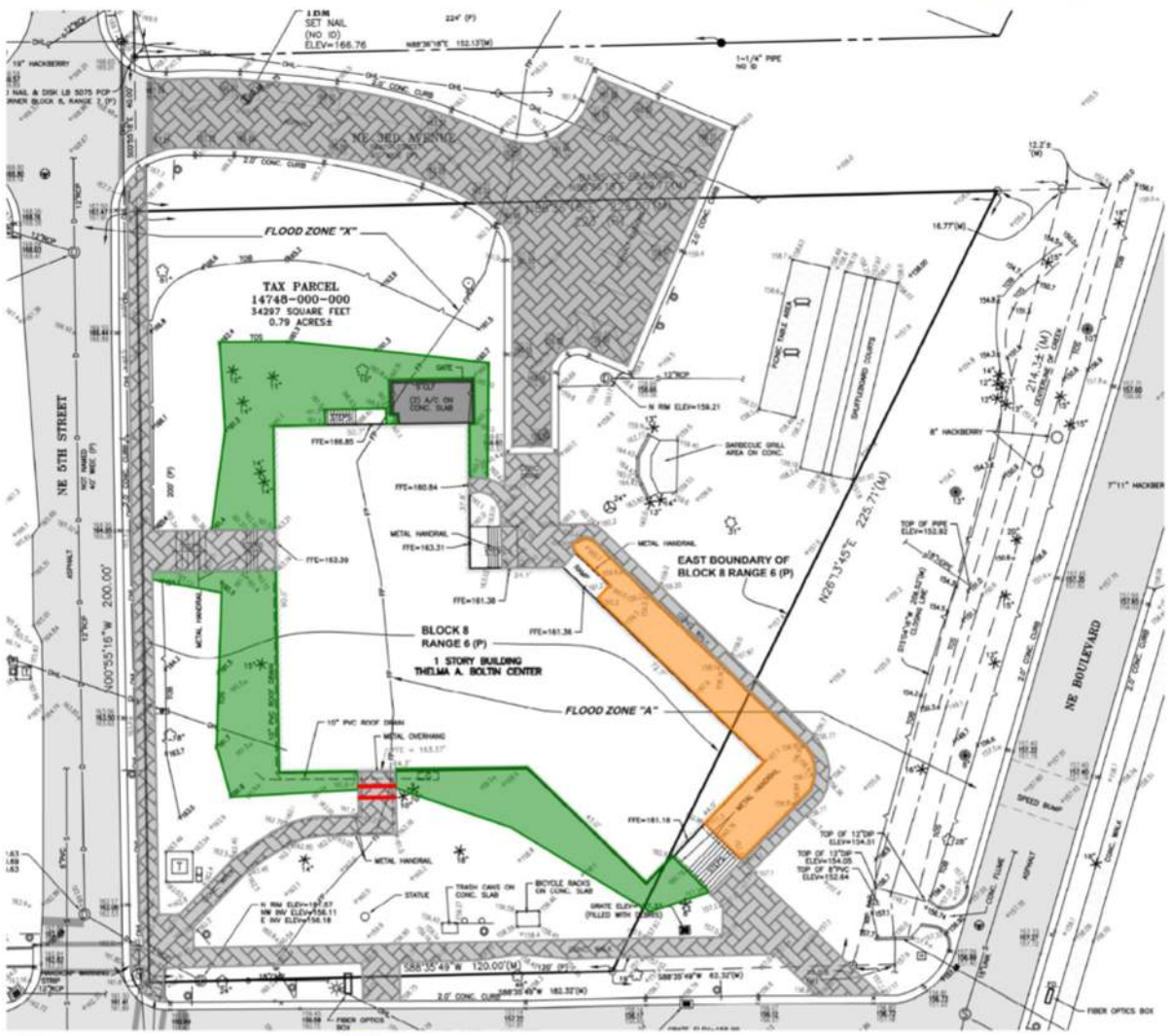


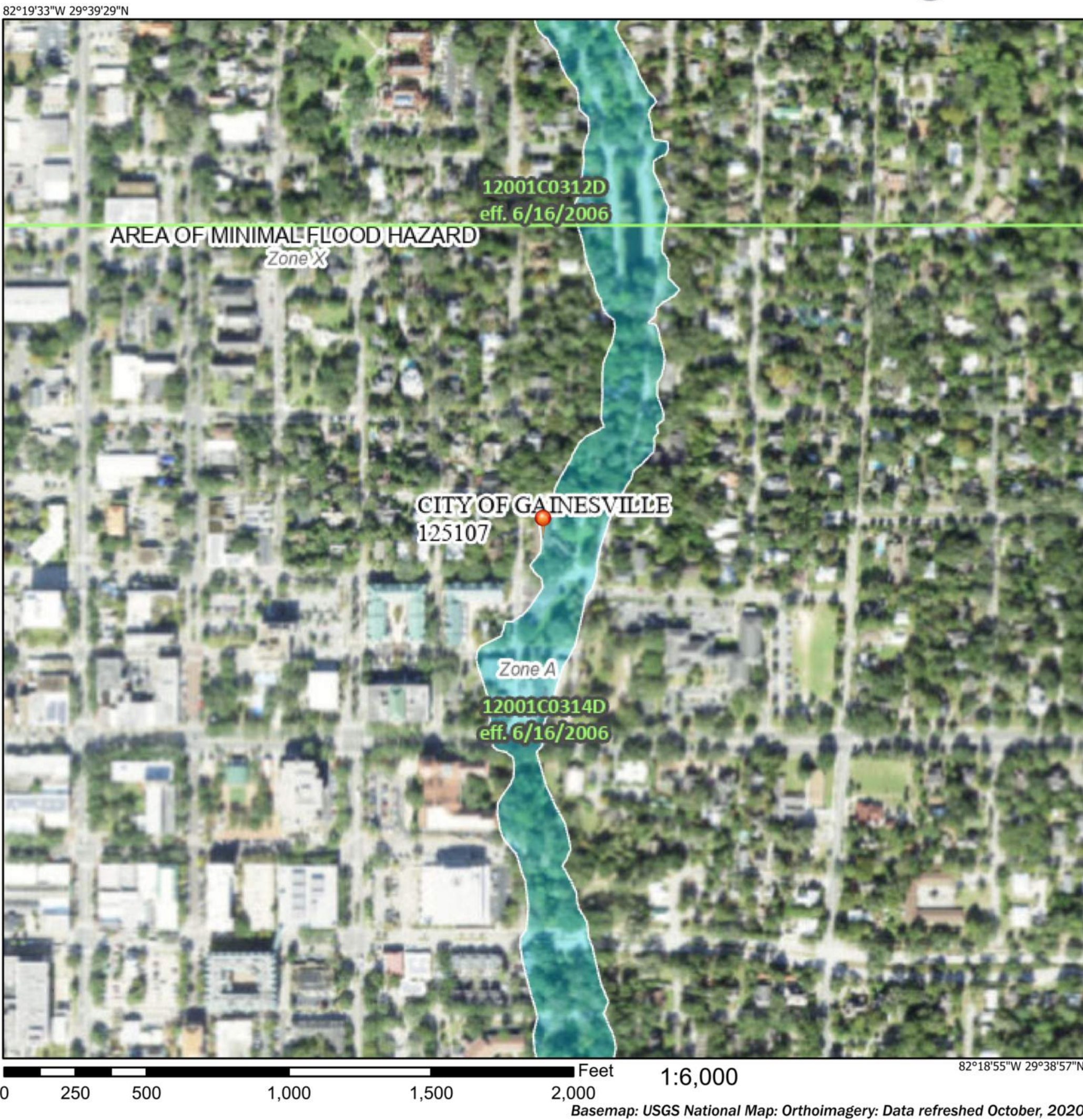
Figure 3. Recommended Improvements

Adjacent Roadway

The property is adjacent to City-owned roads (NE 2nd Avenue and NE 5th Street). Therefore, proposed site improvements shall be coordinated with the City of Gainesville Public Works. Should driveway improvements be proposed, an Obstruction of Right-of-Way with the City of Gainesville Public Works and a Driveway Permit with the City of Gainesville Department of Sustainable Development will be required.

Note, the civil scope excluded the following services: surveying, geotechnical investigation, traffic studies, environmental, off-site utilities improvements, off-site roadway improvements, building-related permitting, and cost estimates (in addition to the architectural cost estimates). The information found herein is preliminary and must be verified upon further design. Should you have any questions, please do not hesitate to contact me at my office at +1 (407) 536-7970, ext. 1201, my cell phone at +1 (407) 506-4845 or send me an electronic message at rbest@chenmoore.com.

National Flood Hazard Layer FIRMette EXHIBIT A



Legend

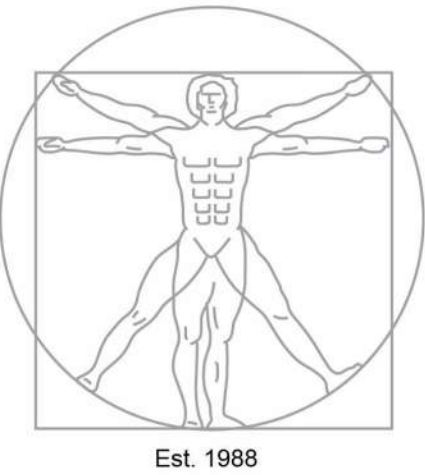
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE)
	Zone A, V, AE, AD, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
	Future Conditions 1% Annual Chance Flood Hazard
	Area with Reduced Flood Risk due to Levee. See Notes.
OTHER AREAS	Area of Minimal Flood Hazard
	Effective LOMRs
	Area of Undetermined Flood Hazard
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
MAP PANELS	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Digital Data Available
	No Digital Data Available
	Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/4/2022 at 5:11 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



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**THELMA A BOLTIN CENTER /
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CIVIL ANALYSIS

October 20, 2022

Brian Laura
REG Architects, Inc.
300 Clematis Street, 3rd Floor
West Palm Beach, FL 33401

RE: **Thelma Boltin Center**
 516 NE 2nd Ave.
 Gainesville, FL 32601
 Project No.: 341.179

SUBJECT: STRUCTURAL CONDITION ASSESSMENT

Pursuant to your request, we performed a site visit on September 16, 2022, at the above referenced project. The purpose of our site visit was to investigate the premises for signs of distress or deterioration and to determine if the building is salvageable.

This report is intended to present the results of our site visits. No destructive testing was performed. No existing drawings were available for our review. A report (Sputo and Lammy Engineering, dated October 26, 2001) on the damaged roof was provided for our review. Our evaluation is based solely on our visual observations of the structural elements that were open and unobstructed on the date of our visit.

The 1-story, historic building consists of a roof / floor wood frame system supported by a single/double wythe, CMU exterior walls and interior columns.

Our observations revealed the following:

I. Exterior

A. North Elevation (Exhibit 1)

1. Exterior walls are painted CMU block. Block is in satisfactory condition except at northwest corner of the building. A crack is visible in the wall where the corner of the building has settled. It appears a repair was performed on the gable end in a continuous strip pattern located above the windows.
2. Wood framing around doors and windows are painted. The wood behind the paint has weathered over the years. Vertical cells of block are grouted in the header area of the door/ window openings and no other steel angle reinforcement is visible. **(Exhibit 2)**
3. Exterior walls of main hall are constructed of 8"x12"x4" CMU with two hollow cells with a second wythe of 4"x12"x4". The roof girders are supported on pilasters integral with all four walls of the main hall. **(Exhibits 3 & 4)**

B. East Elevation (Exhibit 5)

1. Exterior walls are painted CMU block. East elevation includes the main hall which connects to the adjacent building section at a 45-degree angle. A previous crack in the masonry wall has been patched over. **(Exhibit 6)**
2. Wood framing at doors and windows are painted. Previous weathering and some rot noticeable on the wood frames **(Exhibit 7)**

C. South Elevation (Exhibit 7)

1. Exterior walls are painted CMU and are in satisfactory condition. There are several cracks in the masonry walls that have been previously patched but no further cracking is visible. There is a low spot in the grade where water collects to the east of the hall entrance. **(Exhibit 8)**
2. Wood framing at doors and windows are painted. Paint is covering weathered wood. Entrance canopy is in satisfactory condition.
3. There are open vents to ventilate the crawl space under the ground wood floor. **(Exhibit 9)**

D. West Elevation (Exhibit 10)

1. Exterior walls are painted CMU. Block in is in satisfactory condition with the exception of the northwest corner of the building where some settlement of the foundation is visible. **(Exhibit11)**
2. Wood framing at doors and windows are painted. Paint is covering weathered wood. **(Exhibit 12)**

II. Interior

A. Roof

1. Roof at main hall is partially visible and access to roof is limited. Roof in main hall is currently shored. Two girder trusses at stage has failed and is fully shored. Some termite damaged, wood was also observed. **(Exhibit 13)**

B. Floor

1. The wood floor appears to be level and solid. They are supported by a wood beam/ joist frame system supported by 12" x 12" CMU piers. Flooring that is visible appears to be in satisfactory condition. **(Exhibit 14)**

C. Columns and beams

1. Interior columns support the roof structure at the side building. One of the columns was exposed. The exposed column was constructed of vertical boards fastened together. The wood on the exposed column appeared to be in good condition. The composition and construction of the other columns could not be determined as they were covered with trim material. **(Exhibit 15)**

III. Conclusion

A. Roof

1. The two shored girder wood trusses over the stage area will require replacement. The remaining girder wood trusses can be repaired (e.g double wood scabbing, additional metal plate connections, etc.). The extent of repair will depend on the as-built condition of the wood. A design analysis will also reveal if the girder trusses/ purlins will require additional reinforcement to support loads per the current code. Additional column supports/ footings at the girder truss bearing ends will be required to properly transmit all loads to the ground per the current code. These new columns can also provide some lateral bracing to the existing exterior walls. New plywood sheathing above the existing wood planks (to be fasten into the roof framing members) will be required to provide an adequate roof diaphragm to resist lateral loads per the current code. Mechanical uplift connectors will be required throughout the roof framing which were found missing.

Ceiling wood joists will also have to be repaired/ replaced as required.

B. Exterior Masonry Walls

1. The exterior step cracks are indicative of different settlement and subsurface consolidation beneath the foundation in the affected area. The total extent of the subsurface consolidation and settlement is a function of the soil conditions that exists and applied loads. Thus, we cannot determine whether the settlement has subsided or will worsen without knowledge of the underlying soil. A subsurface soil investigation will be required which includes borings and/ or hand augers located near the affected areas.
2. Further field investigation required to determine the sizes of the existing footings so that we can determine the adequacy of the existing foundation system.
3. The door/ window headers will require reinforcement with either a new precast / cast -in – place lintel or a new steel angle to support the required gravity loads.

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4. The exterior walls/gable end will require additional lateral reinforcement due to their unbraced height to resist the required wind loads. We also question whether the door / window jambs are sufficiently reinforced to resist the required wind loads.
5. In addition, all pipe penetrations should be sealed to mitigate water intrusion. The exterior should be caulked and painted with a waterproof coating.

C. Building Envelope

1. It is evident that the existing door / window openings are not impact rated.

The building overall was found in satisfactory condition but will require the above repairs. Two wood girder trusses over the stage area will require replacement and further investigation required to determine the extent of damage on the remaining wood girders. Further investigation required to determine the settlement issue at the NW corner. If the building is to remain, the Florida Existing Building Code may mandate that the entire building be upgraded to current code due to the number of repairs. This upgrade will not only include the structure, but also all other building systems (mechanical, electrical, plumbing, life safety, accessibility, etc.). We highly recommend that the building official be consultant to determine the extent upgrade required for a Historic Building. The structure may be salvageable but the structural / architectural upgrades to retrofit this existing building may be cost prohibitive.

IV. GENERAL NOTES

We were commissioned by REG Architects to perform a general walk-through, visual review of the building, advising them of any structural defects and need for repair. This report is based upon clearly visible, open, and unobstructed areas of the premises on the date of our site visit. No opinion is rendered with regards to structural elements that were concealed.

We trust that you will find the information contained herein helpful. Should you have any questions, do not hesitate to call our office.

O'DONNELL, NACCARATO, MIGNOGNA & JACKSON, INC.

Joseph F. Mincuzzi, P.E.
Vice President
STATE OF FLORIDA
Registered Professional Engineer No.: 38162
Registered Professional Special Inspector No.:0952

JFM/bm

Jeff Ballard
Project Engineer

1655 Palm Beach Lakes Blvd., Suite 204, West Palm Beach, FL 33401 | Tel: 561.835.9994 | www.onmj.net
Florida West Palm Beach Pennsylvania Philadelphia, Lehigh Valley



Exhibit 1



Exhibit 3



Exhibit 5



Exhibit 7



Exhibit 2



Exhibit 4



Exhibit 6



Exhibit 8



Est. 1988

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President

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**THELMA A BOLTIN CENTER /
HISTORIC GAINESVILLE**

516 NE 2ND AVE,
GAINESVILLE, FL 32601

NO. DATE DESCRIPTION

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DATE 10/24/2022

MODELED TW/RL

CHECKED MA/REG

PROJECT #

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**STRUCTURAL CONDITION
ASSESSMENT**



Exhibit 13



Exhibit 14



Exhibit 9



Exhibit 10



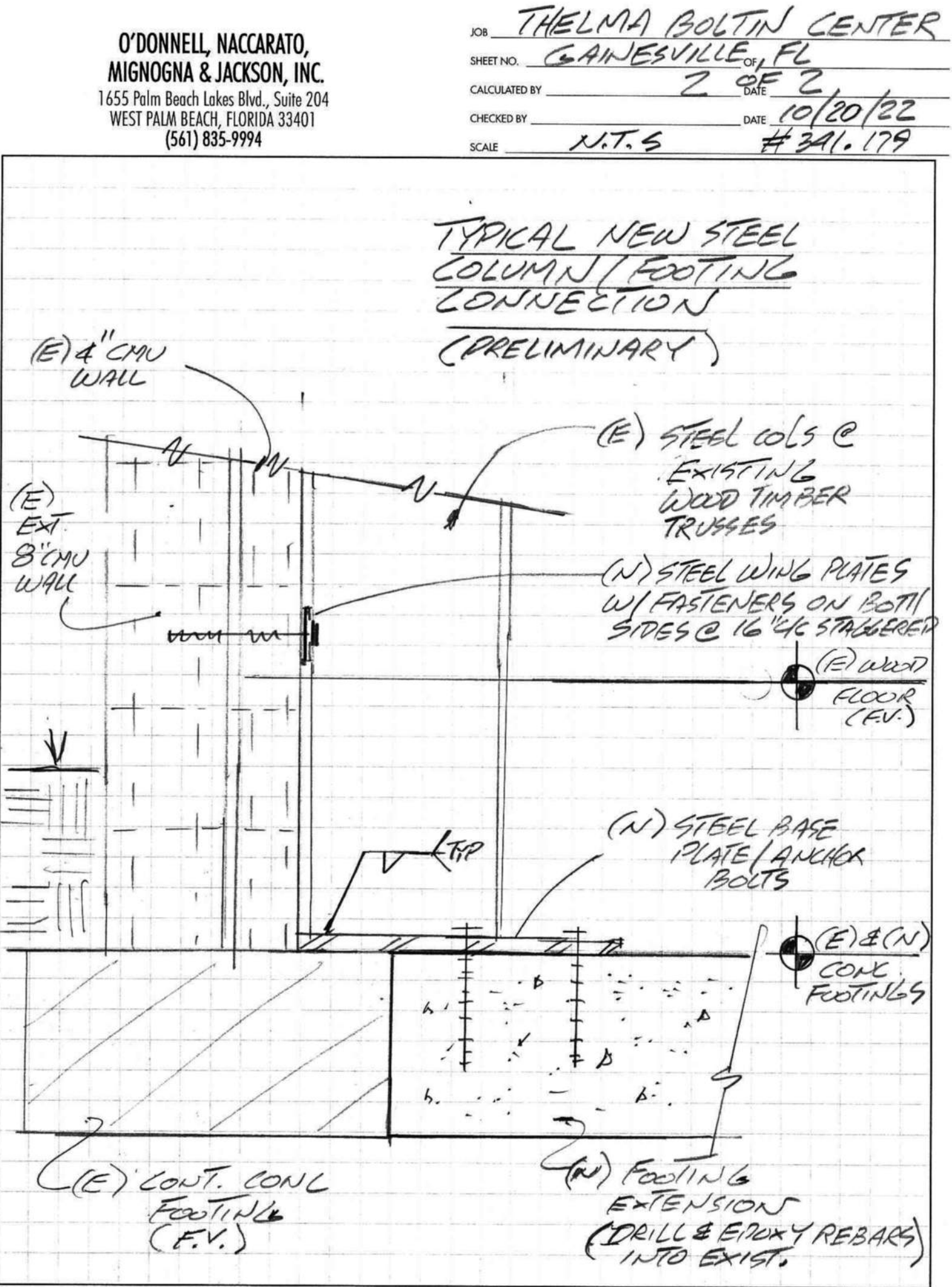
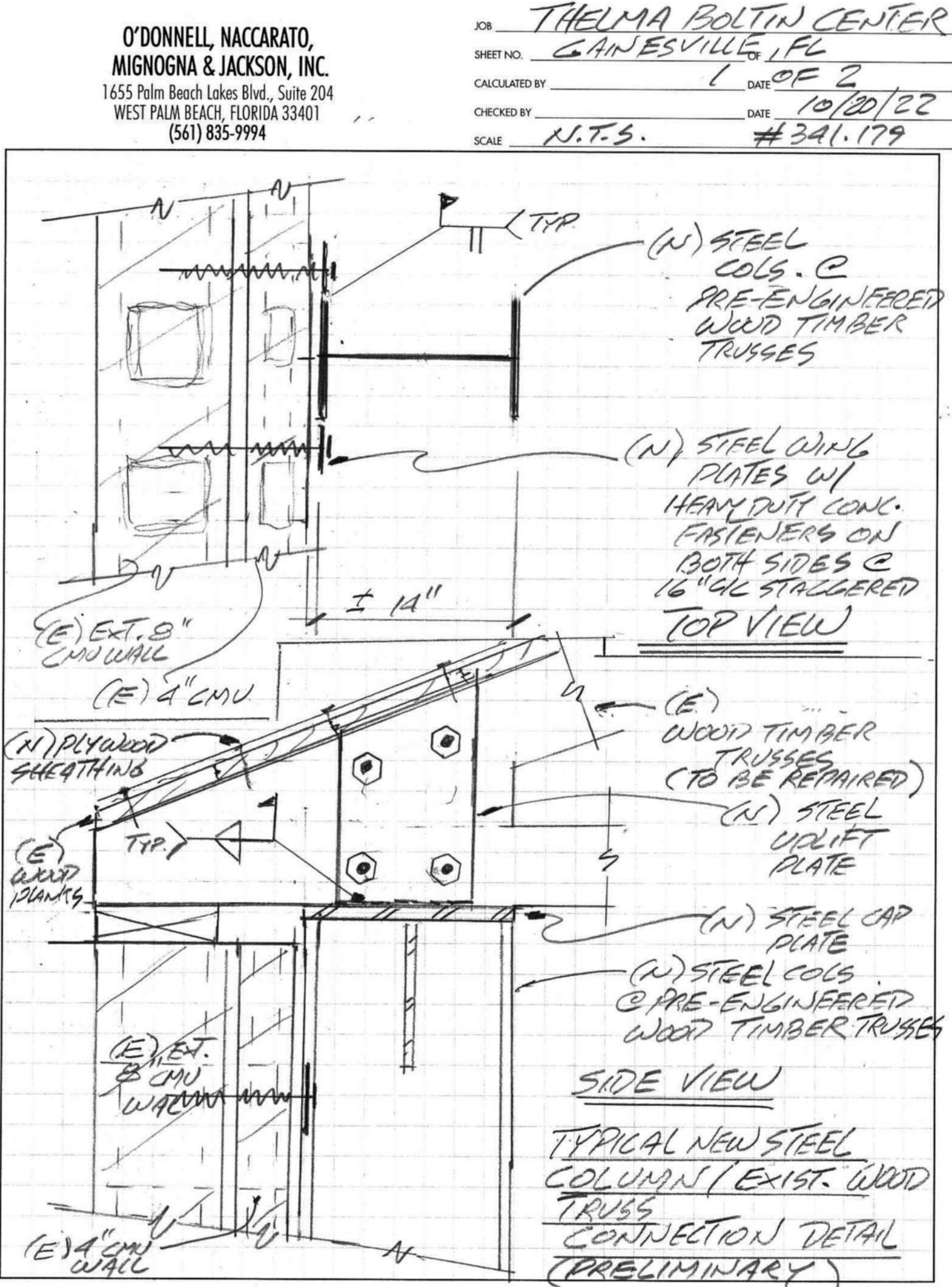
Exhibit 15



Exhibit 11



Exhibit 12



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STRUCTURAL CONDITION
ASSESSMENT

OUTLINE PROJECT SCHEDULE

Months	YEAR - 2022			YEAR - 2023												YEAR- 2024												YEAR- 2025		
	Oct.	Nov.	Dec.	Jan.	Feb.	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.	Jan.	Feb.	March	April	May	June	July	August	Sept.	Oct.	Nov.	Dec.	Jan.	Feb.	
Item																														
Conceptual Design																														
Schematic Design & Site Plan Approval																														
Design Development																														
Construction Documents																														
Permitting																														
Construction Admin. (14 Months-Estimate)																														

NOTE A: Project schedule is subject to change dependent on Owner and Contractor input as well as the City of Gainesville Site Plan Approval and Permitting Process.
NOTE B: Schedule assumes 1-round of comments, additional round(s) of comments will increase schedule.
NOTE C: Schedule does not include additional reviews by building department, engineering, etc.
NOTE D: Schedule assumes replatting the site is not required.

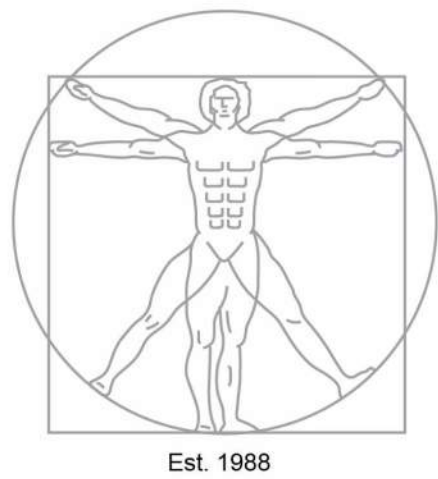
The following includes a low, medium, and high estimate of cost for the overall site and proposed building with additional reports and renovation/restoration costs to be considered when pursuing grants and other financing options.

ESTIMATED PROJECT COST / BUDGET

*ALL ESTIMATES ARE SUBJECT TO
CHANGE AS PER MARKET CONDITIONS.

Thelma A Boltin Budget	SF	Low \$/SF	Medium \$/SF	High \$/SF
Building Historic Renovation		350.00	400.00	450.00
SUBTOTAL	10,543 SF	3,690,050	4,217,200	4,744,350
Site Improvements (Allowance)		65,000	70,000	75,000
OH Profit 18%		664,209	759,096	853,983
Soft Cost 10% (A&E plans)		369,005	421,720	474,435
TOTAL		4,788,264	5,468,016	6,147,768
ADDITIONAL REPORTS				
Structural		9,500	10,000	12,500
Environmental Level 1/Paint Analysis		9,500	10,000	12,500
Moisture/Thermal Survey		4,500	5,000	5,000
M/E/P Evaluation		2,500	3,000	4,000
REPORT TOTAL		26,000	28,000	34,000
GRAND TOTAL		4,814,264	5,496,016	6,181,768

EXCEPTIONS
Major Unforeseen Structural Repair
Archeological Report/Approval



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ESTIMATED PROJECT COST &
SCHEDULE



CASE STUDY 01

OLD MT. CARMEL CHURCH
GAINESVILLE, FLORIDA

Size: 12,561 SF / \$446 SF
Estimated Cost: \$5.6 Million



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ROOF
STRUCTURE
WOOD SHEATING
OVER RAFTERS

FIRST FLOOR ADD ON EXISTING CEILING CONDITIONS



SECOND FLOOR ALTER AND SEATING AREA
BEHIND MAIN STAGE



WOOD
REINFORCEMENT
WOOD
TRUSSES
WOOD
SHEATING

ROOF WOOD TRUSSES STRUCTURE

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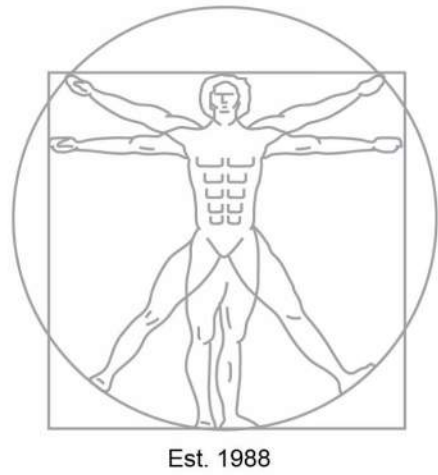
CASE STUDY 01

CASE STUDY 02

BOYNTON BEACH ARTS & CULTURAL CENTER
BOYNTON BEACH, FLORIDA

Size: 28,000 SF / \$380 SF
Cost: \$10.6 Million

REG
Architects
Interiors
Planners



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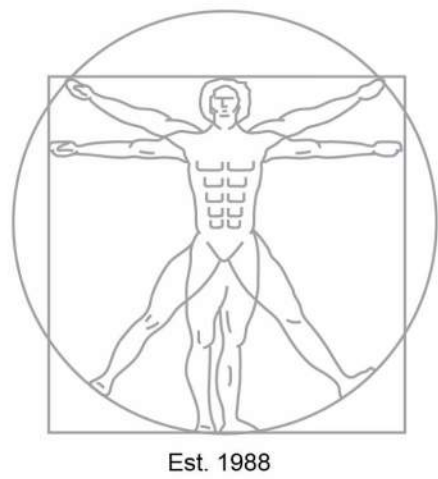
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CASE STUDY 02



CASE STUDY 03

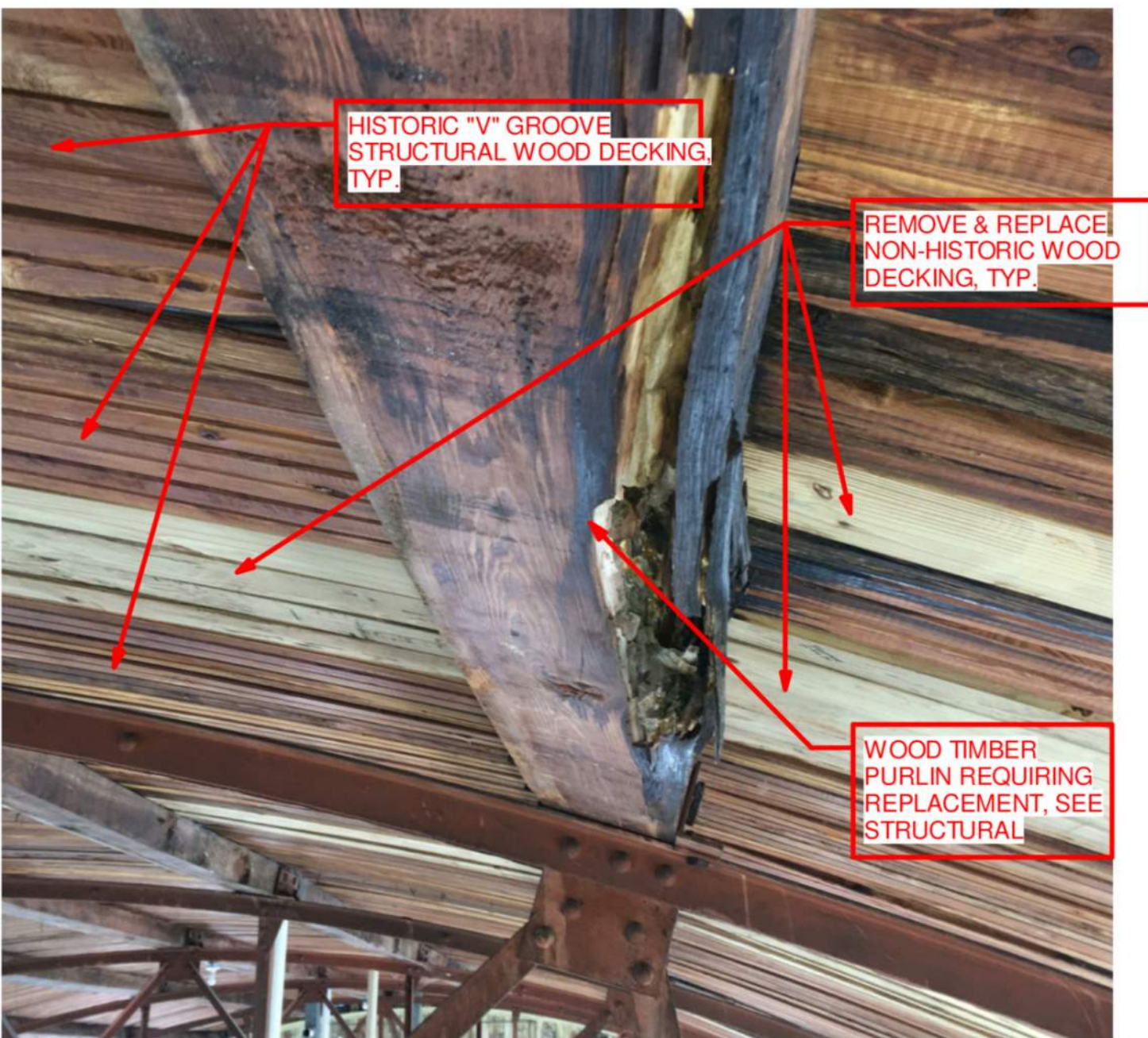
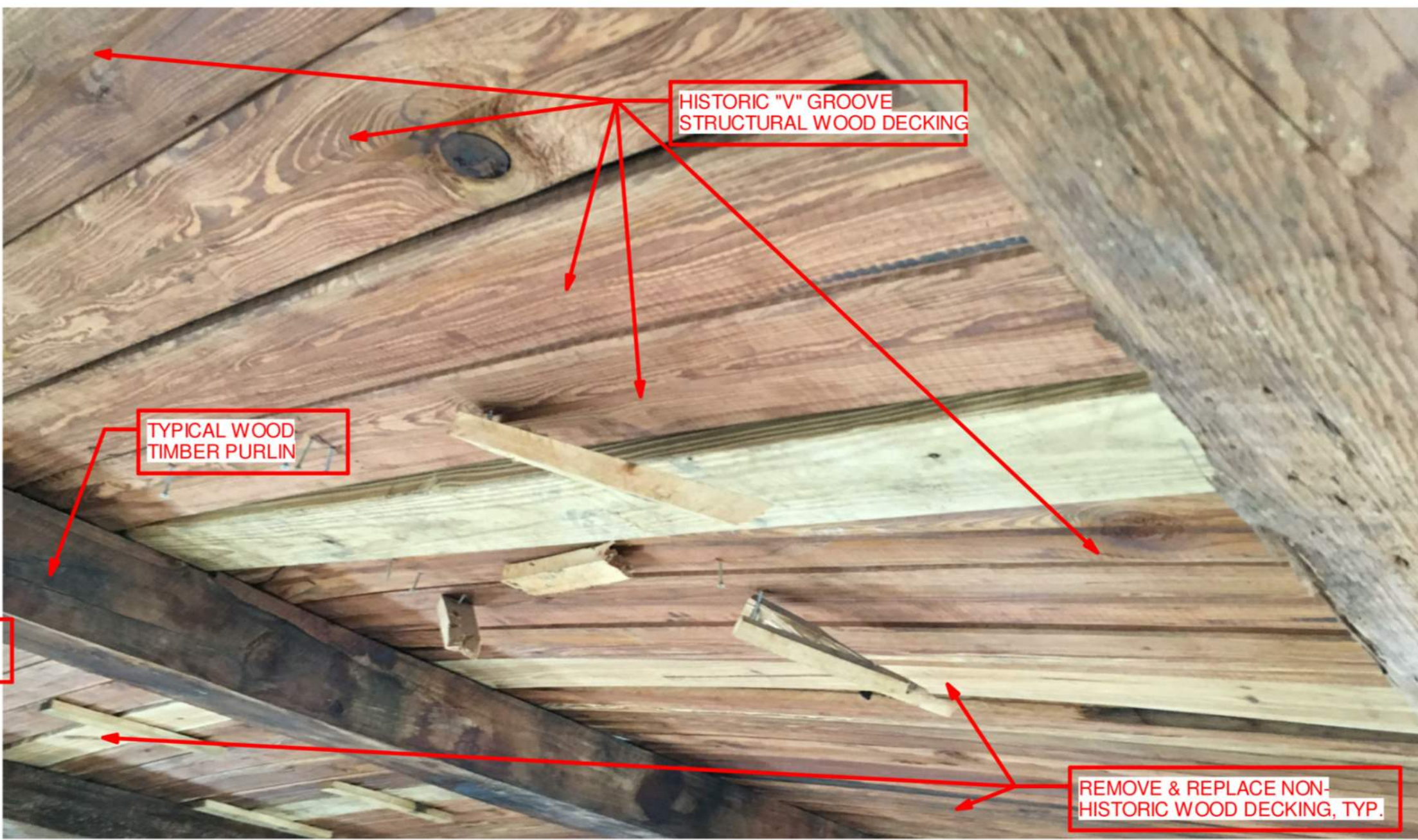
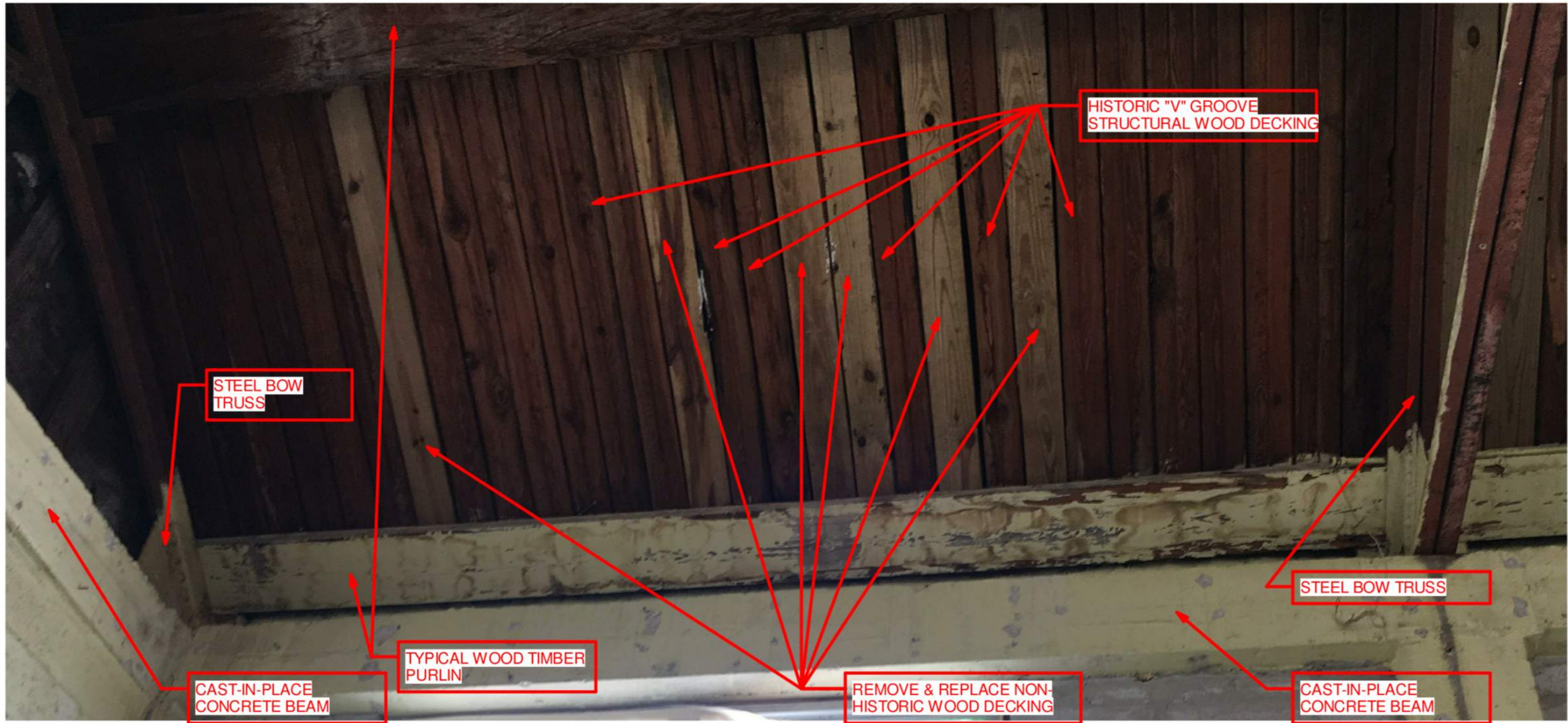
HISTORIC SUNSET LOUNGE Size: 20,500 SF / \$800 SF
WEST PALM BEACH, FLORIDA Cost: \$16.4 Million



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CASE STUDY 03