

ALFRED A. RING PARK IMPROVEMENTS

1801 NW 23rd Blvd
Gainesville, FL 32605

PROJECT DESCRIPTION

THIS PROJECT WILL INCLUDE THE REPLACEMENT OF THE WALKING SURFACE AND TOP HANDRAIL BOARDS OF ALL EXISTING BOARDWALKS IN THE PARK. PART OF THIS BOARD REPLACEMENT MAY INCLUDE THE REPLACEMENT OF ROTTING STRUCTURAL COMPONENTS THAT MAY BE DISCOVERED WHEN THE WALKING SURFACE BOARDS ARE REMOVED.

CIVIL SCOPE WILL INCLUDE REPLACEMENT OF THE ON-GRADE PORTION OF THE BOARDWALKS LEADING TO THE BRIDGE AT THE NORTH TRAILHEAD WITH NEW CONCRETE WALKS ON BOTH THE EAST AND WEST ENDS OF THE BRIDGE. THIS WILL REQUIRE THE REPLACEMENT OF EXISTING GAURDRAILS AT BOTH LOCATIONS IN KIND WITH THE EXISTING RAILS.

Work shall be installed in accordance with the approved construction documents, and any changes made during construction that are not in compliance with the approved construction documents shall be resubmitted for approval as an amended set of construction documents. FBC-B 107.4

REQUIRED INSPECTIONS - It is the duty of the owner or the owner's authorized agent to cause the work to remain exposed and provided with access for inspection purposes. The jurisdiction shall not be liable for expense entailed in the removal or replacement of any material required to allow inspection. FBC-B 110.1

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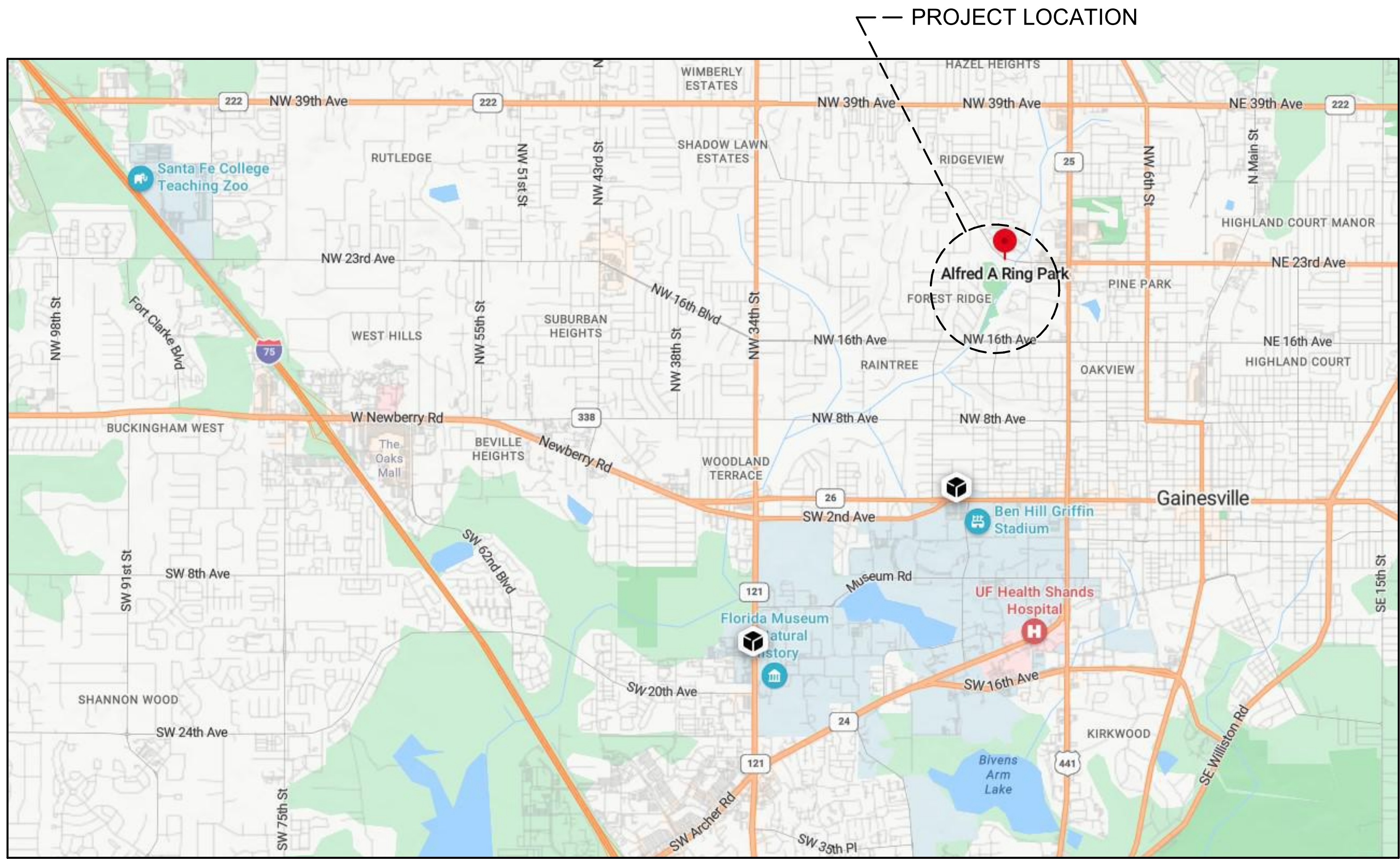
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ARCHITECTURAL

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LOCATION MAP



Alfred A Ring Park Improvements

1801 NW 23rd Blvd
Gainesville, FL 32605

KEY PLAN

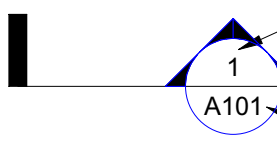
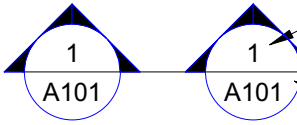
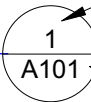

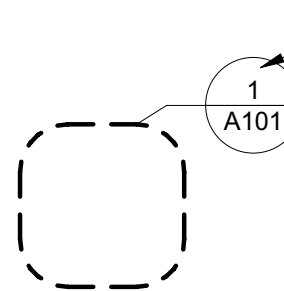
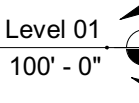

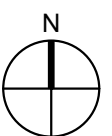
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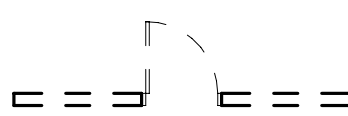
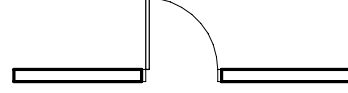

COVER

PROJECT NO.: 23049	DRAWN BY: KAL
	CHECKED BY: TW

G000

ABBREVIATIONS	
AC	AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ARCH	ARCHITECT, ARCHITECTURAL
AUTO	AUTOMATIC
BLDG	BUILDING
BRG	BEARING
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CIP	CAST-IN-PLACE (CONCRETE)
CJ	CONTROL JOINT
CL	CENTERLINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DEMO	DEMOLISH, DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRIC, ELECTRICAL
EOS	EDGE OF SLAB
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
EWC	ELECTRIC WATER COOLER
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FT	FOOT/FEET
GA	GAUGE, GAGE
HSS	HOLLOW STRUCTURAL SECTION
HVAC	HEATING-VENTILATING-AIR CONDITIONING
ID	INSIDE DIAMETER
INT	INTERIOR
LAV	LAVATORY
LWIC	LIGHTWEIGHT INSULATING CONCRETE
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER, MANUFACTURED
MIN	MINIMUM
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OPP	OPPOSITE
PCF	POUNDS PER CUBIC FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
QTY	QUANTITY
R	RADIUS
RCP	REFLECTED CEILING PLAN
REV	REVISE (SION)
RO	ROUGH OPENING
SF	SQUARE FOOT, FEET
SIM	SIMILAR
SPEC	SPECIFY, SPECIFICATION
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STRUC	STRUCTURE, STRUCTURAL
TBD	TO BE DETERMINED
TEMP	TEMPORARY
TOW	TOP OF WALL
TYP	TYPICAL
T&G	TONGUE AND GROOVE
UC	UNDERCOUNTER
UOI	UNLESS OTHERWISE INDICATED
VIF	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
WD	WOOD
WP	WEATHERPROOF

REFERENCE SYMBOLS (ALL DISCIPLINES)		
WALL SECTION		DETAIL/ SECTION NUMBER
		SIMILAR INDICATION
		SHEET NUMBER
BUILDING SECTION		DETAIL/ SECTION NUMBER
		SHEET NUMBER
DETAIL SECTION		DETAIL NUMBER
		SHEET NUMBER
EXTERIOR ELEVATION		ELEVATION NUMBER
		SHEET NUMBER
LARGE SCALE BLOWUP OF PLAN OR DETAIL		PLAN OR DETAIL NUMBER
		SHEET NUMBER
LEVEL REFERENCE		LEVEL DESCRIPTION
		LEVEL ELEVATION
REVISION		CLOUDED AREA OF REVISION
NORTH ARROW		

TYPICAL PHASING GRAPHICS	
EXISTING CONSTRUCTION TO REMAIN	
EXISTING CONSTRUCTION TO BE REMOVED	
NEW CONSTRUCTION	
NOT IN PROJECT SCOPE	

- | GENERAL NOTES | |
|---------------|---|
| 1. | DO NOT SCALE DRAWINGS. RELY ON THE NUMERIC DIMENSIONS SHOWN FOR MEASUREMENT. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT |
| 2. | REVIEW AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS RELATING TO THE EXISTING BOARDWALKS THAT INTERFACE WITH THE NEW CONSTRUCTION. NOTIFY THE ARCHITECT WHEN EXISTING CONDITIONS VARY FROM THE PROJECT DRAWINGS. |
| 3. | DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. |
| 4. | FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATION REQUIREMENTS AND DESIGN INTENT. |

GAINEVILLE

APPROVED

Walker

Architects

DATE: 06/07/24

B24-000436 -

Boardwalk Repair -

Alfred A Ring Park

Gainesville, FL 32605

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SUBMITTAL:	ISSUE DATE:
CONSTRUCTION DOCUMENTS	04/03/2024

REVISION	DESCRIPTION	DATE
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Alfred A Ring Park

Improvements

1801 NW 23rd Blvd
Gainesville, FL 32605

KEY PLAN

DRAWING TITLE:

GENERAL NOTES,
SYMBOL LEGEND, &
ABBREVIATIONS

PROJECT NO.:	23049	DRAWN BY:	KAL
		CHECKED BY:	TW

G001

GENERAL NOTES

1. THE TOPOGRAPHIC AND EXISTING INFORMATION SHOWN HEREON WAS TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY 3002 SURVEYING, AND DATED JULY 20, 2023. ALL DRAWINGS ARE REFERENCED TO FLORIDA STATE PLANE COORDINATES, NAD 83 ZONE NORTH US SURVEY FEET AND NAVD88 DATUM WITH ELEVATIONS GIVEN IN US SURVEY FEET. [EDCM 7.1.2.1]
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE RESPECTIVE UTILITY COMPANIES SHALL RELOCATE ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY COMPANIES DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE APPROPRIATE UTILITY COMPANIES IN ORDER TO ALLOW MARKING OF THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES IN ADVANCE OF CONSTRUCTION BY CALLING THE FLORIDA SUNSHINE STATE ONE-CALL CENTER, INC. AT 1-800-432-4770 OR 811. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "SUNSHINE" 48 HOURS PRIOR TO ANY CLEARING OF CONSTRUCTION TO IDENTIFY ALL UTILITY LOCATIONS. NO CONSTRUCTION ACTIVITY MAY OCCUR UNTIL THE UTILITIES HAVE BEEN PROPERLY MARKED.
4. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL LOCATION AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF THE PROJECT ENVELOPE SHOWN PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO HAVE THE LOCATIONS OF ALL UTILITIES FIELD MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
6. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK INCLUDING LANDSCAPING.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY AND/OR MUNICIPALITY INSTRUCTIONS.
9. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED, AND PERMITTED THROUGH LOCAL GOVERNMENTAL AGENCIES AND WATER MANAGEMENT DISTRICT PER CURRENT REGULATIONS AT THE SOLE COST OF THE CONTRACTOR.
11. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT AND BORINGS PRIOR TO BIDDING THE PROJECT AND FOLLOW OUTLINED CONSTRUCTION TECHNIQUES.
12. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SERVICES OF AN APPROVED TESTING LABORATORY AND/OR SOILS ENGINEER, APPLICABLE REGULATORY AGENCIES, AND AS MAY BE FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS OR SPECIFICATIONS. CONTRACTOR TO VERIFY ALL TESTING WITH THE OWNER PRIOR TO COMMENCING CONSTRUCTION. UPON COMPLETION OF THE WORK, THE TESTING LABORATORY AND/OR SOILS ENGINEER MUST SUBMIT TO THE OWNER'S ENGINEER CERTIFICATIONS STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
13. INSTALL SILT FENCE PRIOR TO SITE DEMOLITION OR NEW SITE CONSTRUCTION. INSTALL SILT FENCE PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL AND PROVIDE TOE-IN. THE CONTRACTOR SHALL MAINTAIN THE SILT FENCE IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE PROJECT SILT FENCE SHALL BE INSPECTED DAILY AND ANY CORRECTIVE MEASURES SHALL BE COMPLETED WITHIN 24 HOURS.
14. THE CONTRACTOR SHALL CALL THE NATURE OPERATIONS DIVISION AT (352) 393-8171 FOR A TREE BARRICADE INSPECTION PRIOR TO BEGINNING ANY CONSTRUCTION.
15. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
16. ALL DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED AND REMOVED FROM THE SITE. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE AREAS.
17. CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE SODDED, SEEDED, MULCHED, OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL, AS DIRECTED BY THESE PLANS, IMMEDIATELY FOLLOWING CONSTRUCTION PER LOCAL INSPECTOR.
18. WORK BEING PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON THE SITE BY OTHER CONTRACTORS AND/OR UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE ITS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
19. ALL PAVEMENT DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
20. THE GOVERNING STANDARDS AND SPECIFICATIONS, UNLESS STATED OTHERWISE SHALL BE PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLANS (FY 2018-19 ROAD CONSTRUCTION), AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED JANUARY 2018, AS AMENDED BY CONTRACT DOCUMENTS. ALL MATERIALS AND METHODS SHALL MEET FDOT SPECIFICATIONS AND SHALL BE PRODUCED OR OBTAINED FROM AN FDOT APPROVED SOURCE.
21. ALL NEW TRAFFIC CONTROL DEVICES (SIGNS AND PAVEMENT MARKINGS) SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT STANDARDS.
22. ALL STRIPING WITHIN REPAVED AREAS OF THE CITY RIGHT OF WAY SHALL BE PLACED FIRST AS TEMPORARY STRIPING FOLLOWED BY APPLICATION OF THERMOPLASTIC STRIPING 30 DAYS LATER.
23. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER BENCHMARKS ON-SITE. EXISTING BENCH MARKS SCHEDULED FOR REMOVAL SHALL BE RELOCATED AT CONTRACTORS EXPENSE AND RE-ESTABLISHED BY A LICENSED SURVEYOR.
24. ALL HANDICAP RAMPS SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE AND AMERICANS WITH DISABILITIES ACT.
25. A PRE-CONSTRUCTION CONFERENCE MAY BE REQUIRED. THE CONTRACTOR, ENGINEER OF RECORD, AND THE OWNER SHALL MEET WITH THE CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT PRIOR TO INITIATION OF SITE CONSTRUCTION IF REQUIRED.
26. ANY CHANGE ORDER REQUESTS, SITE REVISIONS, AND PAY REQUESTS MUST BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD.
27. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING AS NEEDED THROUGHOUT ALL CONSTRUCTION ACTIVITIES COVERED BY THESE PLANS. DEWATERING SHALL BE DONE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, 2018 EDITION, SECTION 120.
28. THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE AND COST OF ALL CLEARING AND GRUBBING AND ALL WORK OF REMOVAL, DISPOSAL, AND REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS WHERE SHOWN IN THE PLANS, OR ORDERED BY THE ENGINEER TO BE REMOVED, OR WHERE REQUIRED BECAUSE OF THE CONSTRUCTION OPERATIONS, IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS (THIS INCLUDES BUT IS NOT LIMITED TO PROPOSED PIPING, STRUCTURES, UTILITIES, PAVING, CURBING, ETC.).
29. AN AS-BUILT SURVEY MAY BE REQUIRED BY REGULATORY AGENCIES. CONTRACTOR TO COORDINATE WITH PROJECT OWNER FOR COMPLETION OF AS-BUILT SURVEYS PRIOR TO PROJECT / PERMIT CLOSE-OUT.

DEMOLITION GENERAL NOTES

1. CALL THE BUILDING DEPARTMENT AT (352)334-5050 FOR A DEMOLITION INSPECTION PRIOR TO ANY DEMOLITION ACTIVITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLITION MATERIALS IN A SAFE AND LAWFUL MANNER. THE CONTRACTOR SHALL SALVAGE TO THE OWNER ANY ITEM AS DETERMINED BY THE OWNER. ONCE DEMOLISHED, MATERIAL SHALL BE DISPOSED OF PROPERLY AND IMMEDIATELY.
3. REMOVE ALL IMPROVEMENTS DEFINED ON THE DEMOLITION PLAN. SALVAGE ITEMS TO OWNER AS DEFINED BY THE OWNER'S REPRESENTATIVE AND CONSTRUCTION DOCUMENT SPECIFICATIONS.
4. EXISTING PAVEMENT AND SIDEWALK EDGES THAT BORDER NEW CONSTRUCTION OR DEMOLITION ARE TO BE SAW-CUT TO PROVIDE A SMOOTH TRANSITION.
5. ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED.
6. ROOTS LARGER THAN 1 INCH IN DIAMETER ON TREES TO BE PRESERVED THAT ARE ENCOUNTERED DURING CONSTRUCTION MUST BE CUT CLEANLY AND COVERED OVER WITHIN ONE HOUR OF EXPOSURE.
7. ALL ASPHALT AND LIMEROCK WILL BE COMPLETELY REMOVED FROM AREAS THAT WILL BE LANDSCAPED. IN PARTICULAR, AREAS WHERE ASPHALT WILL BE REMOVED MUST HAVE THE TOP HARD SURFACE, LIMEROCK, AND COMPACTED SOIL REMOVED. REPLACEMENT SOIL SHALL BE CLEAN DEEP FILL OF PH 5.5 - 6.5. THE DEPTH OF UNCOMPACTED SOIL PRIOR TO PLANTING MUST BE AT LEAST 3 FEET TO ACCOMMODATE FUTURE TREE ROOT GROWTH. NO LIMEROCK, LARGE STONES, OR OTHER CONSTRUCTION DEBRIS CAN REMAIN IN AREAS TO BE LANDSCAPED.

PAVING, GRADING, AND DRAINAGE GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL PRACTICES DURING CONSTRUCTION TO MINIMIZE ON-SITE EROSION/SEDIMENTATION AND TO PROTECT AGAINST DAMAGE TO OFF-SITE PROPERTY. THE FOLLOWING PRACTICES SHALL BE EMPLOYED:
 - A. EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER PER FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. A SILT BARRIER SHALL SPECIFICALLY BE REQUIRED, CONSTRUCTED, AND MAINTAINED AS INDICATED ON THIS SHEET. TEMPORARY SEED AND MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. SOD SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5 (FT) HORIZONTAL TO 1 (FT) VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE. THE CONTRACTOR SHALL INSPECT AND REPAIR AS NECESSARY THE EROSION/SEDIMENTATION PROTECTION AT THE END OF EACH WORKING DAY.

NOTE: EROSION/SEDIMENTATION CONTROL SHALL BE PLACED PRIOR TO SITE EXCAVATION AND SHALL REMAIN IN PLACE UNTIL SITE VEGETATION AND LANDSCAPING IS COMPLETE.
 - B. ALL INLET STRUCTURES AND PIPE SHALL BE PROTECTED FROM SILTATION BY CONSTRUCTING INLET PROTECTION AS DEFINED BY THESE PLANS OR IN THE FDOT STANDARDS. IF SILTATION OCCURS, THE CONTRACTOR IS RESPONSIBLE TO REMOVE SILTATION AS PART OF THE BASE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.
 - C. PERMANENT VEGETATIVE STABILIZATION SHALL BE APPLIED ON FINE GRADED SITES AS SOON AS PRACTICAL. TEMPORARY SEEDING SHOULD BE EMPLOYED TO PREVENT EXPOSURE OF BARREN SOILS UNTIL PERMANENT VEGETATION CAN BE APPLIED.
 - D. ALL SLOPES 1:4 OR STEEPER REQUIRE LAPPED OR PEGGED SOD.
 - E. EROSION, SEDIMENT AND TURBIDITY CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DELINEATED MEASURES ARE THE MINIMUM REQUIRED, WITH ADDITIONAL CONTROLS TO BE UTILIZED AS NEEDED, DEPENDENT UPON ACTUAL SITE CONDITIONS AND CONSTRUCTION OPERATION.
 - F. ALL SYNTHETIC BALES, SILT FENCE, AND OTHER EROSION CONTROL MEASURES SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL MAINTAIN IN HIS POSSESSION A COPY OF THE WATER MANAGEMENT DISTRICT CONSTRUCTION PERMIT. HE OR SHE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL CONDITIONS CONTAINED IN THE PERMIT.
3. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
4. CONTRACTOR SHALL SUBMIT FOR REVIEW TO THE OWNER AND OWNER'S ENGINEER SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO BE USED ON THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE. ENGINEER'S APPROVAL OF A SHOP DRAWING DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR THE PERFORMANCE OF THE ITEM.
5. THE COST OF ALL TESTING OF COMPACTION AND OTHER REQUIRED TESTS SHALL BE PAID BY THE CONTRACTOR AND MADE AVAILABLE TO THE ENGINEER OF RECORD DURING SITE INSPECTIONS.
6. GENERAL CONTRACTOR TO CONTACT ENGINEER OF RECORD AND THE OWNER REPRESENTATIVE 48 HOURS IN ADVANCE PRIOR TO BACKFILLING TRENCHES FOR FIELD INSPECTION AND PRIOR TO LAYING ASPHALT FOR FIELD INSPECTION.
7. CONTRACTOR IS TO SUBMIT CITY OF GAINESVILLE APPROVED ASPHALT DESIGN MIXES TO THE OWNER'S REPRESENTATIVE AND ENGINEER OF RECORD BEFORE ANY WORK IS TO COMMENCE ON PROJECT. THE MIXTURE AT THE PLANT OR ON THE ROAD SHALL NOT EXCEED 335 DEGREES. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND PROVIDE TEMPERATURE READINGS PRIOR TO LAYING ASPHALT.
8. AS DETERMINED NECESSARY AND DIRECTED BY CITY OF GAINESVILLE PUBLIC WORKS DEPARTMENT OR ENGINEER OF RECORD, THE CONTRACTOR SHALL UNDERCUT ALL UNSUITABLE MATERIAL 24 INCHES BELOW THE BOTTOM OF ANY PROPOSED LIMEROCK BASE, AND SHALL BACKFILL WITH FILL MATERIAL MEETING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEE FDOT INDEX 120-001 AND 120-002.
9. PROVIDE LEVEL PLATFORM IN FRONT OF ALL EGRESS DOORS. THE FLOOR SURFACE ON BOTH SIDES OF A DOOR SHALL BE AT THE SAME ELEVATION OR AS SHOWN. THE FLOOR SURFACE OR LANDING ON EACH SIDE OF THE DOOR SHALL EXTEND FROM THE DOOR IN THE CLOSED POSITION A DISTANCE EQUAL TO THE DOOR WIDTH AND SHALL COMPLY WITH SECTION 4.13.6 MANEUVERING CLEARANCES AT DOORS OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
10. RAMPS SHALL HAVE LEVEL LANDINGS AT THE BOTTOM AND TOP OF EACH RAMP RUN. CURB RAMPS ARE NOT REQUIRED TO HAVE LANDINGS. LANDINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. THE LANDING SHALL BE AT LEAST AS WIDE AS THE RAMP RUN LEADING TO IT.
 - B. ALL LANDINGS ON RAMPS SHALL BE NOT LESS THAN 60" CLEAR, AND THE BOTTOM OF EACH RAMP SHALL HAVE NOT LESS THAN 72" OF STRAIGHT AND LEVEL CLEARANCE.
 - C. IF RAMPS CHANGE DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 60"x60". IF A RAMP RUN HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72" THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS. HANDRAILS ARE SHOWN ON THE ARCHITECTURAL PLAN.
11. THE CONTRACTOR SHALL STOCKPILE TOPSOIL AND CONSTRUCTION MATERIALS IN AREAS DESIGNATED BY THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS AS NOTED IN NOTE #29 UNDER SITE GENERAL NOTES.
13. ALL CONCRETE USED SHALL BE 3,000 PSI MINIMUM OR AS SHOWN.
14. ALL WELLS, CLEANOUTS, MANHOLE TOPS, PULL BOX COVERS AND OTHER UTILITY APPURTENANCES IN THE AREA OF REDEVELOPMENT SHALL BE PROTECTED AND TOPS ADJUSTED TO MATCH PROPOSED GRADES.
15. CONTRACTOR SHALL SAW CUT, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS ANY EXISTING PAVEMENT.
16. SOD SHALL BE PLACED AROUND ALL STRUCTURES AS DIRECTED BY FDOT INDEX 524-001 AND FDOT INDEX 425- AND 430- SERIES AS APPROPRIATE. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
17. ALL STORM SEWER CURB AND DITCH BOTTOM INLETS SHALL CONFORM TO THE APPLICABLE FDOT INDEX. ALL DRAINAGE STRUCTURES WITH GRATES THAT ARE LOCATED IN GRASSED AREAS SHALL HAVE THE GRATE CHAINED TO THE STRUCTURE USING AN EYE BOLT AND CHAIN.
18. ALL CONCRETE STRUCTURES SHALL HAVE ALL EXPOSED EDGES CHAMFERED 3/4" AND CLASS 1 SURFACE FINISH.
19. ALL HDPE FITTINGS AND CONNECTORS SHALL BE WATER TIGHT. SEE SPECIFICATIONS FOR MORE INFORMATION.
20. COMPACTION OF ALL MATERIALS SHALL BE LIMITED TO STATIC MODE ONLY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER OF RECORD.
21. ALL RCP PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION SECTION 430.

FIRE GENERAL NOTES

1. FIRE HYDRANTS AND STABILIZED SURFACES SHALL BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-16.4.3))
2. IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ. IT IS HIGHLY RECOMMENDED THAT DEVELOPERS EVALUATE AND ADDRESS THE POTENTIAL NEED FOR IBPES IN THE EARLY STAGES OF PROJECT PLANNING. FOR ADDITIONAL SPECIFIC REQUIREMENTS PERTAINING TO SIGNAL STRENGTH, COVERAGE, MAINTENANCE AND TESTING REFER NFPA 72-14.4.12 AND 24.5.2. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-11.10))
3. THE OWNER OR OWNER'S AUTHORIZED AGENT SHALL DEVELOP A FIRE SAFETY PROGRAM TO ADDRESS ALL ESSENTIAL FIRE AND LIFE SAFETY REQUIREMENTS FOR THE DURATION OF DEMOLITION, ALTERATION AND CONSTRUCTION, AS SPECIFIED IN THE FLORIDA FIRE PREVENTION CODE, INCLUDING NFPA 241. THE FIRE SAFETY PROGRAM SHALL INCLUDE AN EMERGENCY RESPONSE PLAN AS WELL AS IDENTIFYING FIRE PREVENTION PRECAUTIONS, SITE AND BUILDING EMERGENCY ACCESS ROUTES, TEMPORARY AND PERMANENT WATER SUPPLIES, BUILDING EGRESS ROUTES, GOOD HOUSEKEEPING PRACTICES, AND FIRE PROTECTION SYSTEM INSTALLATION AND MAINTENANCE. (GAINESVILLE FIRE PREVENTION AND PROTECTION CODE SECTION 10-9 (NFPA 1-10))

CITY OF GAINESVILLE NOTES

1. ALL WORK WITHIN OR ON CITY OWNED OR MAINTAINED FACILITIES, ROW OR EASEMENT WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTION CONDITIONS OF THE CITY OWNED OR MAINTAINED ARE AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. THE CONTRACTOR SHALL PROVIDE THE CITY WITH AN AS-BUILT SURVEY OF THE RETENTION/DETENTION BASIN AND ASSOCIATED STRUCTURES, PREPARED BY A REGISTERED LAND SURVEYOR. THE SURVEY SHALL BE SUBMITTED ON PAPER COPY AND ELECTRONICALLY (PDF AUTODESK CAD) ANY CONSTRUCTION IN THE CITY OF GAINESVILLE PUBLIC ROW WILL REQUIRE PERMITS FROM THE PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK.
2. A MOT PERMIT IS REQUIRED FOR ANY ACTIVITY IN THE ROW THAT EITHER DIRECTLY OR INDIRECTLY AFFECTS VEHICULAR OR PEDESTRIAN TRAFFIC.
3. OPEN CUT RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH FDOT INDEX 307, AND USING THE FLOWABLE FILL OPTION. ALL BACKFILL WITHIN THE CITY ROW SHALL AT A MINIMUM COMPLY WITH FDOT SPECIFICATION 120 AND FDOT STANDARD PLANS 120-001 AND 125-001. ALL REQUIRED BACKFILL WITHIN THE ROW SHALL BE DOCUMENTED WITHIN A FDOT TYPE DENSITY LOG BOOK, COMPILED AND MAINTAINED BY THE CONTRACTOR, AND AVAILABLE FOR REVIEW BY THE PUBLIC WORKS INSPECTOR AT ALL TIMES AND IMMEDIATELY UPON REQUEST. THE LOG BOOK WILL BE PREPARED AND REVIEWED FOR COMPLIANCE TO SPECIFICATIONS BY CITY STAFF PRIOR TO ANY EARTHWORK STARTING. IT WILL CONTAIN PROCTORS, LBRS, SOIL CLASSIFICATIONS, ETC AS REQUIRED BY SPECIFICATION. THE LOG BOOK SHALL BE SIGNED AND SEALED BY THE ENGINEER AND TURNED OVER TO THE PW DEPARTMENT FOR REVIEW AND ACCEPTANCE AS PART OF THE CLOSEOUT DOCUMENTS.
4. NO PRIVATE INFRASTRUCTURE INCLUDING BUT NOT LIMITED TO FOOTERS, BEAMS, PADS, STRUCTURAL COMPONENTS, CONDUITS, PIPING, WIRING OR SIMILAR WILL BE PERMITTED WITHIN THE ROW. PRIOR TO ANY PLACEMENT OF SUCH COMPONENTS THE ROW WILL BE REQUIRED TO BE STAKED BY A SURVEYOR LICENSED IN THE STATE OF FLORIDA AND LAYOUT OF THE UNDERGROUND INFRASTRUCTURE SHALL BE INSPECTED AND VERIFIED TO BE CLEAR OF ANY ENCROACHMENTS BY PUBLIC WORKS INSPECTION STAFF. FAILURE TO DO SO SHALL BE DEEMED A "UNPERMITTED" AS DESCRIBED AND REGULATED BY OBSTRUCTION OF RIGHT-OF-WAY: CITY OF GAINESVILLE CODE OF ORDINANCES, ARTICLE V. - PUBLIC RIGHTS-OF-WAY OBSTRUCTIONS AND / OR OBSTRUCTION OF RIGHT-OF-WAY: CITY OF GAINESVILLE CODE OF ORDINANCES, ARTICLE V. - PUBLIC RIGHTS-OF-WAY OBSTRUCTIONS.
5. ALL REQUIRED BACKFILL WITHIN THE ROW SHALL BE DOCUMENTED WITHIN A FDOT TYPE DENSITY LOG BOOK, TECHNICIAN MUST HAVE AT LEAST EARTHWORK LEVEL 1, COMPILED AND MAINTAINED BY THE CONTRACTOR, AND AVAILABLE FOR REVIEW BY THE PUBLIC WORKS INSPECTOR AT ALL TIMES AND IMMEDIATELY UPON REQUEST. THE LOG BOOK WILL BE PREPARED AND REVIEWED FOR COMPLIANCE TO SPECIFICATIONS BY CITY STAFF PRIOR TO ANY EARTHWORK STARTING. IT WILL CONTAIN PROCTORS, LBRS, SOIL CLASSIFICATIONS, ETC AS REQUIRED BY SPECIFICATION. THE LOG BOOK SHALL BE SIGNED AND SEALED BY THE ENGINEER AND TURNED OVER TO THE PW DEPARTMENT FOR REVIEW AND ACCEPTANCE AS PART OF THE CLOSEOUT DOCUMENTS
6. IF ANY DEWATERING WILL NEED TO LEAVE THE SITE AT ANY TIME MUST BE APPROVED BY PW PRIOR TO STARTING
7. ALL CONCRETE POURED IN THE CITY ROW MUST BE AN FDOT APPROVED 3000 PSI MIX. ALL CONCRETE MIX DESIGNS WILL BE SUBMITTED TO PW PRIOR TO PLACEMENT FOR REVIEW.

CONSTRUCTION SEQUENCE AND POLLUTION REDUCTION NOTES

I. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES

1. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION FENCING SHALL BE INSTALLED AND ALL EXISTING STORM DRAINAGE SWALE AND INLETS SHALL BE PROTECTED IN ACCORDANCE WITH FDOT INDEX NO. 102 AND THESE PLANS.
2. THE CONSTRUCTION SERVICE ENTRANCE SHALL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF-SITE TRACKING OF SEDIMENTS.
3. ONLY THE AREA COMPRISING THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED OF UNWANTED VEGETATION.
4. THE PROPOSED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CONSTRUCTED.
5. IF SUITABLE, THE EXCAVATED SOIL FROM THE FACILITY(S) MAY BE USED AS FILL FOR ON-SITE GRADING THAT IS DEPICTED IN THESE CONSTRUCTION PLANS. THE CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL ON-SITE OR OFF-SITE TO A PERMITTED LOCATION.
6. THE REMAINING PORTION OF THE SITE THAT IS TREATED BY THE CONSTRUCTED STORMWATER MANAGEMENT FACILITY(S) SHALL BE CLEARED AND GRUBBED.
7. THE PERMANENT ROADWAYS/DRIVEWAYS SHALL BE ROUGHLY GRADED.
8. THE UNDERGROUND UTILITIES INFRASTRUCTURE AND STORMWATER PIPING SYSTEM SHALL BE INSTALLED. ANY DE-WATERING (PUMPED) SHALL BE DIVERTED TO THE ASSOCIATED STORMWATER MANAGEMENT FACILITY(S).
9. THE PERMANENT ROADWAY/DRIVEWAY SUBGRADE SHALL BE COMPACTED, A LIMEROCK BASE SHALL BE ESTABLISHED, AND THEN FOLLOWED BY AN OVERLAY OF ASPHALT.
10. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER PIPING SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
11. ALL REMAINING DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED AND/OR LANDSCAPED ACCORDING TO THESE PLANS. GRASS SEEDING RATES AND MIXTURES SHALL BE PER THE FDOT INDEX NO. 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

II. CONTROLS TO REDUCE POLLUTION

AS OUTLINED IN THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) PERMIT, ALL CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A MANNER AS TO NOT VIOLATE STATE WATER QUALITY STANDARDS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED TO RETAIN SEDIMENT ON-SITE. IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED OTHER THAN WHAT IS SPECIFIED IN THE PLANS, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES. THESE MEASURES MUST BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE AND UNTIL AS DIRECTED BY THESE PLANS.

WALKER ARCHITECTS

APPROVED

Architects

DATE: 06/07/24

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Boardwalk Repair - Alfred Ring Park

TRAVIS J. HASTAY

Travis J. Hastay
State of Florida, Professional Engineer, License No. 84295

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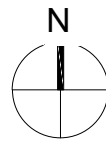
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CONSTRUCTION DOCUMENTS	04/03/2024

REVISION	DESCRIPTION	DATE
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Alfred A Ring Park Improvements

1801 NW 23rd Blvd
Gainesville, FL 32605

KEY PLAN



DRAWING TITLE:

GENERAL NOTES

PROJECT NO.:	23-0485	DRAWN BY:	KJR
		CHECKED BY:	TJH

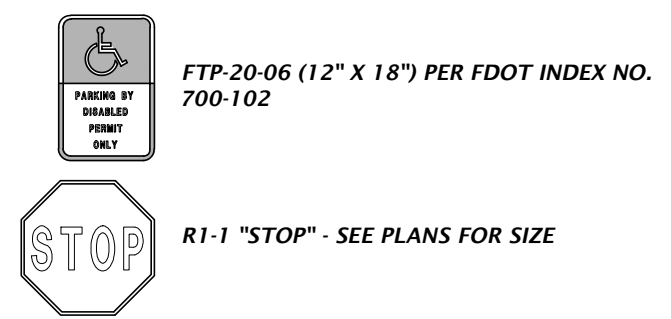
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ABBREVIATIONS

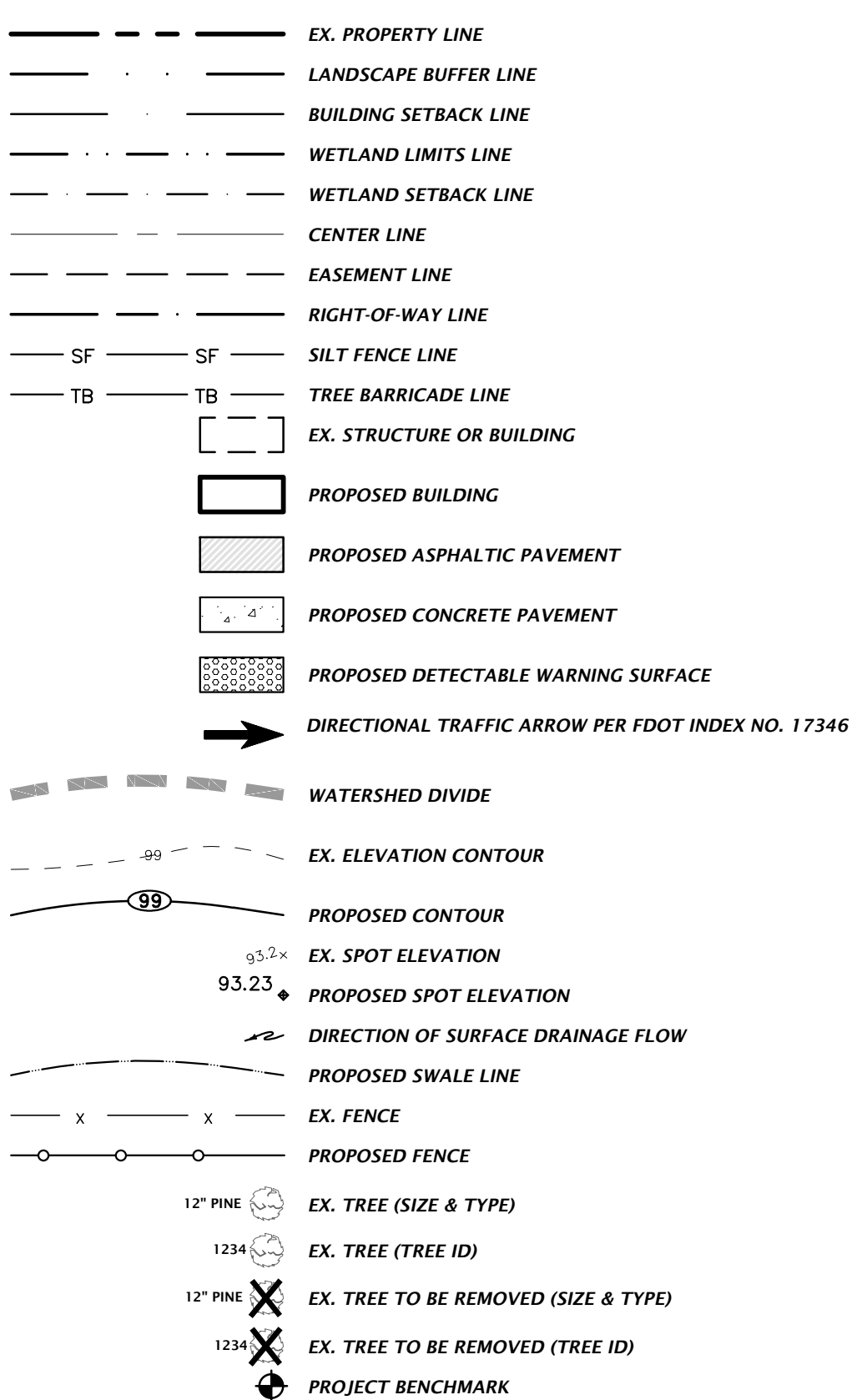
SYMBOLS	N
• FEET (WHEN USED WITH LENGTHS)	N NORTH
° DEGREES	N-E NORTHING - EASTING
′ MINUTES (WHEN USED WITH ANGLES)	N/A NOT APPLICABLE
″ SECONDS	NAVD NORTH AMERICAN VERTICAL DATUM OF 1988
% PERCENT	NGVD NATIONAL GEODETIC VERTICAL DATUM OF 1929
@ AT	NO NUMBER
	NPDES NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
	NTS NOT TO SCALE
	O ON CENTER
	OC OVERHEAD WIRE
	ORB OFFICIAL RECORDS BOOK
	OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
	P
	PAVT PAVEMENT
	PC POINT OF CURVATURE
	PCC POINT OF COMPOUND CURVE
	PE POLYETHYLENE
	PERF PERFORATED
	PROP PROPOSED
	PT POINT OF TANGENCY
	PVC POLYVINYL CHLORIDE
	PUE PUBLIC UTILITY EASEMENT
	PVI POINT OF VERTICAL INTERSECTION
	R
	R RADIUS
	RCP REINFORCED CONCRETE PIPE
	RPM RAISED REFLECTIVE PAVEMENT MARKER
	R2Z REDUCED PRESSURE ZONE
	RT RIGHT
	RWM RECLAIMED WATER MAIN
	R/W RIGHT-OF-WAY
	S
	SAN SANITARY
	SHWE SEASONAL HIGH WATER ELEVATION
	SF SILT FENCE
	SL SLOPE
	SP SUPERPAVE
	SR STATE ROAD
	SS SANITARY SEWER
	ST STORM
	STA STATION
	STD STANDARD
	T
	TB TREE BARRICADE
	TCE TEMPORARY CONSTRUCTION EASEMENT
	TEMP TEMPORARY
	TOB TOP OF BANK
	TV TELEVISION
	TW TOP OF WALL
	TYP TYPICAL
	U
	USF UNITED STATES FOUNDRY
	USGS UNITED STATES GEOLOGICAL SURVEY
	UTIL UTILITY
	V
	V VERTICAL
	VC VERTICAL CURVE
	VCP VITRIFIED CLAY PIPE
	W
	W WEST
	W WATER
	W/ WITH
	WM WATER MAIN
	WW WASTEWATER
	WWF WELDED WIRE FABRIC
	F
	FAC FLORIDA ADMINISTRATIVE CODE
	FBR FLORIDA BEARING RATIO
	FC FRICTION COEFFICIENT
	FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
	FDOT FLORIDA DEPARTMENT OF TRANSPORTATION
	FTE FINISHED FLOOR ELEVATION
	FH FIRE HYDRANT
	FHWA FLORIDA HIGHWAY ADMINISTRATION
	FIG FIGURE
	FM FORCE MAIN
	FOC FACE OF CURB
	FS FLORIDA STATUTES
	FT FEET
	G
	GALV GALVANIZED
	GM GAS MAIN
	GV GATE VALVE
	H
	HDPE HIGH DENSITY POLYETHYLENE
	HP HIGH POINT
	I
	ID IDENTIFICATION
	INV INVERT
	INV EL INVERT ELEVATION
	IP IRON PIPE
	K
	K VERTICAL CURVE RATE OF CHANGE
	L
	L LENGTH
	LA LANDSCAPE ARCHITECT
	LBR LIMESTONE BEARING RATIO
	LDR LAND DEVELOPMENT REGULATION
	LF LINEAR FEET
	LP LOW POINT
	LT LEFT
	M
	MAX MAXIMUM
	ME MATCH EXISTING
	MH MANHOLE
	MIN MINIMUM
	MISC MISCELLANEOUS
	MJ MECHANICAL JOINT
	MUTCD MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

SIGNAGE

SIGNS ARE PER FDOT SPECIFICATIONS OR PER MUTCD. SIGN POSTS AND INSTALLATION SHALL BE PER FDOT INDEX NO. 700-010. SIGN PLACEMENT SHALL BE PER FDOT INDEX NO. 700-101.

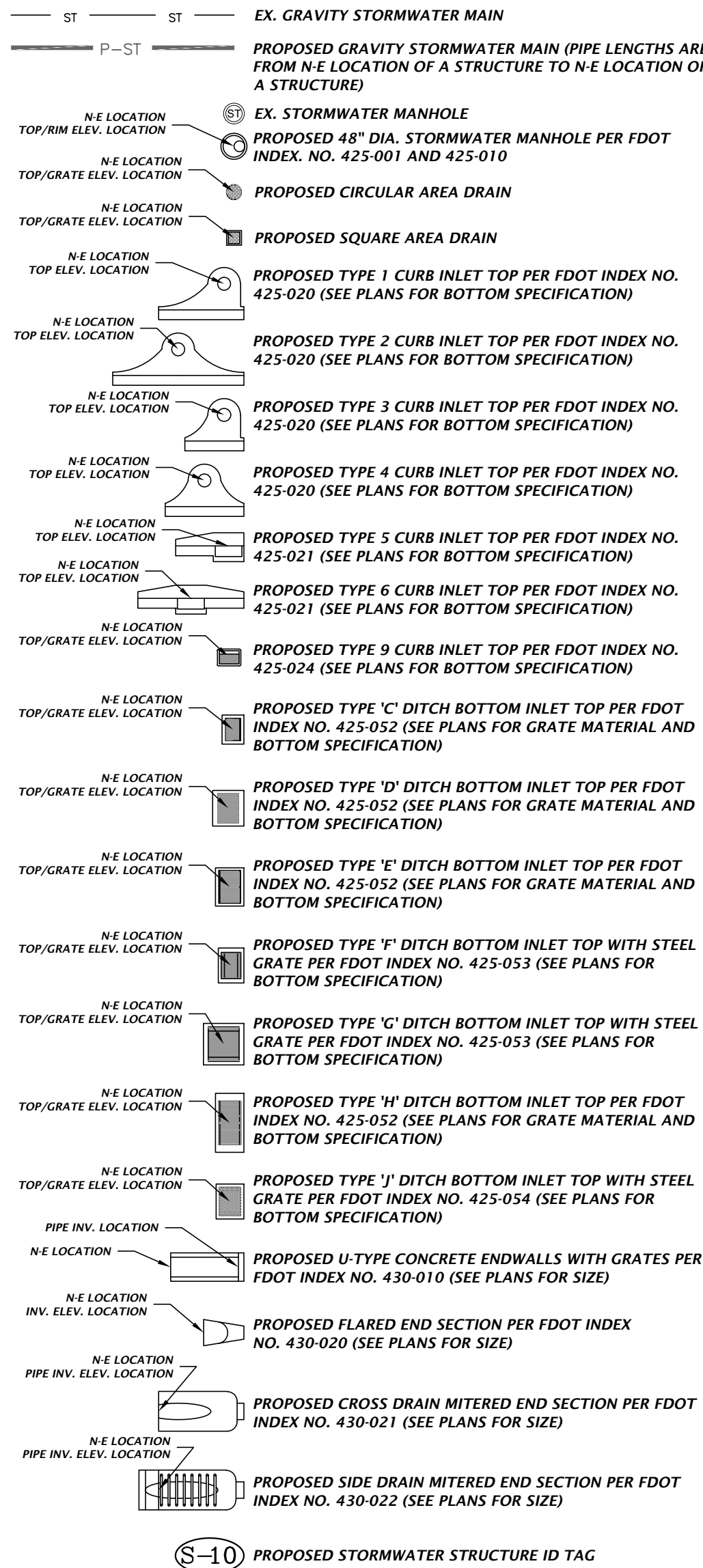


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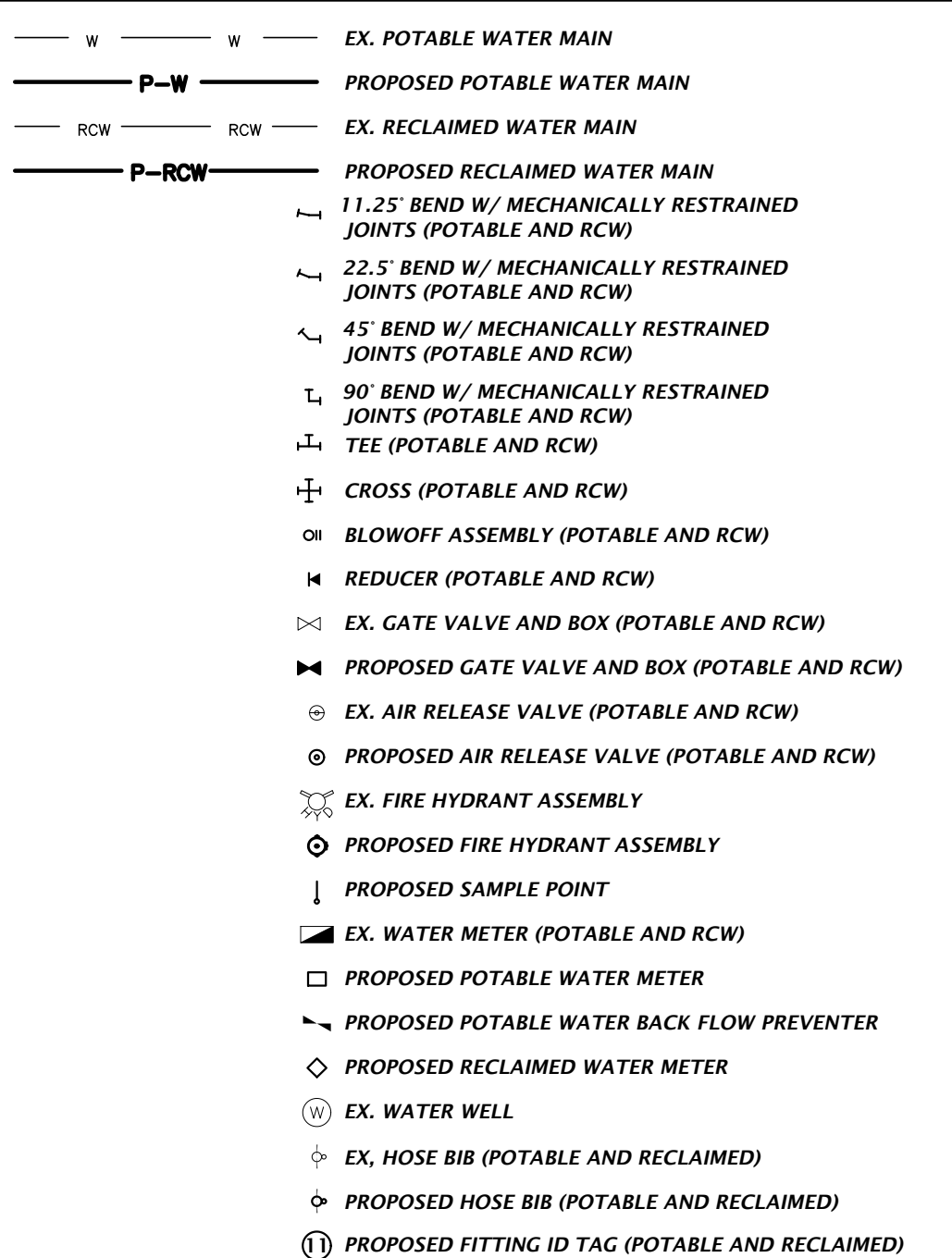


STORMWATER

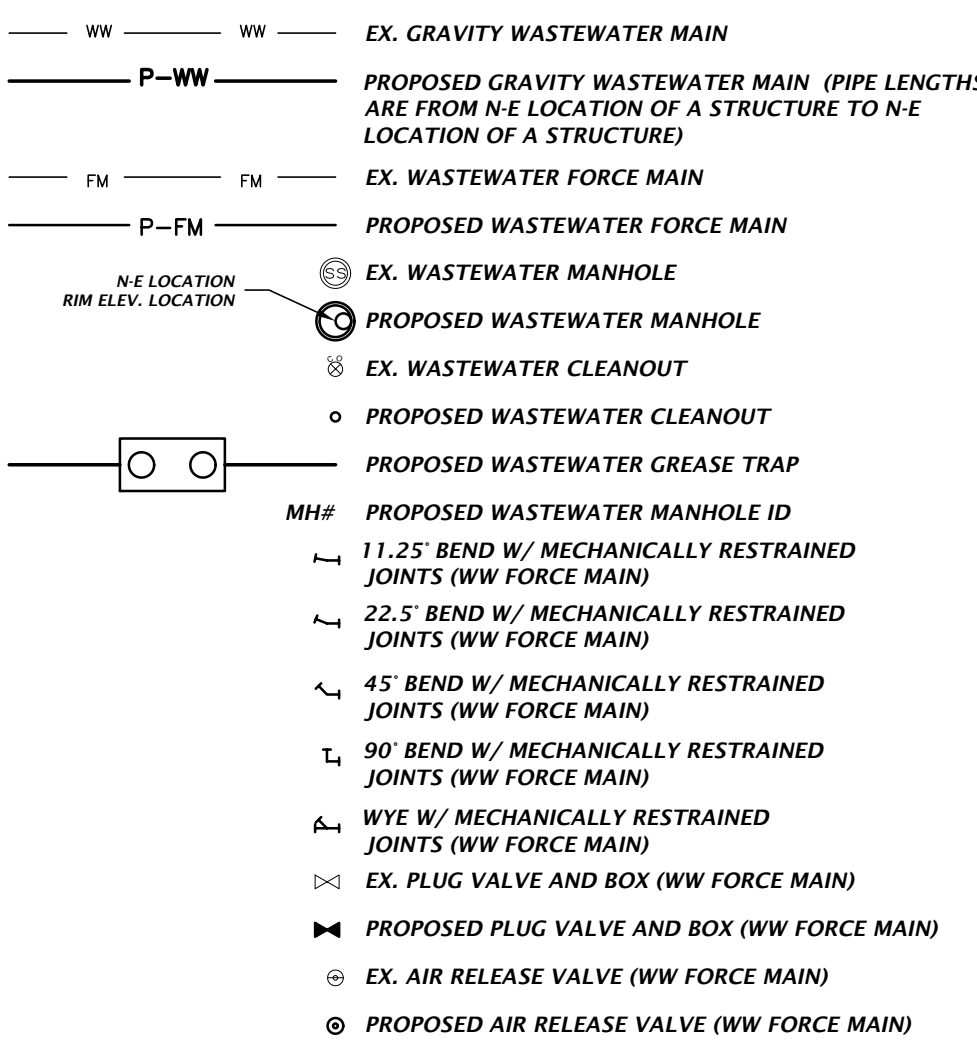
THE PROPOSED STORMWATER STRUCTURES DEPICTED BELOW ARE DRAWN PER FDOT SPECIFICATIONS AND TO SCALE WHEN SHOWN ON THIS SHEET.



POTABLE AND RECLAIMED WATER

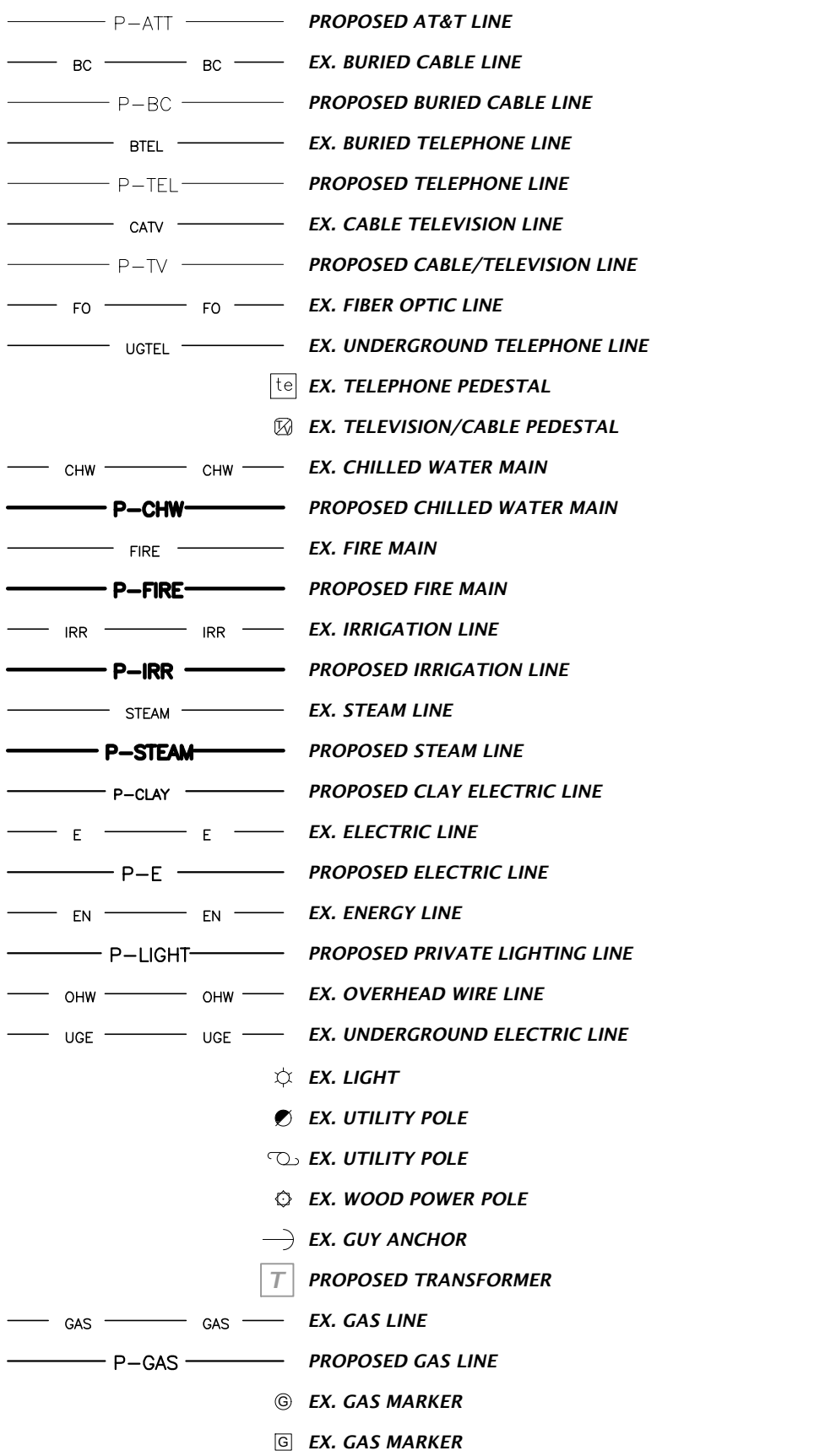


WASTEWATER



MISCELLANEOUS UTILITIES

THE PROPOSED UTILITIES BELOW ARE DESIGN BY OTHERS AND ARE DEPICTED FOR COORDINATION PURPOSES ONLY. REFER TO PLANS BY OTHERS FOR EXACT LOCATIONS, DIMENSION, AND DETAILS.



NOTES:
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TRAVIS J. HASLEY

Travis J. Hasley
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REVISION	DESCRIPTION	DATE

Alfred A Ring Park
Improvements

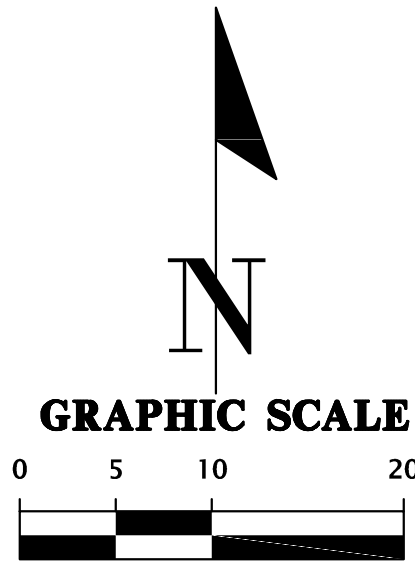
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Gainesville, FL 32605

KEY PLAN

DRAWING TITLE:
LEGEND

PROJECT NO.: 23-0485
DRAWN BY: KJR
CHECKED BY: TJH

C0.11



LEGEND:

- = EX. TREE TO BE REMOVED
- = EX. BUILDING AND CONCRETE SIDEWALK TO BE REMOVED
- = EX. WOOD SURFACE TO BE REMOVED

NOTE:

- CONTRACTOR SHALL HAVE ALL SILT FENCE & TREE BARRICADES INSTALLED PRIOR TO ANY SITE WORK.
- CONTRACTOR SHALL REPAIR/RESTORE ANY DISTURBED AREAS TO EXISTING OR BETTER CONDITION.
- CONTRACTOR TO COORDINATE WITH DOH OR FDEP FOR PROPER REMOVAL AND DISPOSAL OF ANY EX. ONSITE SEPTIC SYSTEMS OR WELL SYSTEMS.
- CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING AROUND EXISTING ABOVE AND UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANY AS NEEDED TO SUPPORT POLES DURING CONSTRUCTION.



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TRAVIS J. HASTAY

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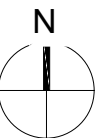
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Alfred A Ring Park Improvements

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KEY PLAN



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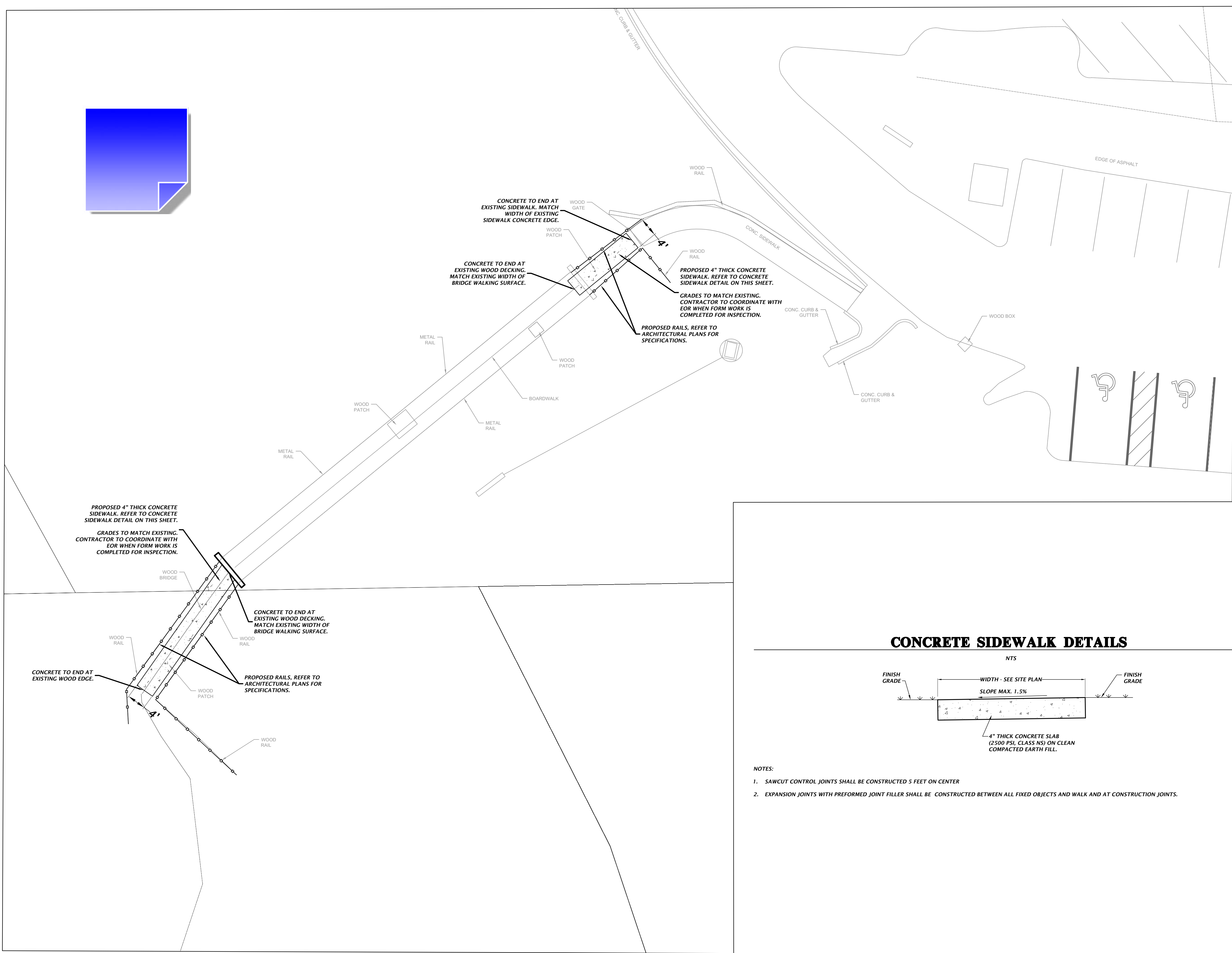
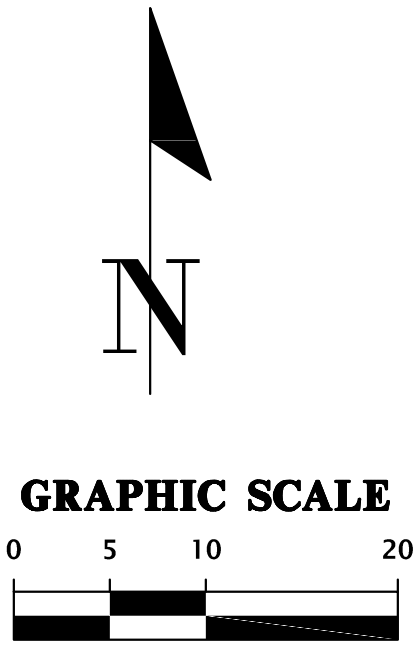
DEMOLITION PLAN

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CHECKED BY: TJH

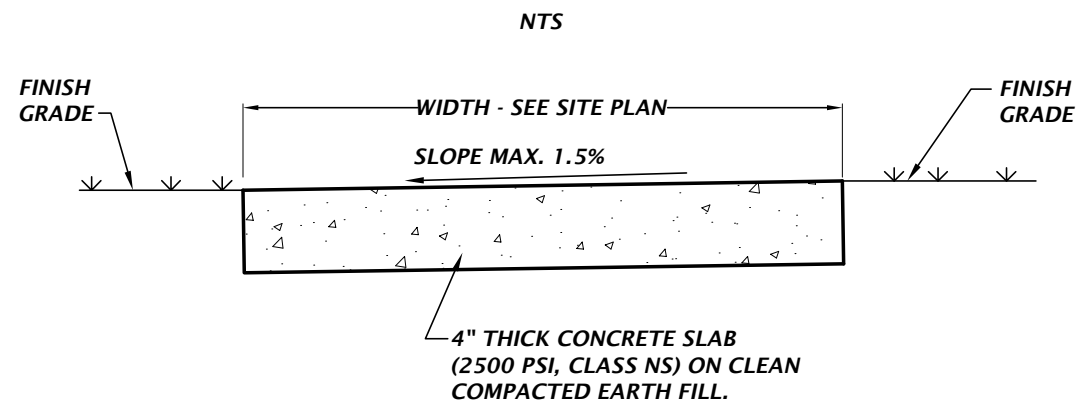
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CONCRETE SIDEWALK DETAILS



- NOTES:
- SAWCUT CONTROL JOINTS SHALL BE CONSTRUCTED 5 FEET ON CENTER
 - EXPANSION JOINTS WITH PREFORMED JOINT FILLER SHALL BE CONSTRUCTED BETWEEN ALL FIXED OBJECTS AND WALK AND AT CONSTRUCTION JOINTS.



DATE: 06/07/24
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Alfred Ring Park
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Engineer, License No. 84295
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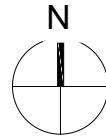
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Alfred A Ring Park Improvements

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KEY PLAN



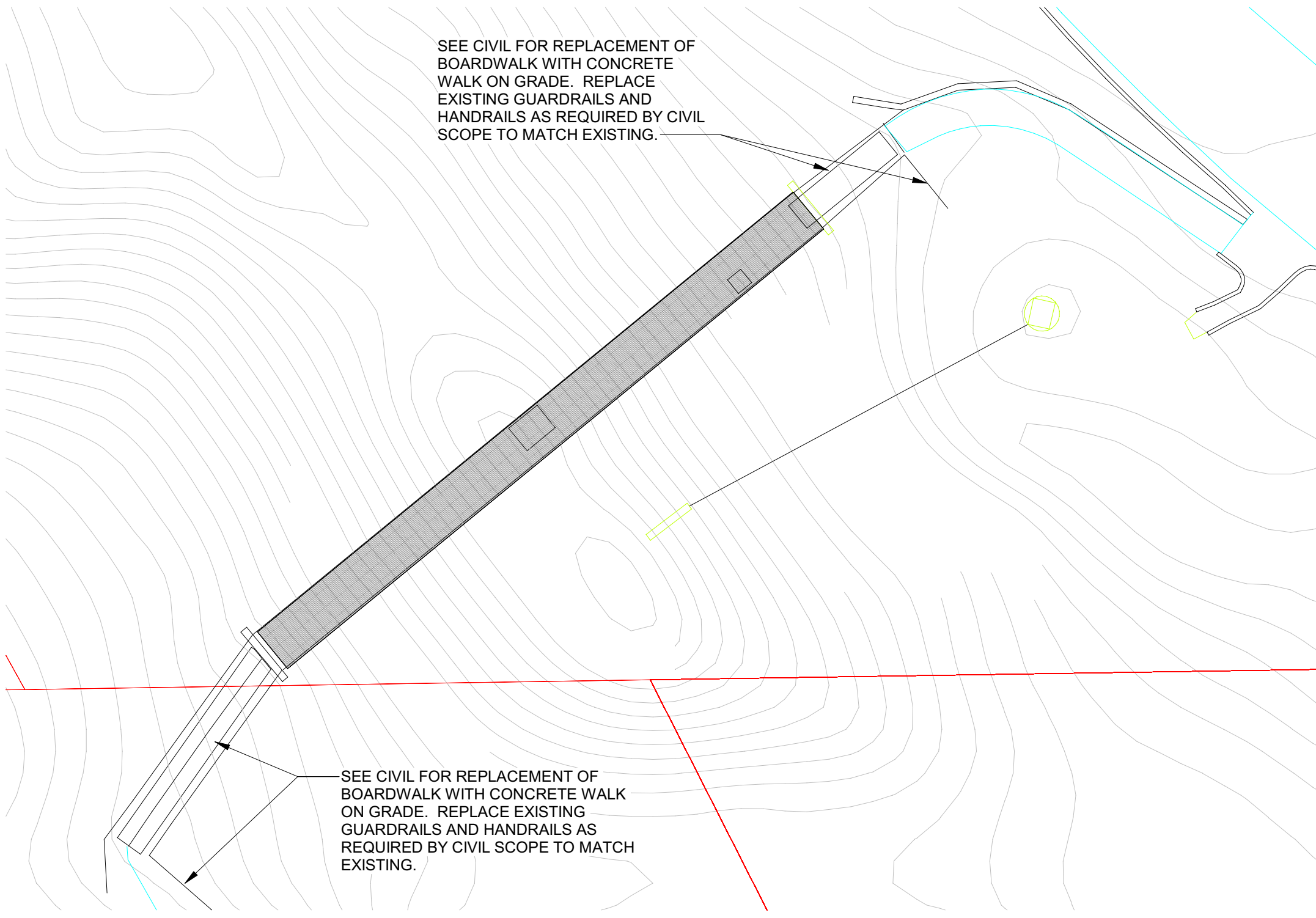
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PROJECT NO.: 23-0485 DRAWN BY: KJR
CHECKED BY: TJH

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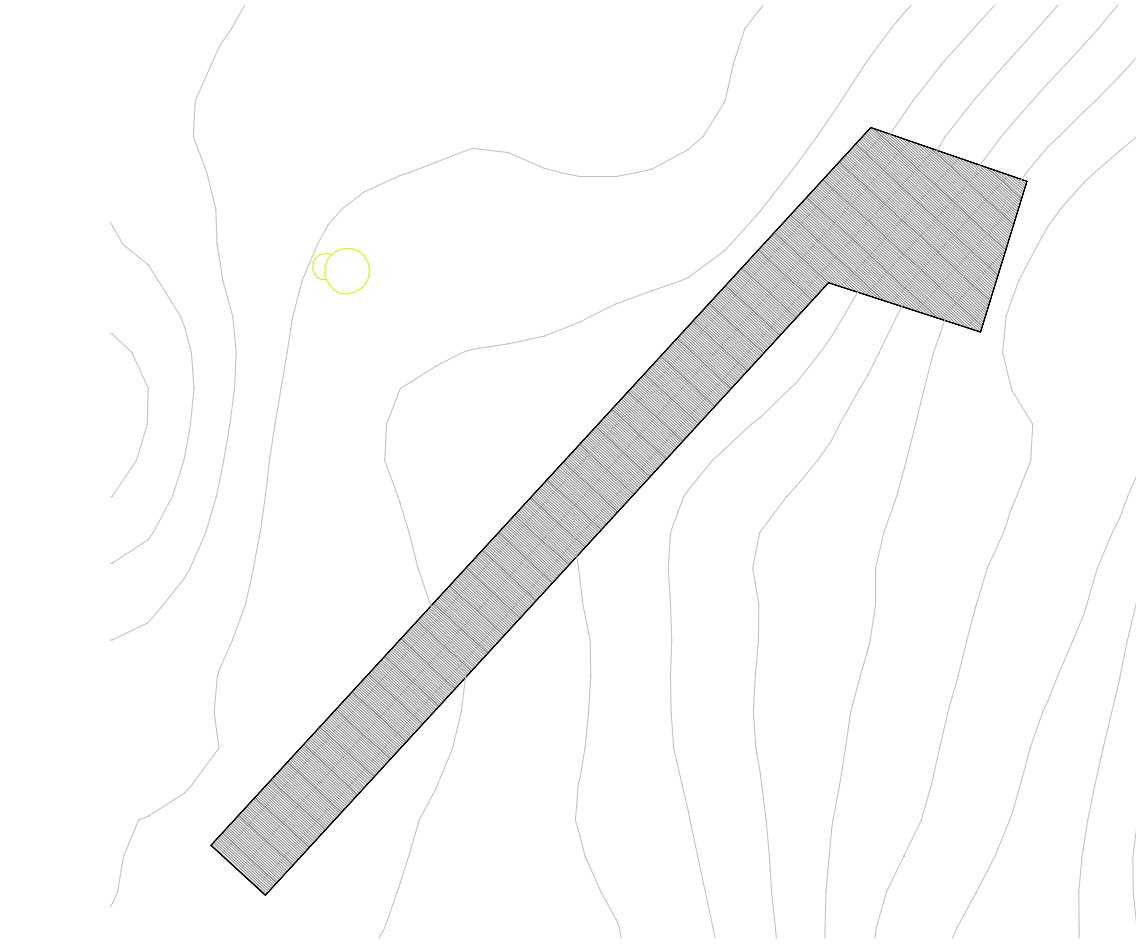
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7 NORTH TRAILHEAD BRIDGE
1/16" = 1'-0"

BOARDWALK SUMMARY:

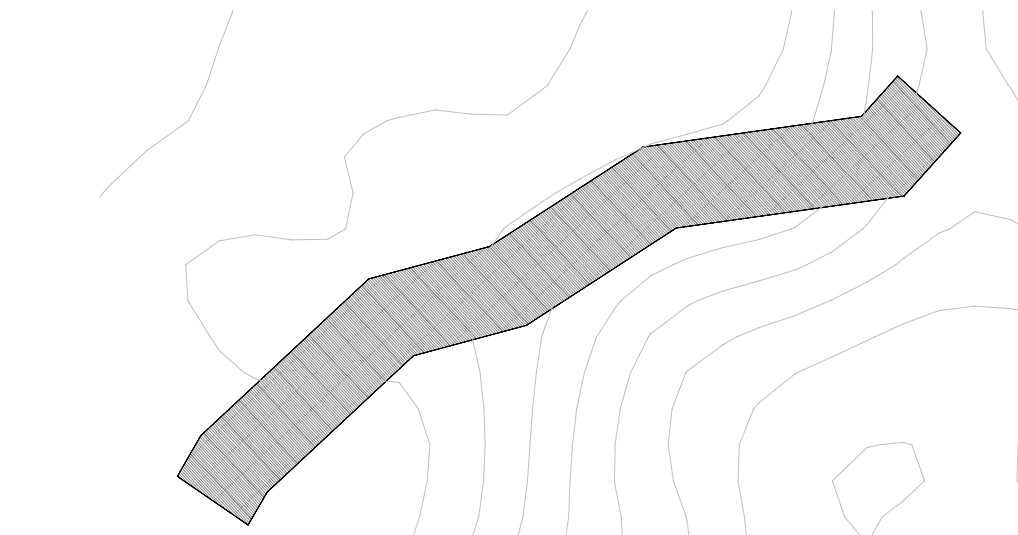
APPROXIMATE AREA OF BOARDWALK DECK = 615 SF
APPROXIMATE LENGTH OF RAILING ON BRIDGE = 190 LF
APPROXIMATE LENGTH OF RAILING ON GRADE = 125 LF



5 BOARDWALK - 1 - OBSERVATION POINT
1/16" = 1'-0"

BOARDWALK SUMMARY:

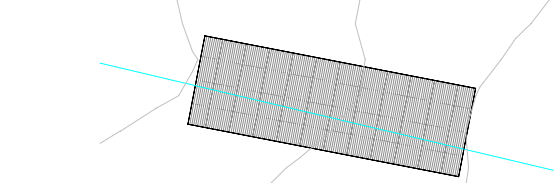
APPROXIMATE AREA OF BOARDWALK DECK = 645 SF
APPROXIMATE LENGTH OF RAILING = 192 LF



4 BOARDWALK - 2
1/16" = 1'-0"

BOARDWALK SUMMARY:

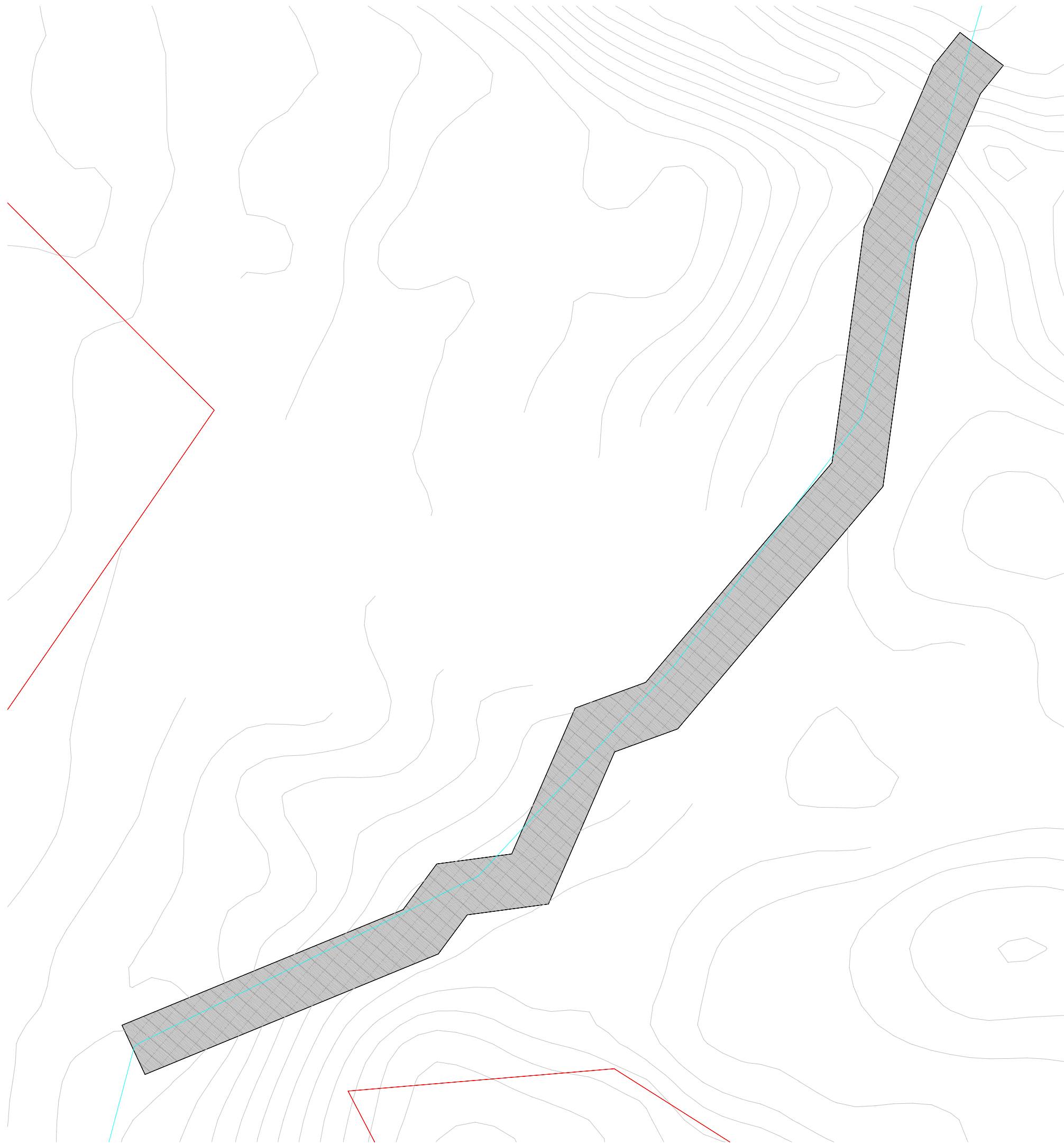
APPROXIMATE AREA OF BOARDWALK DECK = 510 SF
APPROXIMATE LENGTH OF RAILING = 144 LF



3 BOARDWALK - 2A
1/16" = 1'-0"

BOARDWALK SUMMARY:

APPROXIMATE AREA OF BOARDWALK DECK = 173 SF
APPROXIMATE LENGTH OF RAILING = N/A



2 BOARDWALK - 3
1/16" = 1'-0"

BOARDWALK SUMMARY:

APPROXIMATE AREA OF BOARDWALK DECK = 1926 SF
APPROXIMATE LENGTH OF RAILING = 455 LF

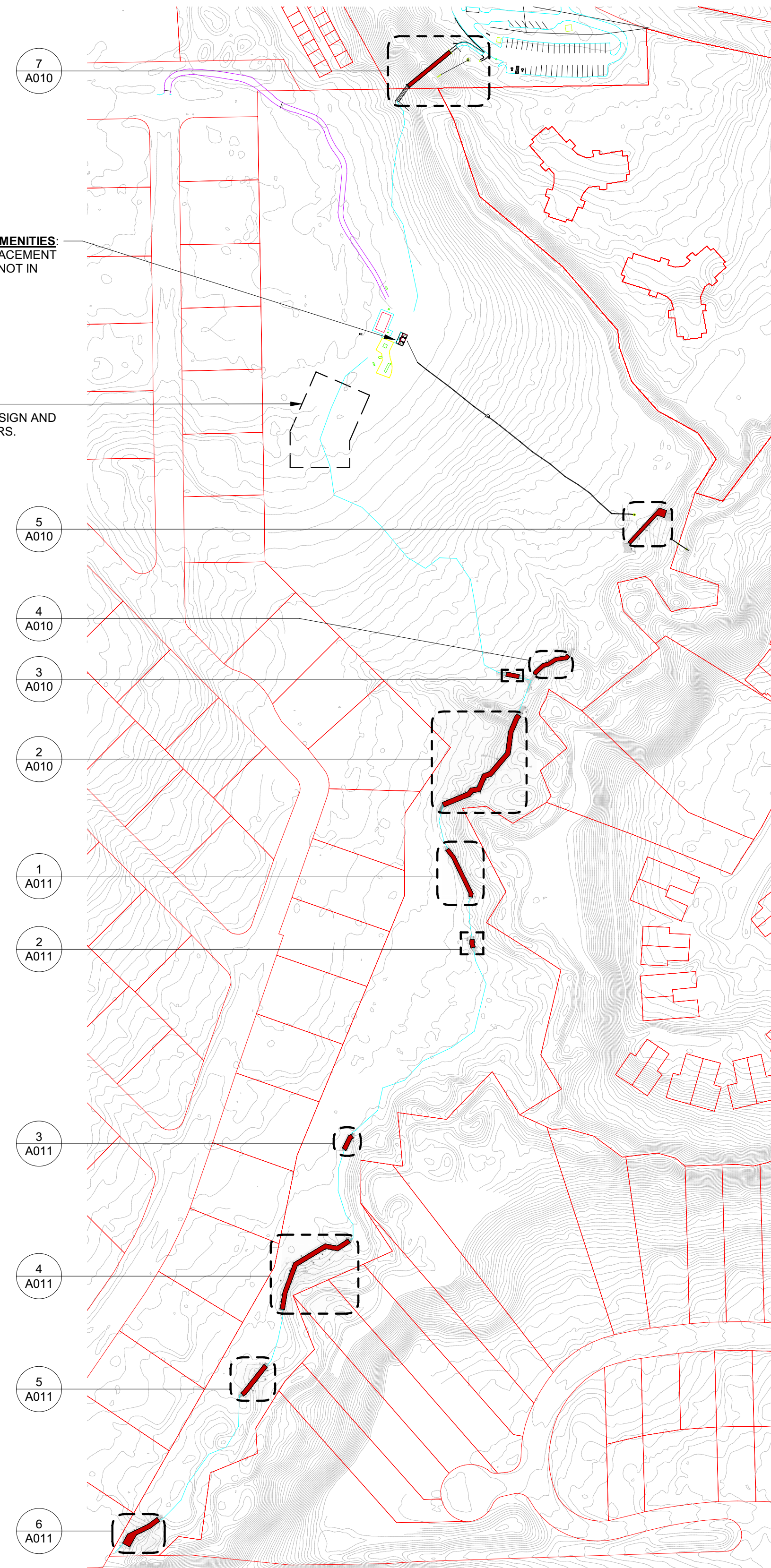
BOARDWALK REPLACEMENT NOTES

1. REMOVE ALL WALKING SURFACE BOARDS AT ALL BOARDWALKS, INCLUDING NORTH TRAILHEAD BRIDGE AND SOUTH TRAILHEAD ENTRYWAY.
2. REMOVE ALL TOP HANDRAIL BOARDS AT ALL BOARDWALKS.
3. INSPECT STRUCTURAL MEMBERS AT ALL BOARDWALKS FOR DAMAGE AND DECAY TO IDENTIFY ELEMENTS THAT NEED TO BE REPLACED.
4. VERIFY THAT MAXIMUM SPAN OF DECK BETWEEN EXISTING STRUCTURAL MEMBERS DOES NOT EXCEED 24' O.C.
5. REMOVE AND REPLACE DAMAGED STRUCTURAL MEMBERS IN KIND.
6. INSTALL NEW "WEARDECK" WALKING SURFACE BOARDS FROM OWENS CORNING OR COMPARABLE MATERIAL. (USE 2x6 OR 2x8 BOARD SIZES BASED ON MATCHING EXISTING CONDITIONS)
7. INSTALL NEW "WEARDECK" TOP HANDRAIL BOARDS FROM OWENS CORNING OR COMPARABLE MATERIAL. (USE 2x6 BOARDS TYPICAL)
8. SEE SHEET A011 FOR TYPICAL BOARDWALK SECTION.
9. REFER ALSO TO CIVIL DRAWINGS FOR CONCRETE SIDEWALK SCOPE.

BOARDWALK AREAS AND RAILING LINEAR FEET QUANTITIES ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF ALL REQUIRED MATERIAL QUANTITIES.

RESTROOM AND PARK AMMENITIES:
FUTURE RESTROOM REPLACEMENT AND AMENITY UPGRADES NOT IN CONTRACT

WILDFLOWER GARDEN:
WILDFLOWER GARDEN DESIGN AND INSTALLATION IS BY OTHERS.



1 OVERALL SITE PLAN
1" = 160'-0"

GAINEVILLE APPROVED Walker Architects
06/07/24
B24-000436 -
Boardwalk Repair - Alfred A Ring Park
Gainesville, FL 32605
2035 NW 13TH STREET, SUITE 200, GAINESVILLE, FL 32609
T: 352.672.6448 www.walker-arch.com FAX 352.600.2009

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SUBMITTAL:		ISSUE DATE:
CONSTRUCTION DOCUMENTS		04/03/2024
REVISION	DESCRIPTION	DATE

Alfred A Ring Park Improvements
1801 NW 23rd Blvd
Gainesville, FL 32605

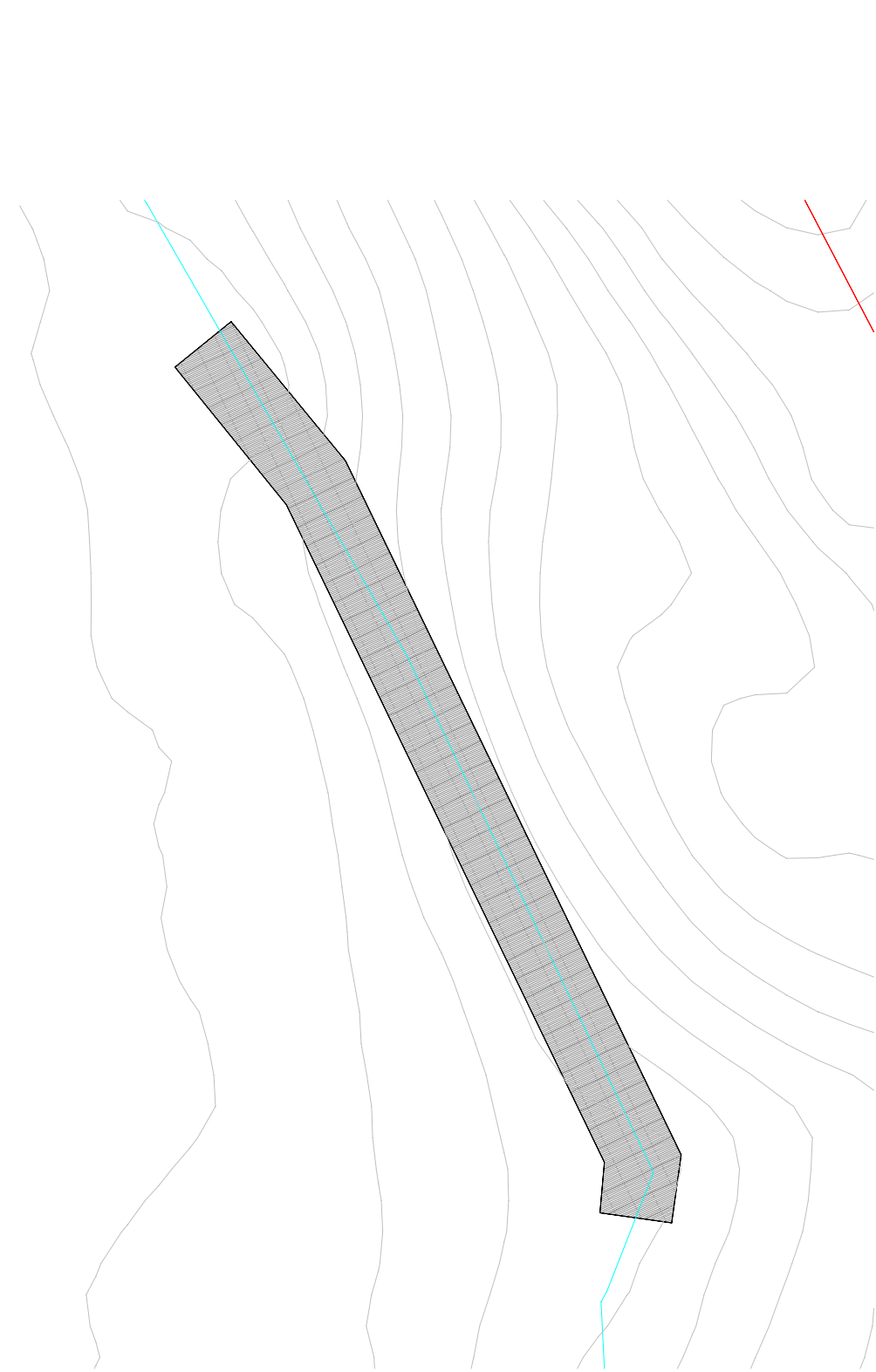
KEY PLAN

DRAWING TITLE:

OVERALL SITE PLAN AND ENLARGED BOARDWALK PLANS

PROJECT NO.: 23049 DRAWN BY: Author
CHECKED BY: Checker

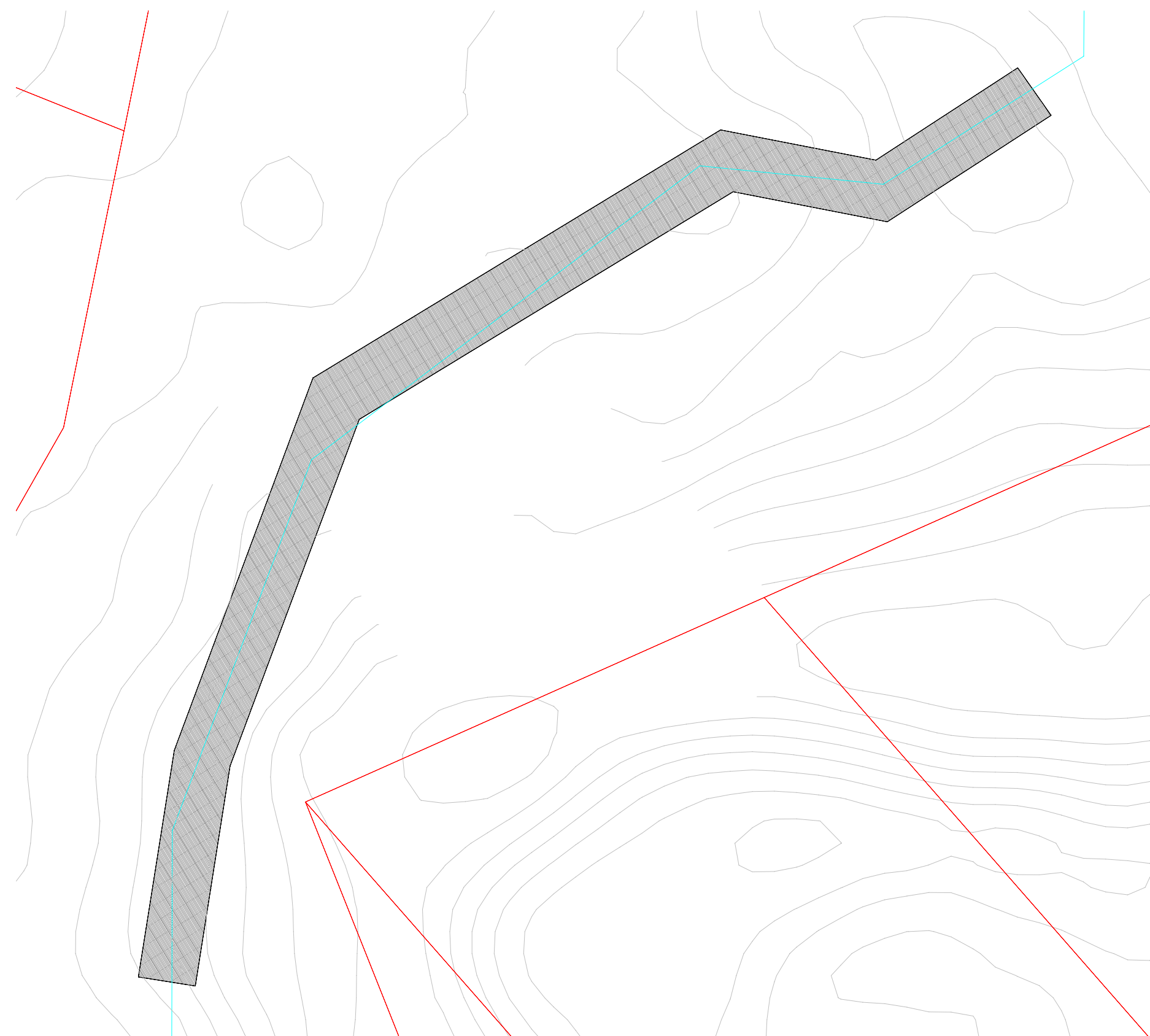
A010



1 BOARDWALK - 4
1/16" = 1'-0"

BOARDWALK SUMMARY:

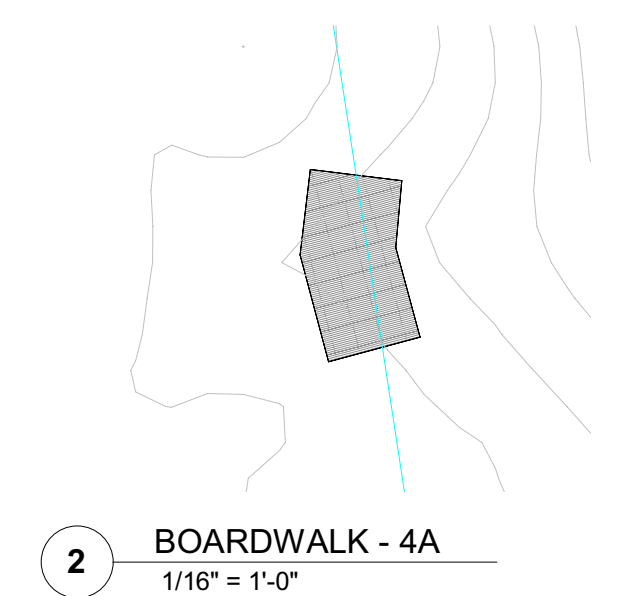
APPROXIMATE AREA OF BOARDWALK DECK = 657 SF
APPROXIMATE LENGTH OF RAILING = 190 LF



4 BOARDWALK - 5
1/16" = 1'-0"

BOARDWALK SUMMARY:

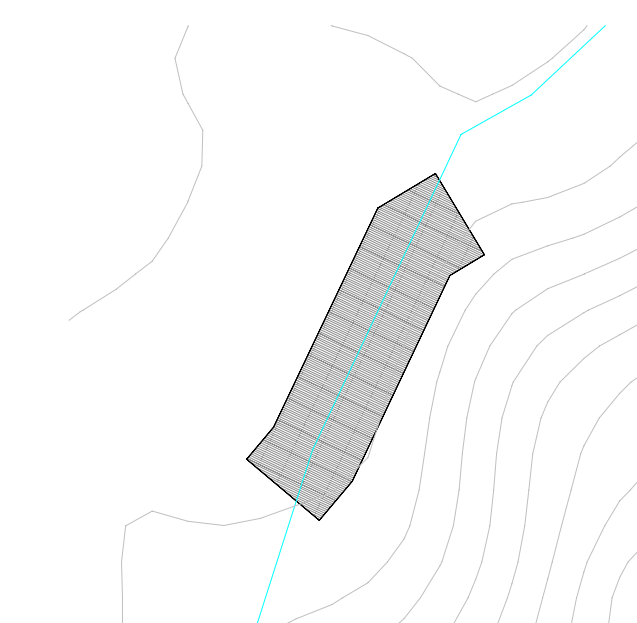
APPROXIMATE AREA OF BOARDWALK DECK = 1518 SF
APPROXIMATE LENGTH OF RAILING = 386 LF



2 BOARDWALK - 4A
1/16" = 1'-0"

BOARDWALK SUMMARY:

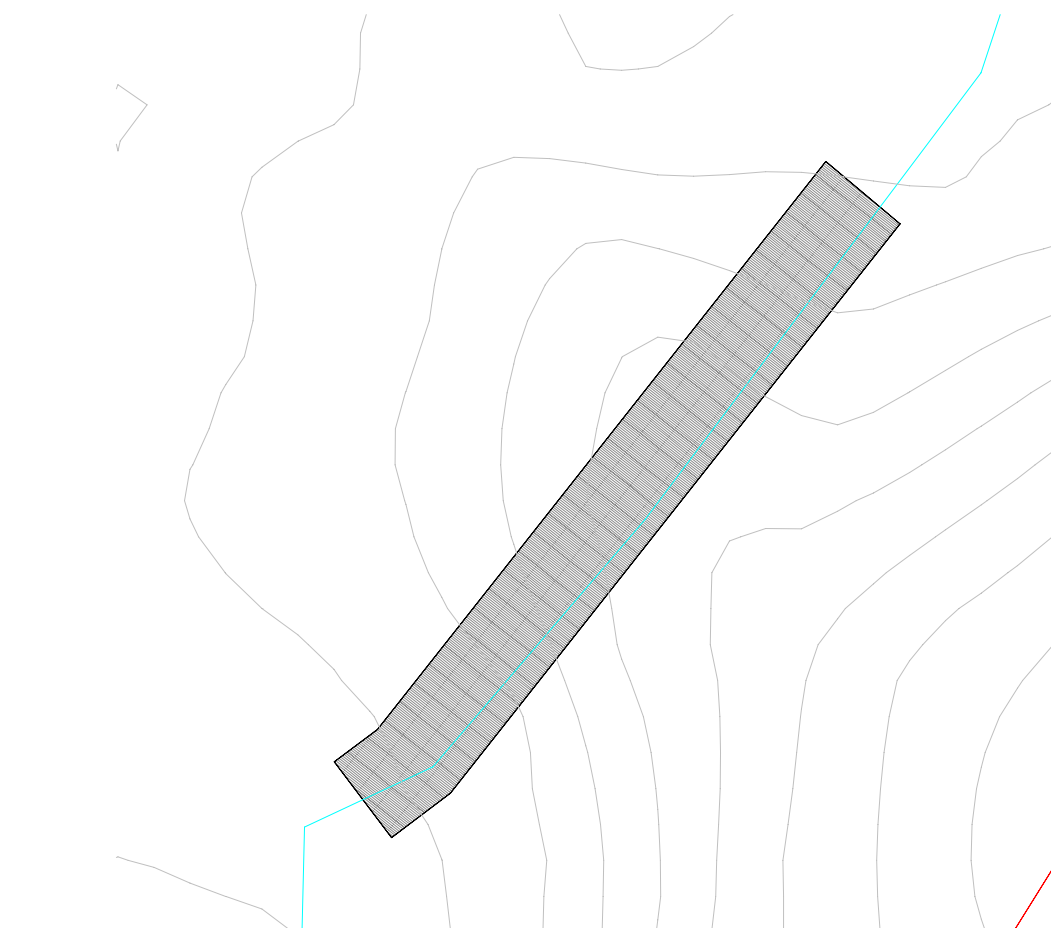
APPROXIMATE AREA OF BOARDWALK DECK = 116 SF
APPROXIMATE LENGTH OF RAILING = N/A



3 BOARDWALK - 4B
1/16" = 1'-0"

BOARDWALK SUMMARY:

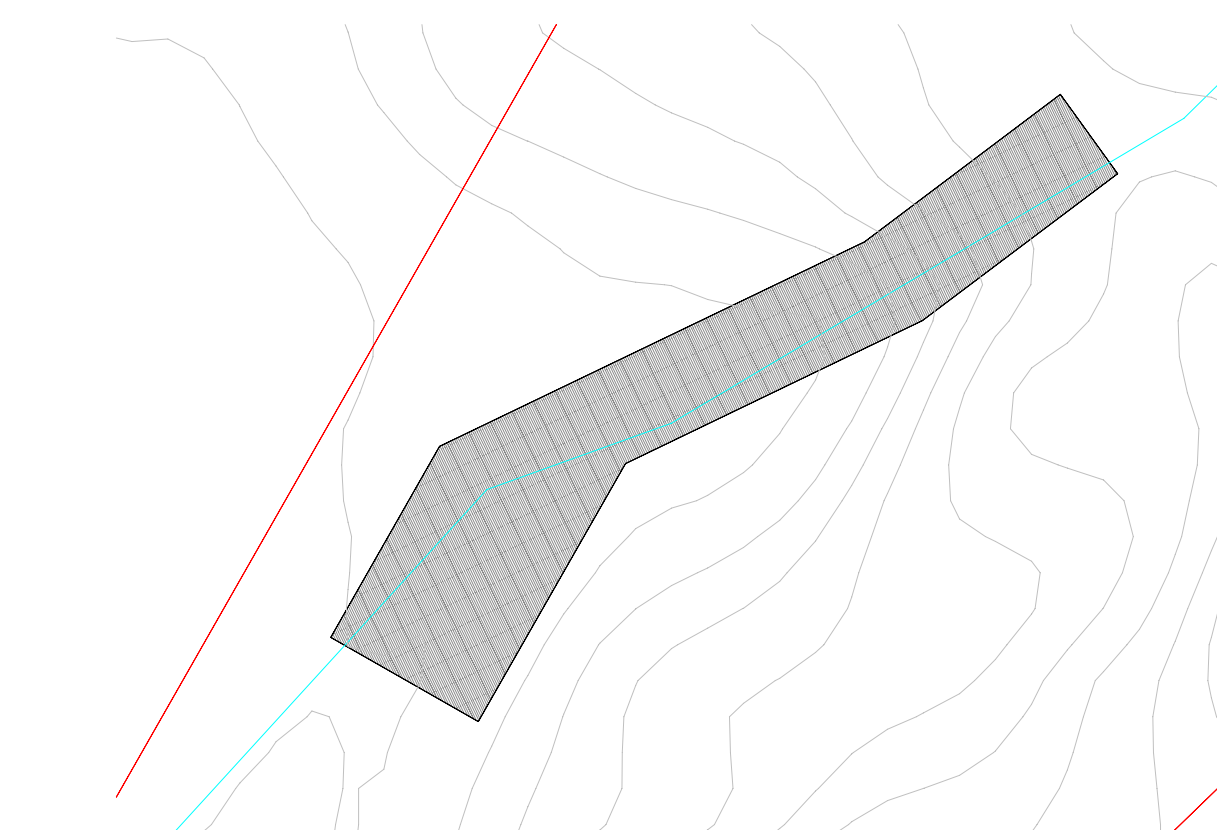
APPROXIMATE AREA OF BOARDWALK DECK = 220 SF
APPROXIMATE LENGTH OF RAILING = N/A



5 BOARDWALK - 6
1/16" = 1'-0"

BOARDWALK SUMMARY:

APPROXIMATE AREA OF BOARDWALK DECK = 530 SF
APPROXIMATE LENGTH OF RAILING = 135 LF



6 BOARDWALK - 7 - SOUTH TRAILHEAD
1/16" = 1'-0"

BOARDWALK SUMMARY:

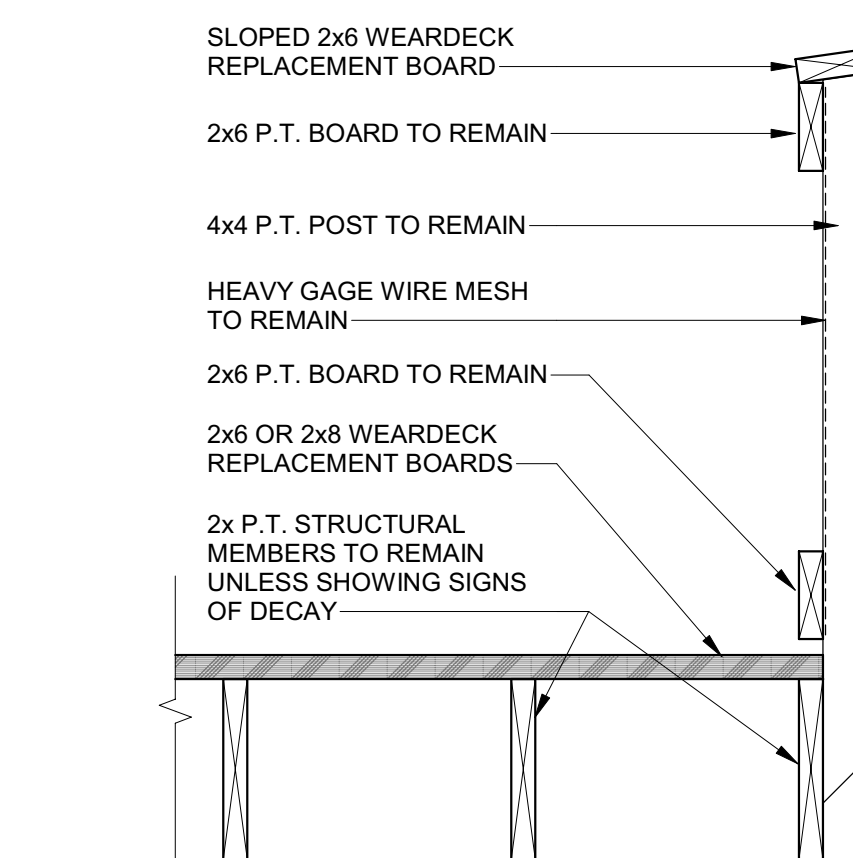
APPROXIMATE AREA OF BOARDWALK DECK = 769 SF
APPROXIMATE LENGTH OF RAILING = 167 LF

EXISTING COVERED KIOSK AND GATE TO REMAIN.
REPLACE HORIZONTAL FENCE BOARDS BETWEEN
KIOSK AND NW 16TH AVENUE IN KIND. THIS SCOPE
IS NOT INCLUDED IN SUMMARY QUANTITIES LISTED
BELOW.

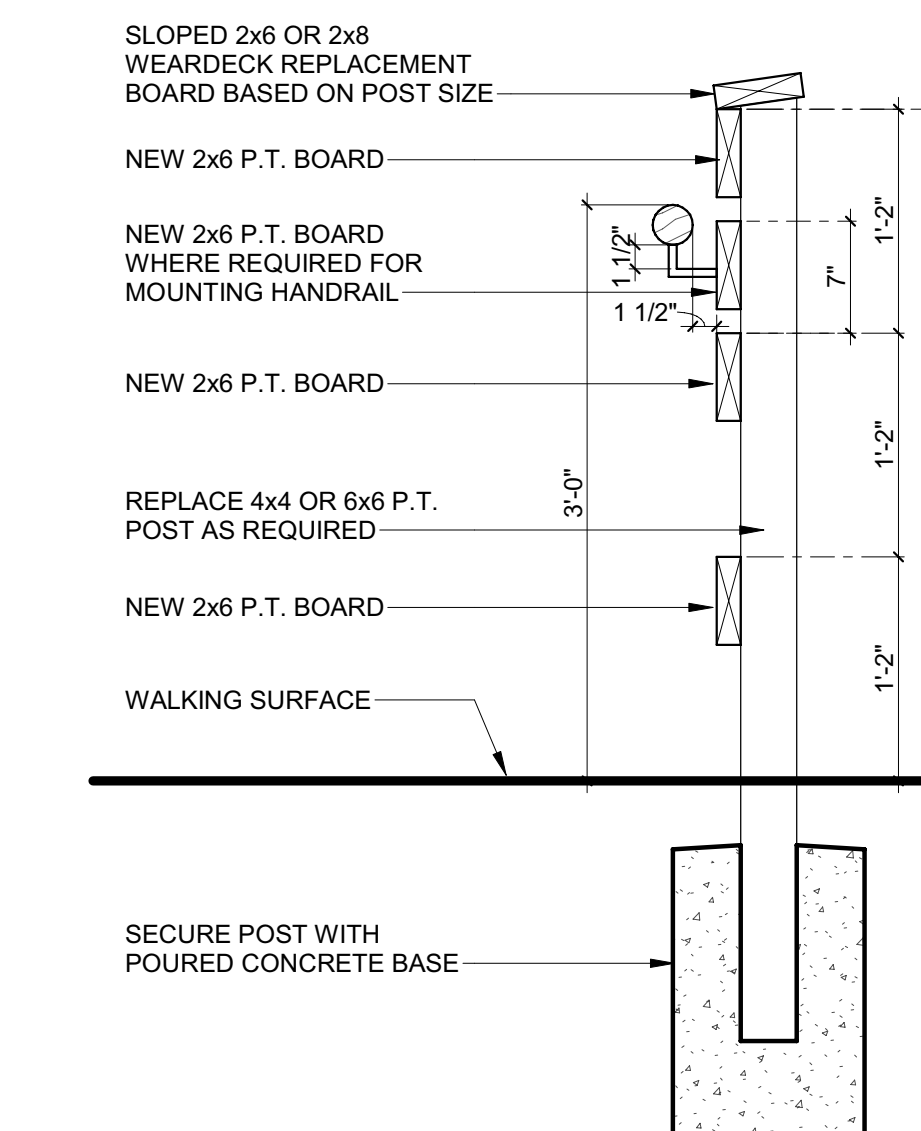
BOARDWALK REPLACEMENT NOTES

1. REMOVE ALL WALKING SURFACE BOARDS AT ALL BOARDWALKS, INCLUDING NORTH TRAILHEAD BRIDGE AND SOUTH TRAILHEAD ENTRWAY.
2. REMOVE ALL TOP HANDRAIL BOARDS AT ALL BOARDWALKS.
3. INSPECT STRUCTURAL MEMBERS AT ALL BOARDWALKS FOR DAMAGE AND IDENTIFY ANY IDENTIFY ELEMENTS TO BE REPLACED.
4. VERIFY THAT MAXIMUM SPAN OF DECK BETWEEN EXISTING STRUCTURAL MEMBERS DOES NOT EXCEED 24" O.C.
5. REMOVE AND REPLACE DAMAGED STRUCTURAL MEMBERS IN KIND.
6. INSTALL NEW WEARDECK ON ALL SURFACE BOARDS FROM OWENS CORNING OR COMPARABLE MATERIAL. (USE 2x6 OR 2x8 BOARD SIZES BASED ON MATCHING EXISTING CONDITIONS)
7. INSTALL NEW "WEARDECK" TOP HANDRAIL BOARDS FROM OWENS CORNING OR COMPARABLE MATERIAL. (USE 2x6 BOARDS TYPICAL)
8. REFER ALSO TO THE DRAWINGS FOR CONCRETE SIDEWALK SCAPES.

BOARDWALK AREAS AND RAILING LINEAR FEET QUANTITIES ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. CONTRACTOR RESPONSIBLE FOR FIELD VERIFICATION OF ALL REQUIRED MATERIAL QUANTITIES.



7 TYPICAL BOARDWALK SECTION
1" = 1'-0"



8 TYPICAL REPLACEMENT RAILING SECTION
1" = 1'-0"

SUBMITTAL:		ISSUE DATE:
CONSTRUCTION DOCUMENTS		04/03/2024
REVISION	DESCRIPTION	DATE

Alfred A Ring Park Improvements

1801 NW 23rd Blvd
Gainesville, FL 32605

KEY PLAN

DRAWING TITLE:

ENLARGED BOARDWALK PLANS AND TYPICAL SECTIONS

PROJECT NO.: 23049	DRAWN BY:	KAL
	CHECKED BY:	TW

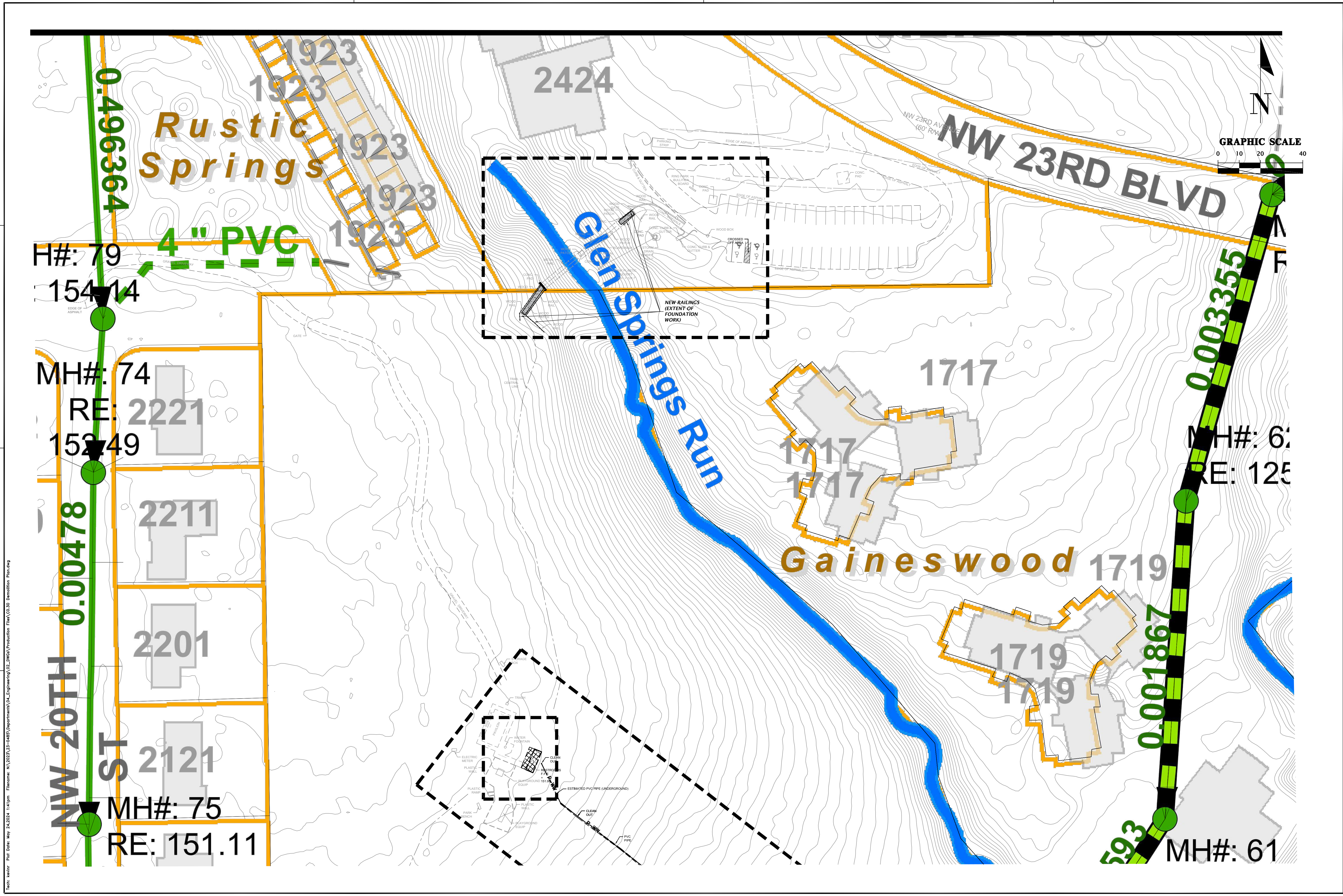
A011

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Test: Netw Plot Date: May 24, 2024 1:41pm Filename: N:\2023\23-0485\Drawings\04_Engineering\02_LWSA\Production Files\03.20 Demolition Plan.dwg

SHEET NO:		PROJECT: ALBERT A. RING PARK IMPROVEMENTS		SUBMITTALS		SCALE: 1"=40'		VIEW: SCALE ON ORIGINAL DRAWING	
TECHNICIAN: KM		DESIGNER: KR		QUALITY CONTROL: TH		PROJECT NUMBER: 23-0485		SHEET TITLE: SEWER MAP OVERLAY	